

# Eagle Ranch

EAGLE, COLORADO

## THE MEADOW DESIGN GUIDELINES

APRIL 25, 2006

(Typo Rev. 12/28/06)

~~(Redline Revisions October 2020)~~ Revisions 2-1-22



The Meadow Design Guidelines

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## 1 INTRODUCTION

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### 1.1 PURPOSE

The Town of Eagle is a small and close knit community where the streets have a people-friendly character. Charming homes have yards, porches and sidewalks that foster neighborliness. The vision of Eagle Ranch is not of a gated community or a resort, but of a close knit community where neighbors meet in their yards to chat while kids ride bikes down tree lined streets.

Like the building designs of the original residences and stores of Eagle, as well as other western Colorado communities such as Glenwood Springs, Carbondale, Telluride and Durango, the architecture in Eagle Ranch will represent the dominant styles brought to Colorado by settlers between the late 19th century and World War II. These styles include late Victorian, Prairie, and Craftsman vernacular of architecture.

The goal of these guidelines is to create a series of harmonious, people-friendly neighborhoods with house designs that strengthen the sense of community within Eagle Ranch. The intent of the guidelines is to create buildings at ease with Eagle's ranching and mountain setting. The Victorian, Craftsman and Prairie architectural styles may be expressed in traditional vernacular or as contemporary, interpretative recreations of the traditional styles.

All new buildings, modifications to existing buildings, landscaping, site improvements and the use of property within Eagle Ranch must be reviewed and approved in accordance with the provisions of these guidelines. The Eagle Ranch Design Review Board (DRB) has been established to implement these guidelines and assist Owners with the design review process.

These guidelines may be amended from time to time and it is incumbent upon each Owner, architect, realtor, contractor or other interested party to obtain and review the most recent version of the Eagle Ranch Design Guidelines.

1.2 THE EAGLE RANCH DESIGN PHILOSOPHY

The overriding vision for Eagle Ranch is to create a contemporary community based upon traditional architecture, planning, and design principles. The design philosophy is driven by a desire to allow Eagle Ranch to develop with a true, strong sense of community values and traditions that will foster a close-knit small town culture.

The planning principles behind the overall design of Eagle Ranch and the inclusion of a neighborhood center, an elementary school, plentiful formal and informal parkland and features such as community gardens, ball fields and a public golf course all lay the foundation for the creation of a sense of community, sense of place, and a feeling of belonging. Equally important to the community's foundation are the various neighborhoods of Eagle Ranch and the carefully selected architectural vernaculars expressed in the home designs within these neighborhoods.

The neighborhoods of Eagle Ranch consist of three separately defined yet related design zones referred to as The Neighborhood center, The Meadow and The Foothills.

**Eagle Ranch Design Zones**

Traditional Neighborhood  
Tracts A, B, C, D, E, F, and G

The Meadow  
Tracts H (Filing 1), I, P, Q, R, and S

The Uplands  
Tracts H (Filing 3) J, K, L, M, N, O,  
P-1, F-24, and F-25

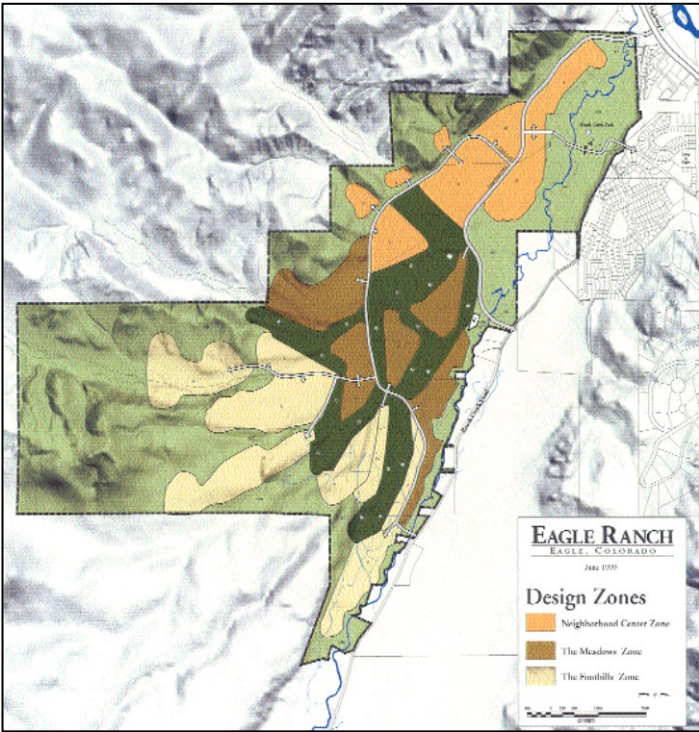


Figure 1-Design

### **The Neighborhood Center**

The Neighborhood Center consists of the traditional residential neighborhood that surrounds the civic and commercial center of Eagle Ranch. In this area, commercial buildings will follow an historic, traditional land pattern and selected design vernaculars seen in other historic western slope communities. One and two story buildings will front sidewalks and streets with on-street parking. Larger parking areas will be tucked to the side or rear of the buildings and a small civic park will anchor the block. The residential neighborhoods have been designed in a contemporary vision of a pre-World War II community land pattern. Homes will front sidewalks and tree lined streets will have convenient on street parking to further buffer the tranquility of the front yards. Front porches and picket fences will enhance the streetscape and most garages will be accessed via alleys rather than from the street. In this neighborhood a variety of homesite sizes and the option of three traditional styles of architecture, Victorian, Craftsman and Prairie will provide for a wide palette of architectural style and color to further enhance the neighborhood character. Within the Neighborhood Center the design guidelines will allow a contemporary interpretation of these three styles, while ensuring that the architectural style, size and height of the individual houses will be appropriate to the image and character of the Neighborhood Center.

### **The Meadow**

The neighborhoods that surround the golf course and begin to extend into the adjacent foothills follow a more conventional street and homesite site pattern. These neighborhoods clustered in and around the golf course are collectively known as The Meadow. The streetscape atmosphere of the Neighborhood Center will be maintained by extending the sidewalks and the tree planting into The Meadow neighborhoods. The placement of garages to the side or rear of the buildings and the front porch architecture of the homes will maintain the vitality of the front yard. The guidelines for these neighborhoods allow a more liberal interpretation of the architectural styles that define the Neighborhood Center.

### **The Uplands**

Further away from the Neighborhood Center located in the rolling foothills of the property are the more rural neighborhoods of Eagle Ranch. These neighborhoods are referred to as The Uplands. In this setting low-density neighborhoods are served by rolling, low traffic roadways. The sidewalks give way to a more rural streetscape with homes nestled into a natural landscape. The Uplands design guidelines may introduce several other architectural style options that are appropriate to the rural, mountain setting and define a natural earth tone color palette designed to harmonize with the dominant natural landscape.



An important concept of these guidelines is to recognize the unique characteristics of each of these design zones with specific architectural and landscape guidelines that respond to each setting. These guidelines include separate sections for each of these areas that set forth distinctive design characteristics and establish specific development controls intended to preserve the integrity these areas that set forth distinctive design characteristics and establish specific development controls intended to preserve the integrity of each design zone. The variations in the guidelines are intended to create smooth transitions between the small town character of the Neighborhood Center and the more natural landscape character of the residential neighborhoods around and away from the golf course. Although the architectural and landscape sections are separate for each design zone the introduction, philosophy, Design Review Board procedures, construction regulations, and organization chapters of the guidelines pertain to the Eagle Ranch community as a whole. The Eagle Ranch Design Guidelines provide the primary tool for guiding the design of all development within Eagle Ranch. These guidelines are not, however, the only document that addresses development within Eagle Ranch. The Eagle Ranch P.U.D. Guide, the Declaration of Covenants, Conditions and Restrictions and other documents, including Town of Eagle regulations, contain information regarding design and construction within Eagle Ranch that should be reviewed prior to initiating the home design process.

These Design Guidelines and Design Review are not exact. Rather they establish architectural and land pattern direction that will be implemented in balance with each site's unique attributes. These Design Review provisions are purposeful and appropriate in the interests of facilitating architectural and land pattern excellence to achieve a truly livable community, cost effective design and to enhance property values. Owners and Declarant share these interests. Both benefit from their conscientious application. Declarant has a proven record in successful community development and management and looks forward to implementing effective Design Review at Eagle Ranch.

It is important that each Owner contact the Design Review Board at the very beginning of the design process to facilitate timely, cost effective design and review. These Guidelines may evolve over time as provided in the Declaration for Eagle Ranch. The Board's interpretations of these Guidelines may vary based upon the neighborhood area and site-specific considerations.

The Design Review Board is part of the Eagle Ranch Association and operates under the authority of the Eagle Ranch Covenants, Conditions and Restrictions. The Declaration of the Eagle Ranch Association provides (in part) that the Design Review Board will be appointed, removed and replaced by Declarant, in its sole discretion, until all the Units comprising Eagle Ranch are sold, or at such earlier time as Declarant may elect. The Executive Board of the Association is the successor to Declarant.

The Design Review Board may establish a Design Advisory Group (DAG) to advise the Design Review Board concerning the efficacy of its procedures and implementation of the Design Guidelines. The Design Review Board will carefully consider such advice and respond as it finds appropriate. The DAG shall have no consent authority over actions of the Design Review Board.

### **1.3 THE MEADOW DESIGN GUIDELINES OVERVIEW**

#### **1.3.1 Organization**

The Meadow Design Guidelines are organized into several principal parts: General Considerations that apply to any homesite within The Meadow, Architectural Style sections that further define the Victorian, Prairie and Craftsman architectural vernacular as permitted throughout The Meadow, and Design Review Process and Construction sections that apply to any homesite within The Meadow neighborhoods.

#### **1.3.2 Land Pattern and Architecture**

These Design Guidelines attempt to define land patterns and architectural expressions for the residential areas surrounding the golf course that facilitate harmonious people-friendly neighborhoods. The architecture is developed from the building traditions of the early Twentieth Century in surrounding Colorado towns and ranching areas. The Meadow land pattern is a transition area between the Neighborhood Center with its formal, grid pattern of street, and the curving and hilly streets and natural landscape of The Uplands. Befitting the location of The Meadow in and along the golf course, the architectural and landscape styles are intended to provide more relaxed and contemporary interpretation of the Eagle Ranch design concepts. The guidelines should not limit creativity, but encourage a variety of building solutions that will complement each other within the context of the Victorian, Craftsman and Prairie Styles.

The design concept of The Meadow includes a contemporary interpretation of the formal streetscape found in the Neighborhood Center. The design parameters of such publicly visible elements as uniform building setbacks, narrow driveways, recessed garages and clearly articulated front porches will create a pattern that fosters strong neighborhood character and identity.

The following architectural illustrations provide examples of how The Meadow Design Guidelines might be interpreted in both landform and building architecture. These illustrations are conceptual in nature. They demonstrate the design principles sought within The Meadow but should not be taken as a specific design solution for any homesite. Each proposal will be evaluated individually based upon the entirety of these design guidelines.

These General Considerations section criteria apply to every homesite in The Meadow neighborhoods of Eagle Ranch.

References made to any specific trade named product in these Design Guidelines is intended to identify a product type or characteristic, and is not an endorsement of the named product.

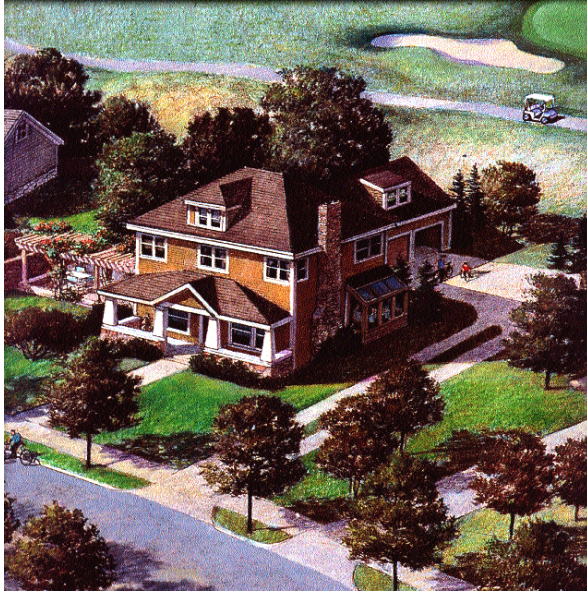
Typical Meadow Victorian Architecture



Typical Meadow Craftsman Architecture



Typical Meadow Prairie (American Four Square) Architecture



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## 2 GENERAL CONSIDERATIONS

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### 2.1 BUILDING SIZE

#### 2.1.1 Floor Area

1. The house floor area including garage, ADU and all habitable finished and unfinished space shall not exceed 6,000 gross square feet (outside measurements) per the zoning at Eagle Ranch. Gross square footage includes everything measured from the outside of the exterior framing and concrete walls to include, at a minimum, garages, staircases, chases, closets, and mechanical spaces. Crawl spaces that measure 5'-0" or less to the underside of the framing are excluded. Areas above grade that are 5'-0" or less to the structural framing are not included in the gross square footage. Dead spaces 5'-0" or more that could be accessible will count toward the overall square footage.

