



Eagle Ranch Association
Regular Meeting
Design Review Board

Thursday, April 18, 2024
3:00 p.m. MDT

Eagle Ranch Office or
Zoom Webinar

Please register as an attendee with this
link:

https://zoom.us/webinar/register/WN_sFseklbyTAGDjhjXPHx33Q

Agenda

- 3:00pm 1) **Call to order. Verify quorum.**
- 3:05pm 2) **Approval of Board Minutes**
a) Approval of Board Minutes from 3/21/2024
- 3) **Meeting Specific Topics/New Business**
- 3:15pm a) Eagle Ranch Design Guidelines Updates – Allison Kent from Mauriello Planning Group – Process and Landscaping. Questions and discussion.
- 3:45pm b) 1880 East Haystacker: Pennington Residence – Brennen Fitzgerald from Scott Turnipseed AIA – Preliminary Review
- 4:05pm c) 95 Mount Jackson – Ostmeyer Residence – Paul Roberts from Scott Turnipseed AIA – Final Review
- 4:25pm d) 333 Robins Egg – Robins Egg LLC Spec Home – Glenn Harakal and Scott Turnipseed from Scott Turnipseed AIA – Preliminary Review
- 4:45pm e) 53 Seven Hermits Drive – Houser Residence – Jeff Manley – Pre-Design Review
- 4) **Other Business**
a) Other business topics as needed/requested by staff or DRB members
- 5) **Adjournment**

** Please note: All times listed, other than the meeting start time, are approximate **

MINUTES OF A MEETING OF
THE DESIGN REVIEW BOARD OF
EAGLE RANCH ASSOCIATION

A Meeting of the Design Review Board of the Eagle Ranch Association (the “Association”) was held on March 21, 2024, at the Eagle Ranch Office, 1143 Capitol Street, Eagle, CO 81631, or via Microsoft Teams video/teleconference*.

Directors Present:

Melanie Richmond, Chairperson
Jim Crine
John Martin
Tom McCord
Rick Dominick, Alternate
Rick Messmer, Alternate

Others Present:

Shelley Bellm, EWH Assistant Community Manager, Eagle Ranch
Jason Berghauer, EWH Design Review Board Administrator
Tim Swaner, Eagle Valley Wildland
Allison Kent, Mauriello Planning Group
Gabrielle Meola, Gabrielle Designs

The order of business was as follows:

1. Call to Order. The meeting was called to order at 3:01 p.m. MST. A quorum of members was present.
2. Approval of Agenda. Upon motion and second, the agenda was accepted as presented.
3. Approval of Minutes. Upon motion and second, the minutes of the February 15, 2024 meeting were approved. Motion by John Martin, Second by Melanie Richmond. Motion carries 4-0
4. Meeting specific topics / New Business.

a. Discussion Item – Updated DRB Guidelines – Wildfire Defensible Zones

Jason provided a summary of the purpose of the wildfire defensible zones and our attempt to bring these into the Design Guidelines as the separate documents provided conflicting information.

Melanie inquired if we should list the acceptable plantings within each zone. Wildfire is recommending the removal of some species from our plant list. Pinion and Juniper have a high oil content, and Wildland is recommending these trees be eliminated. Grouping of trees should be reduced to clumps of 2-3 evergreens, groupings of deciduous should be limited within the 5-30 foot zone. We will be providing a more appropriate plant list and will ask Ric Fields & Wildfire to review.

1. Should the updated wildfire defensible zones be extended to the Uplands as well?
Yes.

2. Should the 5' cobble building surround be adopted to Uplands Guidelines and eliminate mulch from guidelines? Yes.
3. Should cobble as a standard acceptable building surround material in the Meadows be adopted? Yes, Is 5' width appropriate? Yes
4. Consider the minimum amount of bushes required? Yes
5. Consider the amount of minimum trees required? No
6. Would it be better to reduce the number of overall trees? No
7. Would a change to the number of trees types be appropriate? 10 tree minimum, no more than 5 evergreens.
8. If a minimum number of deciduous and evergreen trees are required. Can substitutions be made? Yes, more deciduous can be planted but no more than 5 evergreens.

b. Discussion Item – Updated DRB Guidelines Chapters – Intro & Site Design

Allison Kent provided an update on the Design Guideline update. We have combined the information that was duplicated and created tables to make understanding the guidelines simpler to use.