2. The minimum finished floor area of any home is 1,500 gross square feet of finished habitable space not including garage. Gross square footage includes everything measured from the outside of the exterior framing and concrete walls to include, at a minimum, staircases, chases, closets, mechanical spaces and anything shown on the plans that is greater than 5'-0" high.

~~1. Square footage shall be measured as outside dimensions in accordance with the Town of Eagle definition of Floor Area.~~

#### 2.1.2 Accessory Dwelling Unit

The Eagle Ranch amended PUD allows an Accessory Dwelling Unit (ADU) that must be subordinate to, and contained within or adjacent to, a single-family dwelling, subject to the following requirements:

1. The accessory unit shall not exceed 850 square feet of floor area (as defined herein) with a maximum of one-bedroom. The floor area within the inside perimeter of the exterior wall framing or concrete of the building under consideration, without deduction for corridors, ramps, closets, the thickness of interior walls, columns, or other features. Floor area shall not include shafts with no openings, interior courts, stairs, mechanical rooms, garages, and decks and porches that are not enclosed.
- ~~2.~~ 2. The accessory unit must be architecturally complement with the home or garage in such a way as to maintain the appearance of a single residence.
3. The accessory apartment will be a complete, separate housekeeping unit.
4. The owners of the residence in which the accessory unit is created shall occupy at least one of the dwelling units on the premises except for temporary absences, during which time the

owner-occupied dwelling unit shall remain unoccupied.

5. Accessory unit off-street parking is required.

6. The accessory unit may be available for rent or other homeowner use, but may not be sold or subdivided as a separate dwelling unit.

7. The Eagle Ranch Property Owners Association may regulate accessory dwelling use through its Rules, Regulations, and Guidelines.

~~1. The Eagle Ranch PUD allows an accessory dwelling unit, not to exceed square feet, to be incorporated into an Owner occupied single family home. If the ADU is accessed through an interior stair, then the interior stair and landings shall not count against the allowed square footage of the ADU.~~

### 2.1.3 Maximum Site Coverage

1. The house foundation footprint including the garage should not exceed 5,000 square feet. Lot coverage of buildings shall not exceed 30% of the lot area.
2. Maximum site coverage for all impervious materials is 50%.

### 2.1.4 Maximum Building Height

- ~~1. The maximum height allowed is 35 feet to any point on the house, excluding chimneys, as determined by a plane elevated 35 feet above the more restrictive of the existing or finished grade measured along the perimeter of the building or within the building footprint. No portion of the building or structure, except for chimneys may exceed this plane by 3'-0". The elevated plane should be demonstrated as offset lines on the building elevations.~~
2. The minimum height of the main mass of the house in the façade zone should be at least 16 feet to the mid-point of the sloped roof measured from the existing grade directly below it.

## 2.2 SITE DESIGN

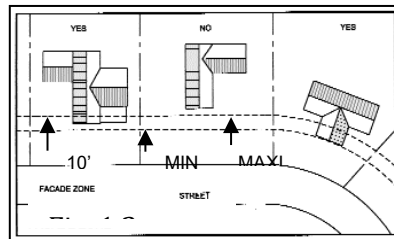
### 2.2.1 Setbacks

No portion of any structure may be placed within any setback except as conditioned below.



**2.2.1.1 Façade Zone/Front Setback**

1. The porch or front of each house must be built within the area between the minimum and maximum front setbacks off the street property line. This area is referred to as the façade zone.
2. For lots with broad street frontage, the minimum façade zone/front setback is 25 feet, and the maximum is 35 feet.



3. For narrow frontage and cul-de-sac lots, the preferred minimum façade zone/front setback is 40 feet, and the preferred maximum is 50 feet. However, certain homesites with a very narrow frontage may require a greater maximum front setback to accommodate a reasonable house width. This will be determined on a homesite by homesite basis by the Design Review Board.
4. The minimum building setback from any street is 25 feet. On homesites less than 17,000 square feet in size, both house sides that face a street must be built in the façade zone. On homesites larger than 17,000 square feet, the house front façade must be built in either one or the other of the façade zones. The house side facing the second street need not be built within its façade zone.

**2.2.1.2 Side Yard Setback**

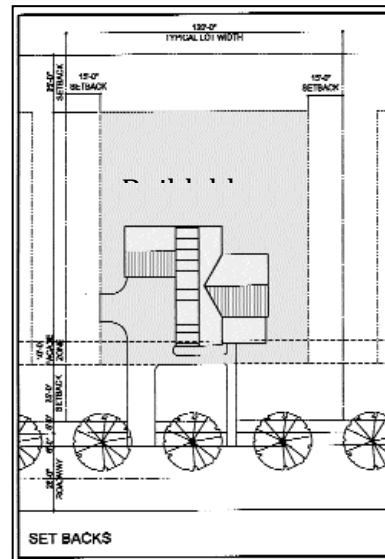
1. The minimum side yard setback for all structures is 15 feet.
2. The minimum side yard setback for driveways and parking areas is 7.5 feet (except as provided for side street setback for corner homesites).

**2.2.1.3 Rear Yard Setback**

The minimum rear yard setback for all structures and driveway areas is 25 feet.

**2.2.1.4 Roof Eave and Rake Encroachments**

Roof eave overhangs into setbacks than 30 is permitted easement.



and rakes may encroach by not more inches. No encroachment into any platted

**2.2.2 Site**

**Grading**

1. Minimize site grading by conscientious design and placement of all improvements on the homesite.
2. Finished grades around the perimeter of the residence may not vary from existing ground by more than 5 feet.
3. Positive drainage away from the building must be provided per geotechnical recommendations.

**2.2.3 House Orientation to the Street**

The intent of this section is to create a purposeful and orderly procession of homes along the street.

1. The front mass of the house including the porch shall be parallel to the street except as conditioned below.
2. On curved streets, the front of the house should be tangent to the curve in front of the house.
3. Where side property lines are skewed more than 5 degrees from perpendicular to the street frontage or on cul-de-sac lots where such a skew creates a hardship upon the placement of a reasonable house, the DRB may grant a variance.
4. On corner homesites, the house should be parallel to the façade zone in which it is built. The DRB may grant a variance where the side lot property lines are substantially skewed to the streets or where an alternative house siting provides a transition around the corner of the intersection.

### **2.2.4 Address Numbers**

1. House numbers for the primary residence shall be displayed on the front façade of each house using numerals of at least 4-inches but not more than 8 inches in height. The numerals shall be placed in a location that is readily visible in conditions of normal visibility, preferably in a location illuminated by the front door porch light.
2. If an Accessory Dwelling Unit is present it shall be addressed separately using the same street address followed by the letter "B". Its numerals shall be 4 to 8 inches tall and placed in the location nearest the ADU entry that is readily visible from the street in conditions of normal visibility.

### **2.2.5 Driveways**

1. Driveways must be a minimum of 7.5 feet from the side lot line and 25 feet from a rear lot line.
2. Maximum driveway grade should not exceed 6% for the first 20 feet behind the front property line and not more than 12% thereafter.
3. From the lot line to the front of the façade zone the width of the driveway cannot exceed 12 feet. Between the front lot line and the street paving the driveway may flare to 16 feet in width at the point of connection to the street
4. Driveway curb cuts or roadside ditch crossings including culvert installation standards shall be designed in accordance with specifications provided by the Design Review Board at the Pre-Design Conference.
5. Appropriate surfaces for driveways include asphalt, brick or concrete pavers, and natural or colored concrete. Gravel and other porous surfaces are unacceptable as paving treatments.

### **2.2.6 Garages**

The design intent for garages is to minimize the presence of the automobile within the neighborhoods. Modest scale, recessed location and/or orientation of doors away from the street are important considerations to address the design intent.

1. Each house in The Meadows must have either a two or three car garage as further described below.
2. Garages must be the same architectural style, exterior materials and color palette as the house.
3. Detached garages are permitted.

4. Garages must be built along the side or behind the house. It is strongly encouraged that the garage doors not face any street, but rather face an adjacent side yard.
5. A two-car width garage is the maximum allowed facing the street. The doors must be set back at least 25 feet from the front of the structure. The doors should be recessed approximately 6 inches from the plane of the garage wall.
6. Side loaded garages not facing the street should not exceed a three-car width. The street-facing sidewall of the garage must be set back at least 15 feet from the front of the house. The door plane of one end garage bay of any 3-car garage must be offset at least 2 feet from the door plane of the other two bays.
7. Permitted garage door arrangements are as follows:
8. Garage doors material shall be trimmed wood or hardboard flat panel garage doors. Modern flat panel metal garage doors may be considered if integrated into the style of the house. Wood or metal raised panel high quality garage doors are may be approved by the DRB, not allowed. Windows are optional but encouraged.
9. Two car garages must have two matching single-car garage doors (a maximum of 10 feet wide by 10 feet tall). Three-car garages may have one two-car door (a maximum of 18 feet wide by 10 feet tall) and a single door (a maximum of 10 feet wide by 10 feet tall).
10. Roof designs that minimize snow shedding over garage doors are strongly encouraged.
11. Recreational Vehicle (RV) oversized garage bays and doors are not allowed.

### **2.2.7 Parking**

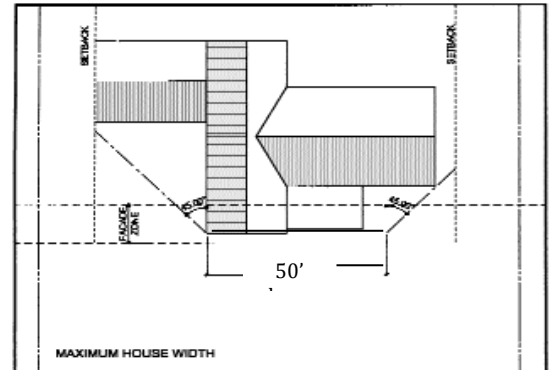
1. No parking areas shall be provided forward of the front façade of the residence.
2. Per Town of Eagle regulations, no on-street parking is permitted in The Meadow neighborhoods. Short-term event parking associated with occasional private homeowner or community functions may be allowed, but may not become a frequent use. Off-street parking adequate for residents of the home, home occupation uses, and accessory dwelling unit must be provided as follows:
  - a. Two-bedroom homes shall provide not less than two off-street parking spaces.
  - b. Homes with more than two bedrooms shall provide not less than three off-street parking spaces.

**THE MEADOW DESIGN GUIDELINES**  
**2 GENERAL CONSIDERATIONS**

- c. Not less than one additional designated off-street parking space shall be provided for an Accessory Dwelling Unit.
- d. Parking for home occupations shall be determined per Town of Eagle requirements for the approved use.
3. Required parking may be provided in the garage and surface spaces including those in front of garage doors.

**2.2.8 House Massing on the Lot**

1. The width of the main mass of the house built in the façade zone may not exceed 50 feet.
2. All portions of the house must be located within an area of the lot bounded by a 50 feet base line aligned parallel to and contiguous with the front plane of the structure in the façade zone and extended rearward at a 45° from the ends of the base line.
3. The width of the portion of the house located in the façade zone must not be less than 24 feet.



**2.2.9 Front Porch and Entry**

The intention of this section is to create human scale front porches that invite use by the residents and nurture interaction between neighbors.

1. Each house must have a one-story covered front porch/entry facing the street and located within the façade zone. The porch/entry may be built along the side of the house, projecting in front of the house, or integrated into the mass of the house.
2. Minimum porch width is 12 feet.
3. Minimum useable porch depth is 7 feet clear.
4. Configure the front entry door to open onto the front porch facing the street.

5. A one-story porch roof supported by columns should cover porches not integrated into the mass of the house. No two story porches or 2 story columns are permitted. Decks above the front porch are discouraged. Second story decks must be well integrated into the architectural mass of the home.

#### **2.2.10 Walkways, Patios and Decks**

1. Provide a walkway from the public sidewalk to the front porch that, if elevated, must have steps leading up to it. A ramp meeting Americans with Disabilities Act standards may also be provided.
2. On lots with less than 75 feet of street frontage, a walkway from driveway to porch may be provided in lieu of that described in item 2.2.10 a. (above).
3. If a public sidewalk is not provided along the street, a walkway from the street to the front porch is encouraged but not required.
4. Appropriate walkway surfaces include brick or concrete pavers, flagstone, natural or colored concrete. Asphalt and gravel walkways are not permitted to main entrance or ADU entrance.
5. Patios and decks can serve as an effective transition between indoor and outdoor spaces and help to integrate a building into the site landscaping. Above grade decks should be integrated with the architecture and color scheme of the building and should be designed to fit appropriately with the scale of the house. Patio areas may be located anywhere outside of the side and rear building setbacks. Appropriate patio materials include flagstone, sandstone, brick pavers and exposed or colored concrete.

#### **2.2.11 Outbuildings and Recreational Structures**

1. Outbuildings (e.g. garden tool sheds, pool and spa shelters, shade shelters, gazebos, etc.) must be approved by the DRB and may be located within the buildable area of the homesite. These structures must be architecturally related to the residence (e.g. roof forms, exterior materials, colors, etc.). Metal or plastic sheds are not permitted. Swing sets and similar play structures may be located in the side and rear yards but not within any required building setbacks, and are not subject to the DRB review.
2. Swimming pools and hot tubs may be located in any rear yard within the buildable area of the homesite. Swimming pools must be in-ground or integrated into a raised deck that includes visual screening between deck level and the ground. Swimming pool fencing must meet all applicable local and state

code requirements. Dedicated ball courts such as tennis, paddleball, and sport courts are not allowed.

3. Casual uses such as a basketball hoop with backboard above the garage doors are acceptable.
4. See attached Outbuilding and Fire Pit Policy for design details.

### **2.2.12 Fences – See attached Fence Guidelines**

## **2.3 BUILDING ELEMENTS AND MATERIALS**

The intent of this section is to promote refined expressions of the variety of architectural styles permitted in The Meadow’s manicured suburban, neighborhoods. It is our intent to differentiate The Meadow neighborhoods from The Uplands neighborhoods’ more rustic, semi-rural land pattern.

In general, the type of exterior materials used should be consistent with the architectural style of the house. All exterior materials must be approved by the DRB. A list with all the exterior materials to be used must be submitted to the DRB at the preliminary plan stage of the review process. Reference to specific brand named products herein is not an endorsement of those specific products. In every instance comparable alternative brands are permitted. Each Applicant is responsible to select and use materials and products that are suitable for the intended application.

### **2.3.1 Exterior Wall Materials**

1. The type and detailing of exterior materials should be consistent on all sides of a particular massing element of the house.
2. The use of different exterior materials or siding types on different massing elements of the house is permitted. However, materials shall be used in ways that are true to their characteristics. For instance, a heavy massive material such as stone may not be used above a less massive material such as stucco, nor may stucco or stone be used above wood.

#### **2.3.1.1 *Masonry***

1. Approved masonry materials include stone, stucco, and fired clay brick. Simulated or manufactured alternatives that bear close resemblance to traditional masonry materials may be approved by the DRB.
2. Unit masonry other than fired clay brick may be used as structural elements not exposed on the exterior of the building.
3. River rock is permitted on Craftsman style homes only (see Section 3.3.8 below). Faux-stone river rock is not permitted.

4. Masonry should appear to be load bearing or structural. Masonry expressed as a non-structural veneer is not permitted.
5. Terminate masonry at inside corners only.
6. Exposed masonry may not be used as a primary exterior cladding material. In aggregate, no more than 50% of combined foundation and wall surfaces of an exterior elevation may be masonry.
7. Random horizontal ashlar lay-up of stone is required. The majority of individual units must be horizontally oriented rectangles. Not more than 20% of the surface area may be comprised of non-rectangular units that must be randomly dispersed within the ashlar field.

**2.3.1.2**      *Wood and Simulated Wood Siding*

1. Wood (or simulated wood) siding is a traditional building product in the mountains and is encouraged.
2. Approved materials include cedar, hardboard (e.g. Masonite™), and fiber reinforced cement board (e.g. Hardie™ Plank) with a minimum of 3/8 inch thickness. Exterior wall cladding materials including sheet stock, aluminum siding, vinyl siding and other siding thinner than 3/8 inches are not permitted.
3. Log or faux log siding is not permitted.
4. Metal siding is not permitted.
5. Shingle siding may be allowed upon review by the DRB.
6. Siding details shall be provided and match the architectural style.

**2.3.1.3**      *Trim*

1. Corner boards should be provided with shingle, wood (or simulated wood) siding. If decorative trim elements are used, they should be in the tradition of the selected architectural vernacular.
2. The use of round logs for trim, beams or columns in The Meadow is not permitted.

**2.3.2**      **Windows**

The intent of this section is to promote window compositions and patterns that are consistent with the historic precedents of the approved architectural styles and that provide a unifying design element throughout the residence.



*2.3.2.1 General Comments*

1. Windows should be of human scale, and square or vertical in proportion. Horizontally proportioned transom windows mulled above other windows or doors are acceptable. Large undivided horizontal windows are strongly discouraged.
2. Arched, circular, octagonal or triangular windows are not permitted. Horizontal windows may be used sparingly for view corridors and may be approved by the Board on a case by case basis.
3. Except as provided in specific architectural styles sections below, it is preferred that no more than three windows be ganged together. "Ganged" means the arrangement of windows with frames attached directly to each other side-by-side, not separated by structure or siding.
4. Window arrangement should be consistent with the architectural type of the house. See the specific house type requirements for more information.
5. Three sided bay windows of which the projecting bay continues to the ground are preferred. Bay windows that are cantilevered and supported by architectural elements consistent with the house style may be approved. Curved bay windows are discouraged.
6. The maximum height of a continuous window opening is 10 feet. There must be a least ~~4~~ 8" inches (nominal) of wall/trim between upper and lower windows over 10 feet in height.

*2.3.2.2 Window Trim*

1. Windows set in wood or simulated wood siding must have trim around them. Trim thickness should be 2-inch (nominal) stock and establish a rustic proportional relationship with the other exterior materials. It should be simple in its design, not ornate.
2. Windows set in stucco may have stucco or wood trim that completely surrounds the window opening. If the trim is expressed as head and sill only, then the window must be recessed into the wall a minimum of 2 inches.
3. Head, sill and side window trim elements must be differentiated in dimension and detail. All trim members must stand proud of the surrounding wall cladding. Trim details must be provided.
4. All trim must stand proud of the siding by not less than ¼ inch. Trim thickness must not be less than 5/4 stock.
5. Except for corner boards, trim shall not be used to link elements such as windows or accent siding from one story to the next.

6. Metal band window trim is NEVER allowed.

### 2.3.2.3 *Divided Lights*

1. True or simulated divided light windows are permitted as further described in the Architectural Style sections below.
2. Note: As a minimum simulated divided light windows must have mullions on the exterior surfaces of the glazing, and these mullions must be at least 5/8 inch wide profiled stock. Narrow snap-on, interior only, airspace only, and flat profile mullions are not permitted.
3. Divided light patterns should be consistent with the historic precedents of the Architectural Style sections below.
4. Divided lights are optional on double hung and small, square windows as further conditioned in the Architectural Style sections below.
5. Except for selected large fixed glass picture windows, all casement and fixed glass windows require one of the following divided light patterns:
  - a. A widened horizontal mullion at the mid-line of the glazing giving the appearance of a double hung window;
  - b. A course of divided light mullions across the top of the glazing; or
  - c. A multi-light transom window mulled directly above the subject window.

### 2.3.3 **Roofs**

The intent of this section is to encourage variety in roof forms while maintaining harmony among houses by basing the roof design principles on the building traditions of homes from the Colorado mountain region, and as described in the Victorian, Prairie and Craftsman style sections below.

1. The principal masses of the house must have sloped roofs with a minimum pitch of 4:12 and a maximum of 12:12 as described in the Victorian, Prairie and Craftsman style sections below.
2. Secondary massing elements of the house may have hipped, gabled and shed roofs with a minimum 2:12 pitch.
3. Dormers are encouraged and may have gabled, hipped, curved or shed roofs with a minimum 2:12 and a maximum 12:12 pitch.
4. Roofs may be architectural grade composite or asphalt shingles, slate or simulated slate, sawn cedar shingles, simulated cedar shingles.
5. Clay, terra cotta, and glazed tile roofing are not allowed.

6. Main roof elements may not have metal roofing materials. Non-reflective metal roofing such as standing seam products may be used for porches and other minor roof elements as approved by the DRB.
7. Cor-Ten™ and other corrugated weathering steel products are popular and aesthetically attractive roofing materials. Their use in such architectural applications is without warrantee and in some cases is specifically identified by the manufacturers as being unsuitable. The DRB may approve its use in applications that are consistent with Subsection 6 (above) on the condition that its manufacturer's recommendations are disclosed by note on the plans.
8. Particularly bright, light or saturated roof colors are typically not appropriate. Muted earth tones of greens, blue grays, grays and browns are typically appropriate.

#### **2.3.4 Fireplaces and Chimneys**

1. The Town of Eagle does not permit any solid fuel appliances (e.g. fireplaces, wood or pellet stoves, etc.) within its corporate limits including Eagle Ranch.
2. Direct-vent appliance vents may not be placed on the front elevation of any residence.
3. Chimneys must be clad in masonry or metal.
4. Decorative chimney caps are required to screen utilitarian vents and other roof penetrations on chimneys.

#### **2.3.5 Utility Connections**

Gas meters, electric panels, telephone equipment etc. must be enclosed, screened, or located such that they are visually screened from the street. The enclosure must be architecturally consistent with and integrated into the design of the residence.

#### **2.3.6 Exterior Lighting**

The design intent for exterior lighting is to encourage exterior lighting practices and systems that will minimize light pollution, glare, and light trespass; conserve energy; maintain night-time safety; and preserve the irreplaceable beauty and majesty of our diamond studded cobalt velvet drape of night – the star-filled dark night sky.

1. All exterior lighting is subject to DRB approval and must meet the more restrictive of these guidelines or Town of Eagle lighting regulations.

**THE MEADOW DESIGN GUIDELINES**

**2 GENERAL CONSIDERATIONS**

- 2. No lamp (light bulb) may be directly visible from off site. All lamps must be frosted. Clear lamps in clear glazed luminaires (light fixtures) are prohibited.
- 3. Luminaires glazed with translucent glass (e.g. opalescent glass or colored art glass) are strongly preferred over transparent (clear) glass. If transparent glazing is used it must be seeded. All other white “milk glass”, clear, or faceted glazing is prohibited. Spotlights are not permitted.
- 4. Total lighting output of all exterior lamps (light bulbs) on any residential lot may not exceed 5500 lumens of which in aggregate not more than 2000 lumens may be from unshielded luminaires.
- 5. Exterior luminaires that meet the following criteria are permitted:
  - a) Unshielded luminaires with lamps rated at not more than 500 lumens per fixture.
  - b) Partially-Shielded luminaires with lamps rated at not more than 1100 lumens per fixture. Partially-Shielded luminaires must be constructed in such a manner that not more than ten percent of the light emitted directly from the lamp or indirectly from any part of the fixture is projected above the horizontal.
  - c) Fully-Shielded luminaires with lamps rated at less than 2000 lumens per fixture. Fully-Shielded luminaires must be constructed in such a manner that all light emitted by the fixture, either directly from the lamp or a diffusing element, or indirectly by reflection or refraction from any part of the luminaire, is projected below the horizontal.
  - d) The table below gives wattage and lumen output for commonly available lamps approved for the various luminaire types:

Lamp Type	Luminaire Type		
	Unshielded	Partially-Shielded	Fully-Shielded
Incandescent	25 – 40 watts/ 200 - 500 lumens	60 watts/ 800 - 900 lumens	100 watts/ 1420 - 1750 lumens
Compact Fluorescent	7 watts/ 400 lumens	15 watts/ 1100 lumens	23 watts/ 1500 lumens

- e) Fully shielded low voltage lighting not exceeding 10 watts per luminaire may be used to illuminate driveways and walkways.

6. Driveways, walkways, porches, and patios may be illuminated for safety and security
7. Up-lighting or lighting intended to illuminate or accent landscape elements or structure exteriors is not permitted.
8. Exterior lights, not to exceed 15,000 lumens in aggregate on any homesite may be displayed from mid-November through mid-January.
9. Motion-activated, dimmer, and/or timer-controlled switches for exterior lights are strongly encouraged.
10. Per Town of Eagle codes, except when in actual use, all exterior lights must be turned off from 11:00 p.m. until 5:00 a.m.

### **2.3.7 Satellite Dishes**

Satellite dishes with a diameter of less than one meter (39 inches) are allowed subject to location review by the DRB. Screening of dishes may be required if they are visible from the street. Please see attached Antennas, Satellite Dishes, Transmitters regulations.