Driveway standards vary from the Town of Eagle. We are working with the Town to ensure our standards match the Town.

Driveways should be the same in all neighborhoods.

Remove street parking from the guidelines.

ADU parking on the property should be screened appropriately.

Re-word Highlands, paragraph 2 to clarify wording.

Verify all architectural styles are appropriate in each neighborhood. Reword prairie style for the Highland Neighborhood.

Members should review the updated documents and provide feedback to the DRB Administrator by the 29th of March.

c. 21-00-37 – 0299 Harvester Court – Sandler Residence – CDC – Garage Doors

Jason provided a summary of the design changes requested by the Sandler's. He was not comfortable approving the change to the black metal garage doors.

The DRB provided the following comments:

1. Modern metal doors need to match the architecture of the home. These doors do not match the craftsman style.
2. Metal door is acceptable as long as it meets the character of the home. Jason will forward Clopay website as approvable styles to the applicant.

Motion to deny garage door change:

Motion: Tom McCord

Second: Jim Crine

Vote: 3-0-1 (John Martin recused)

d. 24-00-13 – 2693 East Haystacker Drive – Prima Box Residence – Final Review

Gaby provided a brief overview of the design changes.

The DRB provided the following comments:

1. John prefers option 1 for siding options as diagonal siding pattern is not allowed in Eagle Ranch.
2. Rick M. stated that they have met the requests of the board in using the herringbone design as an accent. This design meets the intent of the guidelines.
3. Jim thinks this home fits the neighborhood.
4. Rick D. pay attention to how the details are resolved. Make sure details are consistent on both sides of the home.

Motion to approve option 1 with staff recommendations:

Motion: Melanie Richmond

Second: Jim Crine

Vote: 4-0

5. Other Business.

a. **Discussion Item – Turf Information**

Use specifications submitted with 2693 East Haystacker to assist with building new landscape information in Design Guidelines.

b. **Michael Sanner**

Has missed 3 meetings this calendar year. There may not be an opportunity for Michael to move to an alternate position. Shelley reviewed steps taken to understand his absences and reviewed the email forwarded to Michael and his replies. We will send out an email message to the ownership informing of the opening for appointment. Tom McCord will reach out to Michael to discuss the concerns of the existing members.

c. **New Construction – Foxglove Lane**

John Martin's neighbor reviewed a potential design with a secondary carriage house with additional parking and ADU. Meadows states home must be perpendicular to the street unless there is a variation in the lot line. Align house with property line, architect can make the residence work with the lot lines. Align house perpendicular to the street, will not work.

There being no further business to come before the Board, the meeting was adjourned at 5:12 p.m. MST.

Respectfully submitted,



Shelley Bellm, Recording Secretary

MIPG

Mauriello Planning Group

MEMORANDUM

To: Eagle Ranch Design Review Board
From: Mauriello Planning Group
Subject: Phase 1 Design Guideline Update Process
Date: April 18, 2024 (Meeting 2)

Phase 1 Design Guideline Update Process: Consolidation and simplification with the goal of not amending specific requirement and guidelines, but providing the framework for one set of guidelines that can be more easily edited in the future (Phase 2).

Schedule:

March 21: ~~Introduction, Site Guidelines~~
April 18: Landscape, DRB process
May 16: Architecture, Supplemental
June 20: Final Draft for Adoption

Internal Process:

- Create each chapter by taking the language from original sets Guidelines into a Word doc
 - First draft will eliminate repetition, simplify requirements into tables when appropriate
- Quality control each chapter by double checking against the original Guidelines
- Each chapter provided to DRB for review
- Final edits based on input
- Combine chapters to create final draft document
- Add graphics, maps, and final formatting.
- Adoption

Specific Questions:

Process -

1. Has the DRB done the “conditional reservation of architectural style” recently? Is it still necessary at this level of build-out?
2. Is the Soils Groundwater Report necessary at Pre-Design?

Landscape -

1. Landscaping must be installed within 180 days of TCC in all neighborhoods except its 90 days in the Meadows. Should we go to 180 days for all areas?

2. Water features are not mentioned in the Meadows. Should we allow them?
3. Do we want to eliminate organic mulch as allowable planting bed material?
4. Allowance for artificial turf - do we want to limit it to being permitted in rear yards, at the discretion of DRB in front or side yards?
5. Wildfire Requirements - do we mandate it for Highlands and recommend it for all other neighborhoods. Do we base it on wildfire rating for the Uplands?
6. How does the DRB feel about no plantings within the perimeter 5 ft planting beds in the Uplands?
7. Neighborhood Center (Filings 15-17) - thoughts on adding them at the end of each chapter? Their guidelines have not been updated since 1999 so they are out of step with the other neighborhoods. They are built out, but will still have additions, landscaping projects, etc. for review.