### **2.3.8 Cantilevered Upper Story Elements**

Large cantilevered second story elements are discouraged because they are foreign design elements in traditional Colorado architecture. The maximum width of cantilevered elements is 16 feet; the maximum projection is 4 feet.

### **2.3.9 House Colors**

The intent of this section is to promote a palette of rich exterior colors that is consistent with the historical context of the architecture and that presents color in the full bright sunlit days that so often grace our community.

1. Exterior colors for the body color in the range of the Roycroft Arts and Crafts and Victorian Romanticism arrays in Sherwin Williams Preservation Exterior Palette are strongly encouraged. (Selection of this palette of colors is not an endorsement of Sherwin Williams' products).
2. Solid paints, solid and semi solid stains are strongly preferred. Bright primary colors, black, pastels and clear stain finishes are not permitted as house body colors.
3. Accent colors should complement the principal house color and may be used on doors, doorjamb and trim; window jambs, sash and trim, eave details and fascia. Interior corner trim should be the body color or a color of similar to or lighter value than the wall color.

4. Colors will be reviewed for compatibility with the architectural style of the house and the setting and character of the neighborhood. All colors must be approved by the DRB.

## **2.4 LANDSCAPE GUIDELINES**

The design intent for the Meadow landscapes is as follows:

1. Provide equivalent landscape opportunities for all homeowners;
2. Encourage creativity and personalized design of the landscaping;
3. Provide sufficient irrigated landscapes for customary outdoor activities;
4. Express a manicured setting to compliment the refined Meadow neighborhood architecture;
5. Respect adjacent properties;
6. Conserve water by creating landscapes where water-wise plants predominate. Reserve the use of water-heavy plants to specific areas.
7. Limit total irrigation coverage, using skillful, microclimate responsive design of irrigation systems, and their conscientious operation; and
8. Eradicate and prevent noxious weed infestations.

### **2.4.1 Landscape Pattern**

The Meadow landscape pattern should present manicured yards that complement the refined architectural styles sought in Eagle Ranch suburban Meadow neighborhoods. It is our intent to differentiate Meadow neighborhoods from Uplands neighborhoods more rustic, semi-rural land pattern both in landscape and architecture patterns.

The majority of building sites in The Meadow are located in areas that were flood-irrigated hayfields or pasturelands for much of the previous 100 years. The landscaping treatment of these properties as they change to residential uses will be critical to creating a desirable living environment. It will take conscientious management of both irrigated and non-irrigated landscapes by each homeowner to establish stable residential landscapes and avoid noxious weed infestations.

The landscape guidelines are intended to facilitate harmony throughout the Eagle Ranch community and provide for a smooth visual transition from homesite to homesite and to the recreational and open spaces beyond.

Homesites adjacent to the golf course require special consideration in landscape design. An appropriate transition from formal landscape to golf course rough is important to the character of the neighborhoods and the golf course. Specific plantings should consider visual sightlines to and from the golf course while promoting for the safety and privacy of homesite residents.

### **2.4.2 General Landscape Considerations**

Each Owner is responsible for landscape installation and landscape maintenance of the entire lot and the planter strip between property line and adjacent curb or roadside ditch as further described in these Guidelines.

#### *2.4.2.1 Design and Plant Materials*

1. It is strongly recommended that a landscape architect or designer with expertise in the local climate, and appropriate plant materials including water-wise (xeriscape) design principals be retained to consult and/or design landscapes and irrigation systems.
2. Not more than 50% of the gross lot area may be permanently irrigated landscapes (see Section 2.4.7 below). Temporary irrigation of all disturbed and revegetated soils is required for two growing seasons to re-establish healthy groundcovers (see Section 2.4.8 below).
3. Landscapes should favor the use of water-wise (xeric) plant materials where possible.
4. Note: Xeric plant materials typically require as much water to become established as non-xeric plant materials. However once established (typically after two grow-in seasons), xeric plants require substantially less water than non-xeric plants.
5. Plantings of non-xeric ornamental plant materials with high water demands should be reserved to specific areas such as required lawns and accent plantings.
6. Mulched planting beds at least 3 feet in width (or wider per site specific geotechnical recommendations) must be provided along all portions of the foundation line not otherwise contiguous with pavement or other hardscape.
7. Irrigation within the perimeter beds is restricted to clock-controlled drip irrigation with individual plant emitters only. Adjacent spray type irrigation systems must be carefully designed to avoid over spray onto the perimeter planting beds.

Note: Mini-spray or micro-spray emitters are not suitable irrigation systems in perimeter planting beds. They easily deliver excessive amounts of water that could saturate the soils and create a hazard to foundations.

8. Introduction of plants with high allergy response history is strongly discouraged. Further, introduction of State and Federally listed noxious weed species is prohibited.
9. Homeowners are encouraged to consult with an Arborist or local nursery for appropriate plant and tree species and availability. Microclimate conditions created by solar orientation, earth forms, soil characteristics, and structures on each site should be considered in plant selection.
10. A variety of plant materials and sizes are encouraged. Minimum acceptable plant sizes and quantities for initial plantings are as follows:

Plant Type	Minimum Size	Minimum Quantity
Evergreen Trees	6 ft. in height	At least 5 evergreen trees with a combined height of 40 ft.
Deciduous Trees	2 inch caliper	Not less than 8 @ 2 inch caliper deciduous trees.
Shrubs	5 gallon pot	Not less than 25 shrubs.
Perennials	1 gallon pot	Not less than 40 perennials
Annuals	No minimum	No minimum

Note: Plant materials in excess of minimum quantities are encouraged and may be smaller than minimum size criteria listed above.

**2.4.2.2 Mulch**

1. Edging and weed barrier fabric placed beneath mulch installations are strongly recommended due to the difficulty of weeding through mulch in place.
2. Organic mulch material such as shredded or chipped bark or other shredded wood product is strongly preferred. Gravel and decorative rock mulch treatments are subject to DRB review and approval prior to installation.

**2.4.2.3 Landscape Lighting**

The design intent for landscape lighting is to preserve the night sky views, to protect adjacent properties from direct light source glare, and to provide lighting for specific areas and uses (e.g. pathways, porches, timed or motion detector activated security lighting). See Section 2.3.6 Exterior Lighting (above).

1. All exterior lighting is subject to DRB approval and must meet any current Town of Eagle lighting regulations.
2. Up-lighting of any kind is prohibited.
3. Low wattage fully shielded pathway lighting is permitted.



4. All landscape lighting must be turned off from 11:00 p.m. to the following dusk.

#### **2.4.2.4 Berms**

The design intent for berms is to provide visual interest in the landscape and privacy from adjacent uses, but not to screen the front of the home from the street or appear to delineate property boundaries. Where practicable, coordinate berm placement and scope with adjacent properties to avoid double berms. Berm grading must not obstruct access along Town of Eagle lot perimeter easements.

Design criteria for earthen berms are as follows:

1. Berms must be delineated for DRB review on the ground prior to construction.
2. Berm height may not exceed 4 feet above natural grade.
3. Side slope gradients must vary in steepness with no slope exceeding 2:1 gradient. (By example: In section, a berm 4 feet high with 2:1 side slopes on level ground would be 16 feet wide across its base).
4. The transition to other finished grades must present a smooth gradation over several feet in section. Sharply defined margins are not permitted.
5. The crest of any berm must vary in height by at least 1 foot in each 15 feet of berm length. In plan view, the crest of any berm must meander substantially to imply a natural feature and avoid the straight lined impression of a windrow of soil.
6. Side yard berms between houses are strongly discouraged.
7. Rear yard and front yard berms may not exceed 1/3 the length of the respective property or disturbance area boundary.
8. Boulders integrated into earthen berms must constitute less than 1/4 of the berm's plan view area with the resulting height being less than 4 feet above the berms base grade. Boulder terracing may be permitted on steep lots.

#### **2.4.3 Pre-Construction Homesite Maintenance**

1. Each homesite Owner shall be responsible to maintain any unoccupied homesite in such a manner as to minimize fire hazard (mow once or twice per season), to control wind and water erosion and to minimize the presence of noxious weeds and dust.

2. In the event that a homesite is not maintained as described above, the DRB shall have the authority to enter the property and conduct such maintenance measures as may be required to bring the homesite into compliance with terms. The homesite Owners shall then be assessed the cost of performing these tasks.

#### **2.4.4 Front Yard**

1. The front yard should ~~must~~ appear as a manicured landscape that complements the street presence of the home as viewed from the arrival traffic flow. Please refer to attached Xeriscape Policy for additional landscaping options.
2. The full width lot area from the back of the curb or roadside ditch to the perimeter planting bed along front of the residence may ~~shall~~ be maintained as irrigated, manicured lawn within which may be placed walkways, driveways (but not parking), as well as expansive mulched beds of flowers, shrubs and trees. A maximum of 40% of the front yard may ~~must~~ be manicured lawn.
3. Front yard and planting strip lawn areas may ~~must~~ be installed as sod or variation of buffalo grass (it is recommended that a landscape architect or local nursery be consulted for appropriate drought tolerant sod species). Native grasses may be planted along the sides of the front yard if it blends with neighboring lots. Other lawn areas may be seeded.
4. In neighborhoods with curb, gutter and sidewalk, each Owner shall plant and maintain 2-inch caliper street trees (it is recommended that a landscape architect or local nursery be consulted for appropriate species). These street as trees should be aligned and centered in the planting strip along each street frontage spaced not more that 60 feet apart. A typical lot will require two such trees – one near the right front lot corner and the second near the center of the lot.
5. In neighborhoods without curb, gutter and sidewalk, each Owner shall plant and maintain two 2-inch caliper trees on each street frontage. These trees should be planted on the lot in an alignment 5 feet from the front property line near each front corner of the lot.
6. Diversity of tree species is encouraged, maintaining consistency with shape and height at maturity is desired (60 ft. max height – 45 ft. max crown diameter). Tree placement on corner homesites must respect intersection sight distances.
7. Irrigation system placement and plant material locations should respect winter snow storage requirements in areas adjacent to the roadway, sidewalk, and driveway.

#### **2.4.5 Side Yards**

1. Except for driveways, side yards may be landscaped in irrigated lawn and/or planting beds. Native grasses may be planted along the side yard if it blends with neighboring lots. Other intensive screening landscape plantings may be located in side yards between the front of the building to the rear yard setback to provide privacy for specific window or use areas. However, these plantings must be carefully designed to avoid creating a fence like delineation along property lines.
2. See Outbuilding, Recreational Structures, and Fire Pits Policy
3. Side yard lawn areas may be seeded.

#### **2.4.6 Rear Yard**

1. Irrigated lawn, native grasses and/or wildflowers, trees, planting beds and vegetable gardens are appropriate for rear yards.
2. Rear yard plantings should be designed to avoid creating a visible delineation between properties.
3. On homesites that adjoin the golf course, the landscape treatment within the rear lot setback should provide a transition zone to the golf course landscape to avoid the delineation of property setback lines. This transition zone shall blend to match the adjacent golf course landscape. Selected tree and shrub plantings may be located in this zone and maintained with a drip irrigation system. Specific plantings should consider visual sight lines to and from the golf course while addressing safety and privacy of homesite residents.

#### **2.4.7 Permanent Irrigation**

The design intent for permanent irrigation is to provide for efficient, conservative use of water resources appropriate to approved landscapes.

1. All homesites shall be required to install an underground automatic timer controlled irrigation system as approved by the DRB. Each system shall be designed for a water flow rate of not more than 12 gallons per minute at a minimum residual pressure of 40 pounds per square inch at the street.
2. In Meadows neighborhoods permanent irrigation is limited to 50% of the total lot area. On homesites adjacent to irrigated golf course landscapes up to 1,500 square feet of additional permanent overhead sprinkler irrigation may be approved within the rear yard setback to blend and match adjacent irrigated golf landscapes.

3. Individual plant drip irrigation systems of fully planted beds comprised of larger perennials, shrubs, and trees are encouraged. Beds planted with annual flowers, and smaller plants are better irrigated with overhead sprinklers. When conscientiously managed, drip systems use about 60% of the water as compared to overhead sprinkler and mini-spray irrigation.

#### **2.4.8 Temporary Irrigation**

Temporary (2 full irrigation seasons) overhead sprinkler irrigation is required to re-establish healthy vegetation on formerly irrigated hayfields and areas disturbed during construction. Temporary systems should be surface mounted and must be removed at the end of the second full irrigation season after installation.

#### **2.4.9 Landscape Installation, Maintenance, and Remedy**

##### *2.4.9.1 Installation Performance*

Each homesite shall be fully landscaped in compliance with plans approved by the DRB within 90 days of the issuance of the Temporary Certificate of Completion of residence.

The DRB may approve extension of this performance period due to winter conditions that are not conducive to the survival of the plantings.

##### *2.4.9.2 Maintenance*

The homesite Owner shall diligently maintain the landscape plants in a manner that is consistent with the normal character of the plants. This shall include cooperation with the Eagle Ranch Association to minimize fire hazard and noxious weeds through appropriate mowing, weed controls, irrigation, and removal of dead branches and brush.

### **DISTURBED AREA REVEGETATION**

The following materials and procedures shall be applied to revegetation and rehabilitation of native vegetation areas disturbed during construction. It is recommended that a landscape architect or local nursery be consulted\*.

- A. REVEGETATION SEASON:** (Mid-March through early September): Follow the revegetation protocol below. Do not revegetate after September 10 as the seeds are likely to germinate but the seedlings will not survive the first winter. For fall or winter erosion control, apply straw mulch to disturbed areas. Then revegetated fully the following April.
- B. PREPARE SEED BED:** Rip and/or roto till disturbed soil to a depth of 9 to 12 inches and prepare the seedbed prior to dry application or hydro mulch of seed, fertilizer and mulch. The prepared seedbed should be free of large soil clumps
- C. FERTILIZE:** Apply fertilizer per manufacturer's specifications.\*

- D. SEEDING:** Apply appropriate\* pure live seed mix at a rate of 41 13/16 lbs. /acre or 1 lb. /1,000 square feet.
- E. MULCH:** Hydro mulch with tackifier and certified weed seed free straw at a rate of 2,000 lbs./ acre or 50 lbs./1,000 sq. ft. Alternatively, spread dry certified weed seed free straw mulch to a loose, uniform depth of 3 inches and anchor in place with netting per manufacturers' recommendations.
- F. TEMPORARY IRRIGATION:** Keep the seedbed continually moist for 10 to 14 days or until the seed germinates. Supplement natural rainfall to a total of: 1) First Growing Season, 1 inch moisture per week; 2) Second Growing Season, ½ inch moisture per week; 3) Third Growing Season, discontinue temporary irrigation.
- G. MAINTENANCE:** Reapply seed mix on areas that did not "take" within the first two months of the growing season. Once established, the above revegetation should discourage the invasion of noxious weeds. Until then, eradicate noxious weeds by hand or by careful spot application of Round-up™. Do not use broad leaf herbicides, as these products will kill the shrubs, forbs, and wildflowers.

*2.4.9.3 Association Authority to Remedy*

1. The Eagle Ranch Association has the authority to enter upon a homesite and undertake such maintenance measures as may be required for the landscaping to meet the minimum quality of appearance, health and fire safety that is consistent with the character of Eagle Ranch.
2. The Association may then levy a Reimbursement Assessment against such homesite Owner for all costs and expenses incurred by the Association in completing such landscape maintenance work, including any costs and expenses of collection and attorney fees.

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**3 ARCHITECTURAL STYLES**

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**3.1 DESIGN INTENT****3.1.1 Overview**

**T**he exterior of every house must adhere to the design principles established for one of the three architectural styles shown in Style Design Characteristics sections below. The intent of these guidelines is not to create replicas of 100-year-old homes but rather to create contemporary interpretations of the historical architectural precedents of the Colorado mountain region. It is fully expected that the historically based exterior architecture will be compatible with contemporary interior floor plans. Mixing of design principles between the 3 styles is strongly discouraged.

Three design architectural types have been established for homes within The Meadow.

Victorian – Inspired by Queen Anne and Folk Victorian styles of architecture.

Prairie – Inspired by the Mid-Western Prairie School of architecture.

Craftsman – Inspired by the Craftsman style of architecture.

All three of the types are well represented in the Colorado mountain region, their designs and execution adapted to the areas unique climate, available and traditional building materials and color in the surrounding landscape.

A goal of establishing three types is to create a balance between consistency and variety.

**3.1.2 Architectural Plan, Style and Plan Repetition Approval**

1. Design Review Preliminary or Final Approval will extend for up to twelve (12) months during which time construction must commence. Additional review fees may apply when approved plans are submitted for Technical Review after a lapse of twelve (12) months from approval.
2. No more than 3 houses in a row should be of the same architectural style. Upon special review the design review board may allow a style to be repeated more than 3 times in a row.
3. The Design Review Board must find that there are sufficient architectural differences in elements such as massing, roof forms, fenestrations, colors, exterior materials, and details between any two homes to avoid the appearance of the repetition of a plan within six (6) inter-visible lots.

4. A previously approved plan may be repeated following a finding and approval by the Design Review Board that:
  - a. Written agreement for the plan's reuse has been provided to the Board by the Architect/Designer, the Owner of the plans, and the Owners of record of all previously built instances of the floor plan;
  - b. The re-use instance is not inter-visible with another instance of the same design; and
  - c. Elevations are expressed in sufficiently different exterior finishes, details, and/or colors as not to be a replica of the previously built instance of the plans. Such differences shall include but not be limited to exterior materials, trim and other architectural details, and colors. Other differences that are strongly encouraged include but may not be limited to mirrored floor plan, fenestration placement, front porch variations, and roof massing.
  - d. The reuse of a plan shall be subject to a full design review process as with any other submittal for consideration.

### 3.1.3 Architectural Style Reservation

The intent of this section of these Design Guidelines is to facilitate timely construction of architecturally varied streetscapes comprised all three architectural styles. Further, this section seeks to avoid constraining the choice of architectural styles for Owners who are diligently pursuing design and construction of a home in Eagle Ranch.

#### 3.1.3.1 *Conditional Style Reservation During Design Review Process*

The architectural style is conditionally reserved at the Pre-Design Conference. The conditional reservation is held for up to four (4) months during which time the Design Review Process must be completed. Following Design Review Final Approval the conditional reservation is extended for up to eight (8) months during which time construction must commence.

#### 3.1.3.2 *Permanent Style Assignment*

The conditional style reservation becomes permanent when construction starts.

#### 3.1.3.3 *Lapse of Conditional Style Reservation*

The conditional style reservation lapses if:

1. The Design Review Process is not completed within four (4) months following the Pre-Design Conference.

2. Construction does not commence within eight (8) months following Final Design Review Approval.

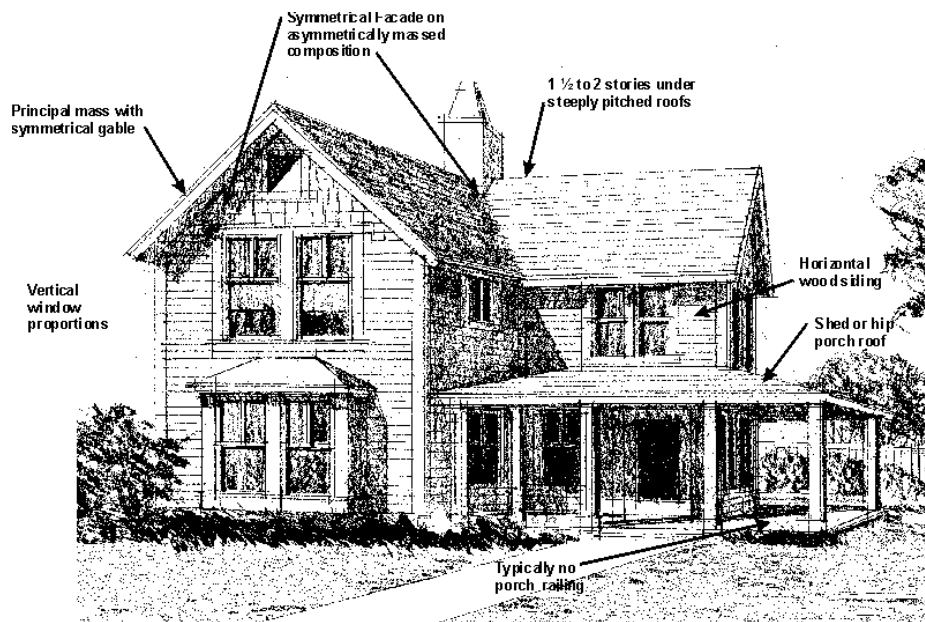


3.2 MEADOW VICTORIAN DESIGN CRITERIA

These Victorian Style Design Characteristics are based on the simpler expressions of the Queen Anne and Folk Victorian<sup>1</sup> homes in surrounding Colorado mining and ranching towns built in the late 19th and the early 20th centuries.

The Folk Victorian style includes simple rectangular masses or front and side wing masses. Roof forms are typically steep pitched front or side gabled. Spindle work detailing for porch roof supports, combined with flat or jigsaw cut lacy spandrels, trim and cornice line brackets were added to a greater or lesser degree to create the Folk Victorian style. Exterior cladding was almost always horizontal clapboard. Other wooden cladding (vertical siding, decorative shingle patterns, attic vent grills, etc.) was commonly used at the gable ends. A full or partial porch occurs on the front façade.

The porch roof is generally a simple shed but may incorporate a gable over the front steps.



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The Queen Anne Victorian house typically includes a central rectangular mass with partial width front and side wing masses. The masses of the structure are almost always the same number of stories in height. A steeply pitched hipped roof over the principal mass with symmetrical gables over the front and side wings creates

<sup>11</sup> **A Field Guide to American Houses**, Virginia and Lee McAlester, Alfred A. Knopf, New York, 1998

a typically irregular roof form. Dormer roof forms are often eclectic (gabled, hipped, shed, stylized) and may be intermixed. A full or partial one story covered porch extended along the front façade, and often continued around one or both sides of the building. More elaborate expressions of the style might contain an offset round or octagonal tower with an associated roof form. Bay windows, areas of patterned shingles, and the complex massing combine to avoid a smooth-walled appearance to this asymmetrical vernacular. Exterior cladding was usually horizontal clapboard.

Decorative shingle patterns, attic vent grills, etc. were commonly used at the gable ends. Brick or stone was used regionally for foundations and chimneys.



### 3.2.1 Historic Context of the Victorian Style

Victorian architecture was the dominant style of domestic building from about 1880 until 1900 after which it declined in popularity, being replaced by the Prairie and Craftsman vernaculars. Regional Victorian designs were typically simplified versions of designs of the East, South, and Midwest regions of this country. The designs and construction practices of these homes had been modified by the builders, who had relocated here from those areas, in response to the more demanding climatic conditions, the lack of sophisticated wood working mill shops, and the modest means of their Owners.

Beyond the cultural context of the times, Victorian homes were popular in mountain communities because they were relatively quick and inexpensive to build. These attributes arose from the light framing and the fact that standardized windows, doors, wood trim, porch columns and other elements could be shipped here by rail. Regional Victorian homes ranged in size, complexity, and degree of ornamentation from simple, plainly expressed working family residences to larger more elaborate expressions of the Owner's business or community status.



### 3.2.2 Victorian Style in The Meadows

It is strongly encouraged that Victorian style residences in The Meadow trend toward simple, asymmetrical massing, steep roofs, covered one story porches, vertical proportions, and clapboard exterior cladding. Ornamental trim such as pendants and lacy spandrels should be reduced, simplified, or eliminated. Brick or stone may be used for foundations or chimneys. Tower elements are discouraged and if proposed, must fit within allowable building height. Strong preference is given to gable roofs protecting entries and steps from snow and ice. Shed roofs over entries that require heated gutters are discouraged. Contemporary interpretations of the vernacular are encouraged. Interpretations are expected to accommodate the changes in residential spaces and uses that have occurred over time, yet must express the underlying principles of Queen Anne and Folk Victorian Styles. In all regards, the Victorian styles must meet the other provisions contained in these Design Guidelines.

### 3.2.3 Main Massing

1. The house must be an asymmetrical composition, preferably of at least two principal one and one-half or two story, gable roofed masses set at right angles to each other.
2. Secondary masses or wings of the house may be one, one and one-half, or two stories.

### 3.2.4 Roofs Forms

1. All primary roofs must be symmetrical gable roofs with 10:12 to 12:12 pitches.
2. No primary masses of the house may have shed roofs.
3. Minor massing elements of the house may have shed and hipped roofs with roof pitches between 2:12 and 6:12. A hipped roof may be employed at the connection between

primary gable roofs. Its pitch must be between 10:12 and 12:12. If a hipped roof is proposed, it must be a visually subordinate connector between the primary gable roofs. The latter may not appear simply as dormers on a large hipped roof.

### **3.2.5 Front Porch**

1. The porch must be covered by a shed roof with a slope between 2:12 and 6:12. Porch roof may have a gable element over the entry to keep water, snow, and ice from falling on walkway.
2. If present, railings should consist of thin vertical balusters kept between double bottom rails rather than lagged to the fascia below.

### **3.2.6 Façade**

1. The overall façade should be asymmetrical.
2. The placement of individual elements (e.g. roofs, porches, windows, and doors) on the gable ends of principal masses of the house should be symmetrical. There is often one large dominant window element centered at each floor on a façade.
3. The proportions of the façade including the windows should be vertical. The detailing of the façade and rooflines in general should emphasize vertical lines.
4. In general the primary elements of the façade of the house should have some decorative detailing. This detailing need not be historically correct; it may be simplified, abstracted, modern versions of the traditional detailing.
5. In general structure is de-emphasized.

### **3.2.7 Exterior Materials**

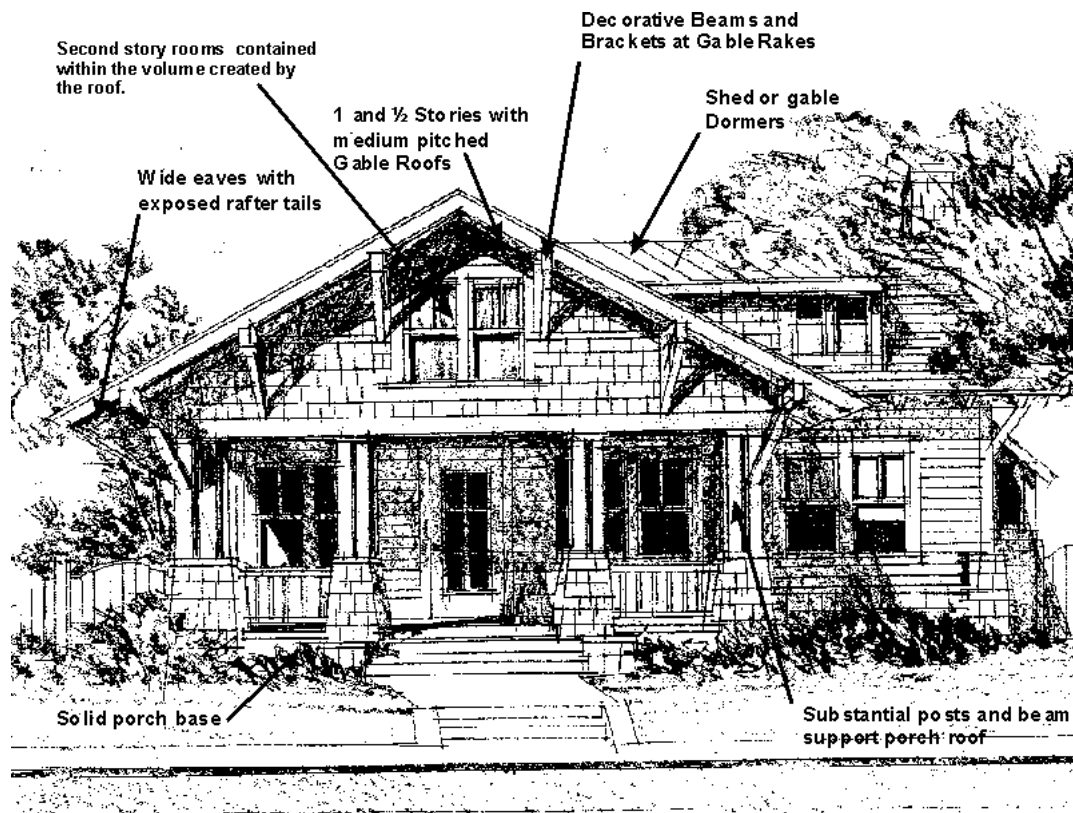
1. Horizontal wood or simulated wood siding is most typical to the vernacular and is appropriate. Vertical siding may be appropriate in certain applications. Shingle siding may be appropriate in gable ends and as accents.
2. A different exterior material and color may be appropriate at the base of the house such as different wood siding, brick, stone or stucco. The base should be low, approximately 12 inches to 24 inches, and not higher than approximately 3 feet above the first floor level.
3. If stucco, brick, or stone is used, it may not cover more than 50% of the vertical surfaces of any elevation.

### 3.2.8 **Windows**

1. Vertically oriented double or single hung rectangular windows are strongly encouraged in Victorian homes.
2. In addition to provisions of Section 2.3.2.3 Divided Lights (above), divided light patterns may be sparse – e.g. the upper glazing being divided into two or four panes.

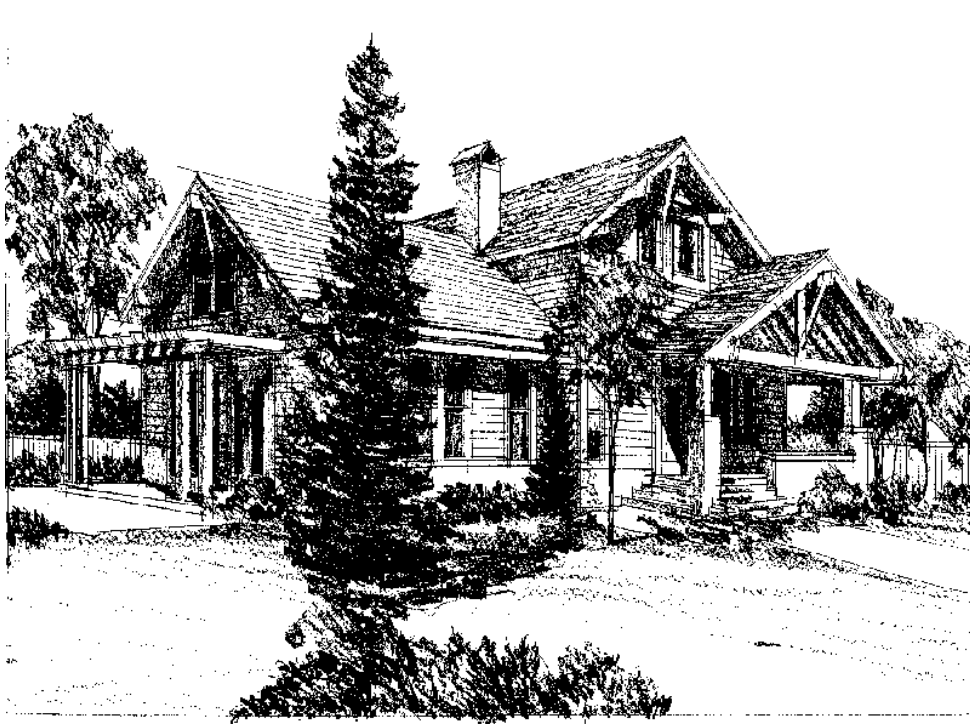
3.3 MEADOW CRAFTSMAN STYLE

The Craftsman Style of architecture is identified by a principal rectangular mass of 1 or 1-1/2 stories. When present, side wings are subordinate to the principal mass. Roofs are gabled. The predominant form is medium-pitched front or side facing gables with second story rooms being contained within the volume created by the roof. All roofs have wide eave and rake overhangs. Among the most distinctive features of the style are the eave and gable ends that are almost never boxed or enclosed. The roof rafters are always exposed under the eave soffits. Substantial, decorative beams or braces appear under the gable rake soffits. Second story dormers are prevalent, serving living spaces contained within the volume created by the roof. Dormer roofs are gable or shed, however the two forms are rarely intermixed.



One story covered porches of either full or partial width along the front of the building are common. Partial width porches are rarely less than half the façade width of the principal mass of the structure. Short, tapered square columns or groupings of smaller non-tapered columns that spring from more massive parapet height piers typically support the porch roof.

The composition of the façade may be either asymmetrical or symmetrical. Symmetry is created by full width or centered partial width porches, window and door placement, and in the case of side gabled roofs, by a large centered dormer or a pair of lesser dormers. Asymmetrical expressions are well within the vernacular - typically being front-gabled with an offset partial width porch and its substantial roof gable.



The most common exterior wall cladding in the Rocky Mountain west is clapboard primarily because of ready availability, ease of construction, and affordability, and where short construction seasons conspired against brick, stone, and stucco. Shingle, stone, brick, and stucco are sometimes used as exterior materials of the vernacular. Masonry was generally reserved for foundations, chimneys, porch post piers, and wainscot height base at or below first floor windowsill level.

The interior treatment is arguably the most distinctive feature of the Craftsman Style. Principles that underlie the Craftsman Style are durability, fitness for the life that is to be lived in the house, and harmony with its natural surroundings. Craftsman houses are

designed with regard to economy of space and material; to secure openness of space and freedom in the interior; and the avoidance of crowding. The vernacular depends on the liberal use of wood finished to reveal its friendliness; upon warmth, richness, and variety of color; and the charm and expression of structural features and built in furnishings<sup>2</sup>. A combination of interests in the English Arts and Crafts movement, oriental wooden architecture, and appreciation for the manual arts strongly influenced these intricately detailed interiors.



### 3.3.1 Historic Context of the Craftsman Style

The Craftsman style was the dominant style for smaller houses built throughout the country during the period from about 1905 until the early 1920's. The vernacular was inspired in part by the work of Charles S. and Henry M. Greene, Pasadena brothers who worked together from 1893 to 1914. In about 1903 they began designing simple bungalows. The Craftsman bungalow became wildly popular and spread rapidly via pattern books and magazines much like the contemporaneous Prairie style.

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<sup>2</sup> p.9, Gustav Stickley, Craftsman Homes, Dover Publications, Inc., 1979



### **3.3.2 Craftsman Style in The Meadows**

Strong preference is given to gable roofs protecting entries and steps from snow and ice. Shed roofs over entries that require heated gutters are discouraged. Designs that evoke an international motif are strongly discouraged. Contemporary interpretations of the vernacular are encouraged. Interpretations are expected to accommodate the changes in residential spaces and uses that have occurred over time, yet must express the underlying characteristics of the Craftsman style. In all regards the Craftsman style residence must meet the other provisions contained in these Design Guidelines.

### **3.3.3 Main Massing**

1. The main mass of the house should be one or one and a half stories (e.g. story where the second story rooms are largely contained within the volume of the roof.) Designs with a minor portion of the second story fully expressed may be approved upon specific finding of the DRB.
2. The secondary masses of the house or wings may be one or one and a half stories.

### **3.3.4 Roof Forms**

1. All primary roofs must be gable roofs with slopes between 6:12 and 10:12.
2. The overhanging gabled ends and eaves are typically open.
3. The gable rake ends and eaves of principal roofs must have large overhangs of at least 30 inches. Eave and rake overhangs on minor dormer roofs may be reduced in proportion to their size but not less than 18 inches.
4. Exposed rafter tails are required at all eave overhangs.
5. Rake end look-out beams and/or brackets having some ornamental detailing at the connections and/or end conditions are required.
6. Dormers may have shed or gable roofs. Other eclectic dormer forms with established historic precedent in the Craftsman style may also be used.
7. Hipped roofs may be used on wrapped porches; however, hipped roofs are not permitted elsewhere on the structure.

### **3.3.5 Front Porch**

1. A gable or shed roof must cover the porch.
2. Substantial columns must support the porch roof at least 8 inches square in section. Columns may be solid or built up, but

should be of a smooth finished surface. Alternatively, the columns may be constructed of a spaced grouping of 4x4 or larger posts, the combined footprint of which implies a cross section of at least 8 inches square.

3. Columns should spring from capped piers that extend at least 3 ½ feet above the porch deck level. The piers may be clad in any approved masonry or siding product.
4. A beam that spans the porch columns and thence supports the roof must be expressed.
5. Typically, the columns, beams and brackets have some decorative detailing along their edges, at the connections between them, and at end conditions.
6. The space below porch deck level should be enclosed.
7. Either railings or parapet walls are provided to enclose the porch.

### **3.3.6 Façade**

1. The overall façade may be symmetrical or asymmetrical.
2. The composition of elements (e.g. window, door, porch and roof) on individual masses of the house should favor symmetry. The combination of principal and secondary masses of the structure may be asymmetrical.
3. In general, the primary elements of the façade should express structure, emphasize horizontal lines, and have some decorative detailing.

### **3.3.7 Exterior Materials**

1. It is common to have a different exterior material and color at the base of the house such as brick, stone and stucco or heavier wood siding in a different color is another option. The base should have a horizontal emphasis or banding and typically is less than 3 feet above the floor level.
2. If masonry is used, it should cover no more than 50% of any elevation.
3. Often wood, simulated wood, and/or shingle siding is used above the base. Typical wood or simulated wood sidings include bevel, horizontal tongue and groove and horizontal shiplap siding.

### **3.3.8 River Rock**

Native Eagle River Valley River Rock is conditionally permitted as an exterior material on Craftsman style homes only. Careful and purposeful lay-up of river rock is critical. Examples abound of

poorly executed river rock applications that appear to be ill fitted, non-structural cladding. River rock applications in Eagle Ranch must evoke the sense of mass and structural integrity that is implicit in masonry structures. The individual rocks' size range, general shape, orientation in the lay-up, tightness of fit, and resulting narrow, deeply raked mortar joints must be carefully and purposefully executed. To this end, a 4 foot high by 8 foot wide sample panel of the proposed lay-up shall be constructed on site for DRB inspection and acceptance prior to approval of river rock. Applications that differ from the sample panel may be subject to removal and re-installation. River rock applications in Eagle Ranch shall meet the following specifications:

1. Size range of exposed face of any individual stone:
  - a. Minimum stone size = 3 inches x 5 inches;
  - b. Maximum dimension = 15 inches in any dimension.
2. The overall lay-up should be planar, either vertical or battered. A scattering of individual stones of greater thickness may protrude beyond the general plane of the wall. The lay-up should contain a well-graded blend of sizes within the range.
3. General shape and proportion exposed face of individual stones:
  - a. Not less than 70% of the exposed surface shall be comprised of distinctly oval shapes;
  - b. Not more than 30% of the exposed surface may be comprised of round or angular shapes;
4. Orientation of stones in the lay-up:
  - a. Place oval shapes horizontally;
  - b. Place, round or angular stones randomly within the field of horizontally placed oval stones;

### 3.4 MEADOW PRAIRIE STYLE

The Prairie style includes both symmetrical (American Four Square) and asymmetrical compositions of lower rectangular masses with forward and/or laterally projecting elements. All have wide eaves and hipped roofs. Locally the most common form is the symmetrical, formal, and compact American Four Square.



The Prairie style is an eclectic architectural vernacular defined by the dominance of horizontal line with a spirited interplay of short vertical accents. Virtually every aspect of the design establishes the horizontal line. The structure is often set upon the broad base. The disposition of the principal or composite masses of the structure, the shape and proportion of the low-pitched hipped roof, second story frieze, the horizontal banding of windows, with often a belt course between stories reinforce the horizontal. The resulting continuity of line, edge, and surface lends horizontal design unity.

Short vertical accents such as piers, mullions and subsidiary masses enliven the design. Ornamentation is rare and every feature of the building from the basic mass to the smallest detail is clear, precise, and angular<sup>3</sup>.

<sup>3</sup> p. 3 - 6, H. Allen Brooks, *The Prairie School*, 1972



Exterior materials typically include brick, stucco, and wood. Stone was rarely employed. Stucco is used in combination with rough-sawn, stained wood that either suggested structure or served as trim. Brick, though not interspersed with other materials, was sometimes used on the first story with wood combined above. Horizontal wood siding was most often used in smaller communities of the Rocky Mountain West where brick and stucco materials and trades were not readily available, and where short construction seasons conspired against more traditional Midwestern materials.

### **3.4.1 Historic Context of the Prairie Style**

Prairie style architecture came to prominence in the American Midwest. The style evolved in Chicago and was spread widely in pattern books and popular magazines. Prairie style homes are common throughout the country. Most were built between 1905 and 1915. After its peak it continued relatively unchanged into the 1930's. Several American Four Square homes from that time can be found in the historic neighborhoods of Eagle.

### **3.4.2 Prairie Style in The Meadows**

Prairie style residences in The Meadow should tend toward a compact expression of the vernacular though they need not be symmetrical or highly formal. Contemporary interpretations of the vernacular are encouraged. Interpretations are expected to accommodate the changes in residential spaces and uses that have occurred over time, yet must express the underlying characteristics of the Prairie style. Designs that evoke an international motif are

strongly discouraged. In all regards, the Prairie style residence must meet the other provisions contained in these Design Guidelines.



### **3.4.3 Main Massing**

1. The main mass of the house should be two stories plus a roof.
2. The secondary masses of the house or wings may be one, 1-1/2 or 2 stories.
3. In general occupied space other than vaulted ceilings should not be created within the roof due to the low roof pitches.

### **3.4.4 Roof Forms**

1. All primary roofs must be hipped roofs. Primary roof pitch should be between 4:12 and 6:12.
2. Eave overhangs must be at least 30 inches wide, and may be supported by simple brackets or struts. The eaves may be open with exposed rafters or enclosed with either rake or flat soffits.
3. A dormer centered on the front elevation roof is a common element.
4. Dormers may have shed or hipped roofs.

### **3.4.5 Front Porch**

1. The porch is typically centered on façade.
2. The porch must be covered by a hipped or shed roof supported by beams and large detailed columns that spring from piers above deck level.
3. The base below the porch should be solid.
4. Railings, if provided, should be as open as possible. A seat height parapet may be provided with or without railing. If a

railing is provided, it should be comprised of thin vertical pickets spaced as far apart as building codes allow.

#### **3.4.6 Façade**

1. Overall the façade should be symmetrical.
2. The design of individual elements or masses of the house including roofs, porches, windows, and doors should be symmetrical.
3. The detailing of the façade and rooflines should emphasize horizontal lines.
4. In general, with the exception of the porch columns and beams, structure is de-emphasized.

#### **3.4.7 Exterior Materials**

1. Horizontal wood or simulated wood siding is the most common wall cladding. Other common horizontal sidings include horizontal tongue and groove and horizontal shiplap.
2. Often a different exterior material and color is used at the base of the house such as a different wood siding, brick, stone or stucco. Metal panels are not acceptable for a base. The base should be low, approx. 24 inches to 36 inches above the floor level.
3. A frieze of a distinctive cladding material is often applied to the second story or portions thereof to emphasize horizontal lines.

#### **3.4.8 Windows**

1. In keeping the horizontal emphasis of the Prairie style, windows may be ganged to a greater extent than with other architectural styles. Individual windows within the series should be square or vertically oriented rectangles.
2. In addition to provisions of Section 2.3.2.3 Divided Lights (above), divided light patterns should emphasize horizontal lines.

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## 4 DESIGN REVIEW AND APPROVAL PROCESS

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The following sections describe the major steps involved in the Eagle Ranch design review process. Submittal materials required for each step in this process are also listed. The DRB may, at the request of an owner or at their own discretion, modify any of these submittal requirements. Approved plans will be valid for 1 year from date of approval. Administrator will determine level of review after expiration.

### 4.1 TOWN OF EAGLE DEVELOPMENT REGULATIONS

While these design guidelines constitute the primary tool for controlling the development of Eagle Ranch, other material must also be considered during the design process. In addition to these guidelines, the annexation of Eagle Ranch into the Town of Eagle included the approval of a development guide, preliminary and final subdivision plats, and subdivision covenants. The Town of Eagle has adopted various codes and regulations that apply to residential development (e.g. building and electrical codes, lighting ordinance, etc.). The Town of Eagle Building official may be contacted by phone at (970) 328-6354. Each of these documents establishes regulations that also control development in Eagle Ranch. In some cases, there may be conflicting provisions within these control documents. In the event of such conflict, the most restrictive provisions shall apply.

### 4.2 DESIGN REVIEW PROCESS

The Design Review Process encompasses three design stages as follows:

#### 4.2.1 Step One: Pre-Design Conference

##### 4.2.1.1 Purpose:

The Pre-Design Conference is an informal review to exchange introductory design information between the DRB Administrator and the Owner, architect or builder. The purpose of the Pre-Design Conference is to facilitate the smooth, timely and cost effective review and approval of development at Eagle Ranch. It is intended that the Pre-Design Conference be held at the very beginning of the design process prior to the Owner committing substantial professional design costs.

##### 4.2.1.2 Topics of Discussion:

The typical Pre-Design Conference, without limitation, will focus on:

1. Property boundaries and setbacks;
2. Easements and utilities;
3. Topographic survey;
4. Site characteristics (e.g. views, sun, adjacent properties, etc.);



5. Architectural theme, land use pattern, and special design considerations;
6. Design Guidelines and other related Town of Eagle regulations; and
7. Conditional reservation of the architectural style for the project for a period of not more than 4 months during which time the Design Review Process must be completed.

#### **4.2.1.3 Required Materials**

Meeting materials to be presented by the Owner at the Pre-Design Conference include:

1. Pre-Design Conference Application.
2. Pre-Design Conference Fee - call DRB Administrator.
3. Soils groundwater report for buildings with basements as appropriate.
4. Information indicating the relationship of proposed development to the site and adjacent homesites.
5. Conceptual site plan of the homesite indicating the location of all proposed structures and other site improvements.
6. Perspective and other informal character sketches, clippings, etc. of the proposed residence floor plans and elevations. Formal detailed plans are not required at the Pre-Design stage.

#### **4.2.2 Step Two: Preliminary Plan Review**

##### **4.2.2.1 Purpose:**

The Preliminary Plan Review is the first of two review stages conducted with the full Design Review Board. The purpose of the Preliminary Design Review is to ensure that design development level drawings conform to the Design Guidelines prior to construction level drawings being undertaken. It is intended to provide the Owner and DRB with the information needed to avoid wasted time, effort and expense that result from pursuing a design in conflict with the Design Guidelines.

##### **4.2.2.2 Topics of Discussion:**

The typical Preliminary Plan Review, without limitation, will focus on:

1. Response to matters identified at the Pre-Design Conference;
2. Design specific site plan and architecture responsiveness to the Plat, Design Guidelines and other applicable regulations;
3. Preliminary materials and color selections;
4. Preliminary exterior lighting plan;

5. Preliminary landscape plant massing and irrigation concept plan;

**4.2.2.3**     *Required Materials*

Meeting materials are to be submitted by Owner as described by the DRB Administrator (posted on website).

**4.2.2.4**     *Incomplete/Late Submittals*

Incomplete and/or late submittals will not be accepted.

**4.2.3**     **Step Three: Final Plan Review**

**4.2.3.1**     *Purpose:*

The purpose of the Final Plan Review is to ensure responsiveness to Preliminary Plan Review guidance, and to ensure that the construction plan set including all improvements to the site conforms to the Design Guidelines. Final approval will be the record basis for issuance of the Design Review Approval letter and stamped plan set required by the Town of Eagle prior to their review of a building permit application.

**4.2.3.2**     *Topics of Discussion:*

The typical Final Plan Review, without limitation, will focus on:

1. Response to matters identified at the Preliminary Plan Review;
2. Design specific site plan and architecture responsiveness to the Plat, Design Guidelines and other applicable regulations;
3. Final materials and color selections;
4. Final exterior lighting plan;
5. Final landscape plan;
6. Extension of Conditional Style Reservation for not more than eight months during which time construction must commence.

**4.2.3.3**     *Required Materials*

Meeting materials to be submitted by Owner (as described on the website) prior to the Final Plan Review meeting:

**4.2.3.4**     *Incomplete/Late Submittals*

Incomplete and/or late submittals will not be accepted.

**4.2.3.5**     *Town of Eagle Building Permit Sets*

Following Final DRB Approval the Applicant shall provide the DRB with an electronic Full-scale Plan Sets that have been revised to address Conditions

of Final Approval (if any). Within 1 week after acceptance of the Revised Final Plan Sets, Construction Clean-up and Compliance Deposit, and Eagle Ranch Metropolitan District Water Fee, the DRB will issue to the Owner a Design Review Approval letter and stamped plans. Upon issuance of its building permit, the Town of Eagle will retain one of these plan sets for their records and issue the second with the Building Permit for construction.

### **4.3 CONSTRUCTION INSPECTIONS**

The Town of Eagle is the responsible agency for construction inspections. The Design Review Board will also inspect construction progress at certain milestones as follows:

#### **4.3.1 Pre-Construction Meeting On Site**

1. Purpose - The purpose of the Pre-Construction Meeting on site is to assure that the builder and Owner have installed the elements of the Construction management plan prior to any other construction on the site.
2. Action - Notify the Design Review Administrator as soon as the building permit is received and before commencement of any construction activity. At that time, the Owner, Owner's Representative, and/or Builder will schedule the on-site meeting with the DRB administrator to review the installation of all elements of the Construction Management Plan.

Once the Construction Management Plan elements are properly installed, the DRB Administrator will release the site for construction.

#### **4.3.2 Improvement Location Certificate and Inspection**

1. Purpose - The purpose of the Improvement Location Certificate and Inspection is to assure that the foundation footers are located in accordance with the approved plans and that no encroachment into setbacks or easements occurs.
2. Action - The Owner is responsible to provide the DRB with a copy an Improvement Location Certificate prepared by a licensed Surveyor. Alternatively the Owner may provide the DRB with a copy of the Town of Eagle footer and foundation forming inspection reports and surveys (if required by the Town).

#### **4.3.3 Building Height Inspection**

1. Purpose - The purpose of the Framing/Building Height inspection is to ensure that the building is being built in accordance with approved plans.

2. Action - The Owner is responsible to notify the Design Review Board at the same time as the Town of Eagle is notified for its framing inspection. The DRB will attend the framing inspection on site. If the building height is as provided in the approved drawings, the DRB will insert a note in the file to that effect. If the built height exceeds the approved height, remedial measures shall be required which may include but not be limited to construction stop order pending resubmittal for amended final plan approval, and/or framing demolition and reconstruction to the approved design.

#### **4.3.4 Design Changes During Construction**

1. Purpose - It is common for the design of new homes to be refined during the construction process. To the extent that such changes differ from the approved design, the Owner is responsible to seek and obtain DRB approval for such changes prior to implementation. The DRB will make reasonable efforts to review such changes promptly. However, if in the sole opinion of the DRB Administrator such changes constitute a substantial variance from the approved design, full board action at a regularly scheduled meeting may be required.
2. Action - The Owner is required to present proposed changes to the DRB for approval prior to implementing the changes. The DRB submittal and review process for design changes during construction will be managed to an appropriate level based on the scope of the proposed changes. Minor changes may be addressed administratively, whereas more substantial changes may require full DRB action. The DRB will make every reasonable effort to act on such changes in a timely manner.

#### **4.3.5 Certificate of Compliance Review**

1. Purpose - The purpose of the Certificate of Compliance Review is to confirm that the residence and all site improvements are constructed in close conformance with the approved Final Design. The Town of Eagle requires a Certificate of Compliance from the Design Review Board prior to issuance of a Certificate of Occupancy or Temporary Certificate of Occupancy.
2. Action - The Owner is responsible to notify the Design Review Board when the residence is ready for the Certificate of Compliance Review. The DRB will conduct a site visit and inspection to confirm completion of the project as approved. If confirmed, the DRB will issue a Certificate of Compliance. Also if confirmed, the DRB will release the Construction Compliance Deposit.

#### **4.3.6 Temporary Certificate of Completion**

A Temporary Certificate of Completion (TCC) with specific completion date and conditions may be issued before all exterior elements of the project are

complete. In the event that a TCC is requested, the Owner will be required to increase the Construction Compliance Deposit (CCD) in an amount sufficient to cure the conditions. The increased CCD may be in the form of cash deposit or an Irrevocable Letter of Credit in favor of the Eagle Ranch Association.

As soon as the TCC conditions are cured a final Certificate of Completion will be issued and CCD shall be promptly released to the Owner. If the TCC conditions are not cured within the specified time, the DRB may apply the CCD toward completion of TCC conditions. Any residual of the bond and CCD will be returned to the Owner upon completion of TCC conditions.

#### **4.4 MODIFICATIONS TO EXISTING HOMES**

DRB approval is also required for any modification to the exterior of an existing home or its landscape. The review of modifications to existing homes will generally follow the procedures outlined in the Preliminary Review Step. Submittal requirements will generally be limited to plans, written information, material samples or color samples necessary to demonstrate the proposed modification. Prior to beginning the design of any modifications to an existing home, Owners are encouraged to contact the DRB to outline a review process and submittal requirements for the modification.

#### **4.5 CONTINUITY OF CONSTRUCTION**

All improvements commenced on the Residential Lots will be prosecuted diligently to completion, and will be completed within 15 months after commencement unless an exception is granted in writing by the Design Review Board. If an improvement is commenced and then abandoned for more than ninety (90) days, or if construction is not completed within the required period of time, then after notice and the opportunity for hearing as provided in the Bylaws of the Association, the Association may impose a fine of \$1,000 per day (or such other reasonable amount as the Association may set) to be charged against the Owner of the unit until construction is resumed or the improvement is completed as applicable, unless the Owner can prove to the satisfaction of the Executive Board that such abandonment is for circumstances beyond the Owner's Control. Such charges will be a default Assessment and lien as provided in Article 5 [of the Declaration for Eagle Ranch].<sup>4</sup>

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<sup>4</sup> Declaration for Eagle Ranch, Section 6.11.5

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## 5 CONSTRUCTION REGULATIONS

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The purposes of these Construction Regulations are to promote the orderly development of homesites, to avoid unnecessary damage to the site and adjacent properties, to minimize construction impacts on the neighborhood, and to implement agreements between Eagle Ranch, its homeowners, and the Town of Eagle.

Each Owner is responsible to implement these Construction Regulations with his contractors, sub-contractors, suppliers, their employees, and all others associated with construction on the homesite. Any violation of these construction regulations is considered a nuisance per the Declaration for Eagle Ranch and may result in fines or other sanctions.

### 5.1 SAFETY

The Owner is responsible to comply with all governmental safety regulations for construction activities arising from his homesite. The Owner should ensure that agreements with contractors, subcontractors, suppliers, their employees and other agents provide for construction site safety and cleanliness.

### 5.2 EROSION CONTROL AND DRAINAGE

Erosion control measures shall be installed prior to any other construction activity on the site. Such measures shall be maintained in working order throughout the construction period. Should erosion control measures fail, all other construction activity shall cease until erosion controls and any damages are repaired.

### 5.3 CONSTRUCTION FENCE

A green plastic construction fence not less than 42 inches tall shall be installed around the perimeter of the lot or construction limits within the lot prior to commencement of construction. An opening not more than 20 feet in width may be provided for access to the construction site. The construction fence must be maintained standing to help contain construction activities and debris on the construction site.

### 5.4 HOMESITE ACCESS

Homesite access is restricted to and from the street frontage of the homesite. Access or egress across other properties is prohibited except as prior written permission may authorize.

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## **5.5 RESTORATION OR REPAIR OF PROPERTY DAMAGE**

Any damage or scarring of other properties including but not limited to other homesites, driveways, roads, curb, gutter and other public street improvements is not permitted. Should such damage occur, it shall be repaired and/or restored promptly at the expense of the person or entity causing the same; provided however, that the Owner of the site is ultimately responsible to fully repair any damage that occurs as a result of construction on the homesite.

## **5.6 CONSTRUCTION TRAILERS/PORTABLE FIELD OFFICES**

A single construction field office may be approved for placement on the homesite during the construction period as shown on the approved Grading/Construction Management Plan.

## **5.7 STORAGE OF MATERIALS AND EQUIPMENT**

At Owner's sole and absolute risk, the Owner and builder are permitted to store construction materials and equipment on the construction site during construction. Such materials and equipment shall be placed, properly covered and secured in a neat and orderly manner. No materials or equipment may be staged or stored on the site more than 3 days prior to the commencement of construction.

## **5.8 SITE CLEANLINESS**

Each construction site shall be kept neat and orderly to prevent visual nuisance for other properties. Owners and contractors shall provide an adequately sized container for debris and shall clean up all trash and debris on the construction site on a daily basis.

Lightweight materials and packaging shall be covered or weighted to prevent scattering by the wind. Wind scattered debris shall be retrieved immediately and disposed of properly.

Trash and debris shall be removed from each construction site on a timely basis to a dumping site located off the project. No dumping, burying or burning of construction debris is permitted on any property in Eagle Ranch. Mud, dirt or debris resulting from construction activities on the site shall be removed promptly from streets or adjacent properties.

## **5.9 SANITARY FACILITIES**

Each builder shall provide adequate sanitary facilities on site during construction.

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### 5.10 VEHICLES AND PARKING

Use of other homesites for construction parking is not permitted except as prior written permission may authorize. Construction vehicles and equipment may be parked in areas as shown on the approved Grading/Construction Management Plan.

### 5.11 NO TRAFFIC THROUGH CAPITOL STREET

By request of the Town of Eagle, no construction traffic to or from Eagle Ranch may use Capitol Street between Highway 6 (Grand Avenue) and 5<sup>th</sup> Street through the Town of Eagle or within Eagle Ranch including but not limited to deliveries, refuse hauling, lunch runs, out-of Eagle employee commuting, etc.

### 5.12 CONSTRUCTION HOURS

The intent of establishing construction hours is to achieve a balance between efficient, timely construction and the peaceful enjoyment of the community by its residents.

Construction hours are limited to the following:

<b>Day of week</b>	<b>Construction Hours</b>
Monday - Friday:	07:00 to 19:00 (7 a.m. to 7 p.m.)
Saturday:	09:00 to 18:00 (9 a.m. to 6 p.m.)
Sunday/Holiday:	No outside construction or construction support is permitted at any time on Sundays and the following Holidays: New Years Day, Memorial Day, Independence Day, Labor Day, Thanksgiving Day, and Christmas Day.
After Hours	Work and all its support machinery, noise, and related activities that occur and are contained within a fully enclosed structure are permitted any day from 9 a.m. until 11 p.m. This provision may be revoked on any job site upon receipt of the first complaint of construction noise or violation of this or any other Construction Regulation.

### 5.13 CONSTRUCTION NOISE

Use of radios, tape players, CD players etc. shall be restrained so as not to be a nuisance on the golf course, any other property, or public street. Machinery shall not be operated before or after construction hours. Concrete pours shall be scheduled with customarily adequate time to complete the pour within authorized construction hours.



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## 5.14 NO DOGS ALLOWED

The Town of Eagle required Eagle Ranch to adopt policies prohibiting dogs at construction sites. See Declaration for Eagle Ranch Section 8.9. Contractors and subcontractors are prohibited from bringing any dog into Eagle Ranch, including dogs kept inside motor vehicles. Violations of this policy shall result in the immediate eviction of the dog and the dog's Owner or Owner's representative from Eagle Ranch. Repeated violations of the dog prohibition are considered continuing violations with no cure period and fines levied immediately.

## 5.15 MISCELLANEOUS CONSTRUCTION POLICIES

The following miscellaneous construction policies apply to all Owners, contractors, sub-contractors, suppliers and their employees on site during construction:

1. Changing oil on any vehicle or equipment, or discharge of oil or other vehicular products onto the ground, into utility structures, or into waters of the site is prohibited.
2. Concrete truck or equipment wash-out or disposal of excess concrete is prohibited except as shown on Grading/Construction Management Plan.
3. Removal of plant materials, or topsoil from any property other than the subject homesite is prohibited.
4. Carrying any type of firearm is prohibited.
5. Only one construction sign (no larger than 4'x4') as approved by the DRB is permitted on each homesite.
6. A minimum of one 1016 ABC rated dry chemical fire extinguisher shall be conspicuously located and immediately available on each construction site.

## 5.16 ENFORCEMENT

### 5.16.1 Authority to Fine

1. Section 4.12.18 (as amended) of the Bylaws of the Eagle Ranch Association (Association) provides the power, duty and procedures to impose fines and other sanctions for violations of rules and regulations of the Association. The Design Guidelines, including but not limited to the Construction Regulations are rules and regulations of the Association.
2. Section 6.11 Enforcement of the Declaration for Eagle Ranch empowers the Design Review Board (DRB) to adopt a schedule of fines for failure to abide by DRB rules and the Design Guidelines.

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### 5.16.2 **Fine Schedule**

The following Schedule of Daily Fines (Fines) is established for violations of these Construction Regulations.

1. First Violation - A courtesy verbal and written notice of the violation, as well as the required action and time within which to cure the violation.
2. Second Violation – Verbal and written demand, plus a fine of \$250.00;
3. Third Violation - Verbal and written demand, plus a fine of \$500.00;
4. Succeeding Violations - Verbal and written demand, plus a fine of \$1000.00.

### 5.16.3 **Notice**

1. Written and verbal notice will be given to the Owner and Builder as soon as practicable.
2. Written notice will be considered to have been given three days after mailing by U. S. Post.

### 5.16.4 **Violation Abatement**

1. Once notified, the Owner or violator must cure the violation within the reasonable time and in the manner as directed by the DRB or its designee. Immediate abatement may be required when the violation poses a health or life safety risk or when the effects of the violation are deemed to be progressive.
2. Proposed fines will be waived automatically when the violation is cured as directed and within the specified cure time.
3. The proposed fine shall accrue daily for each calendar day beyond the specified cure time until cured.

### 5.16.5 **Hearing**

1. The DRB will hear the matter of fines at its first regular meeting not less than 10 days after notice has been given.
2. The Owner is invited to present any statement, evidence and witness on the Owner's behalf.
3. The DRB acting as Hearing Committee appointed by the Eagle Ranch Association Board will consider the matter. The DRB may waive, reduce or impose the proposed fine in full.
4. Fines are Default Assessments of the Eagle Ranch Association that are due and payable within 30 days.

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### 5.16.6 Appeal

Fines imposed by the DRB may be appealed to the Eagle Ranch Association Executive Committee.

**END THE MEADOWS DESIGN GUIDELINES**