Action Items:

2. DRB to provide input at the meeting.
3. Please provide any additional comments and questions beyond those discussed at the meeting by 26th. Email to Jason: jberghauer@eastwest.com

DESIGN REVIEW PROCESS

The following sections describe the major steps involved in the Eagle Ranch design review process. Submittal materials required for each step in this process are also listed. The DRB may, at the request of an owner or at their own discretion, modify any of these submittal requirements. Approved plans will be valid for 1 year from date of approval. Administrator will determine level of review after expiration.

TOWN OF EAGLE DEVELOPMENT REGULATIONS

While these design guidelines constitute the primary tool for controlling the development of Eagle Ranch, other material must also be considered during the design process. In addition to these guidelines, the annexation of Eagle Ranch into the Town of Eagle included the approval of a development guide, preliminary and final subdivision plats, and subdivision covenants.

The Town of Eagle has various codes and regulations that apply to all residential development. Each of these documents establishes regulations that also control development in Eagle Ranch. In some cases, there may be conflicting provisions within these control documents. In the event of such conflict, the most restrictive provisions shall apply.

ALTERATIONS TO EXISTING HOMES -

DRB approval is also required for any alteration or modification to the exterior of an existing home or its landscape. The review of alterations to existing homes will generally begin at the procedures outlined in Step 3: Final Plan Review. However, a Pre-Design Conference with the DRB Administrator is recommended prior to submittal. Submittal requirements will generally be limited to plans, written information, material samples or color samples necessary to demonstrate the proposed modification. Prior to beginning the design of any modifications to an existing home, Owners are encouraged to contact the DRB to outline a review process and submittal requirements for the alteration, based on the following categories:

Minor Alterations

Minor Alterations consist of alterations that do not add square footage to a home and include repairs and maintenance requiring changes in materials and/or color (roof, paint, windows), minor landscaping changes, and minor fence modifications. At the discretion of the DRB Administrator, Minor Alterations may be reviewed and approved by the DRB or the DRB Administrator.

Moderate Alterations

Moderate Alterations that consist of additional square footage must be approved by the Design Review Board and include, but are not limited to, deck addition, pool/spa, roof overhang additions, property out buildings. Business signage must be reviewed and approved by the board. At the discretion of the DRB Administrator, Moderate Alterations may be reviewed and approved by the DRB or the DRB Administrator.

Major Alterations

Major Alterations consist of additions of square footage to the exterior of a home, including but not limited to, garage addition, living area additions like bedrooms or bathrooms, changes to

roof lines, ADU additions, etc. Major Alterations are reviewed and approved by the DRB, but may be reviewed and approved by the DRB Administrator, at their discretion.

DESIGN REVIEW PROCESS - NEW CONSTRUCTION

The Design Review Process encompasses four design steps as follows:

Step One: Pre-Design Conference

Purpose:

The Pre-Design Conference is an informal review to exchange introductory design information between the DRB Administrator and the Owner, architect or builder. The purpose of the Pre-Design Conference is to facilitate the smooth, timely and cost effective review and approval of development at Eagle Ranch. It is intended that the Pre-Design Conference be held at the very beginning of the design process prior to the Owner committing substantial professional design costs.

Topics of Discussion:

The typical Pre-Design Conference will focus on:

1. Property boundaries and setbacks;
2. Easements and utilities;
3. Topographic survey;
4. Site characteristics (e.g. views, sun, adjacent properties, etc.);
5. Site planning, land use pattern, and construction;
6. Architecture, architectural theme, and other design considerations;
7. Design Guidelines and other related Town of Eagle regulations; and
8. Conditional reservation of the architectural style for the project for a period of not more than 4 months during which time the Design Review Process must be completed.

Required Materials:

Meeting materials to be presented by the Owner at the Pre-Design Conference include:

1. Pre-Design Conference Application.
2. Pre-Design Conference Fee (per established fee schedule).
3. Soils groundwater report for buildings with basements as appropriate.
4. Information indicating the relationship of proposed development to the site and adjacent homesites.
5. Conceptual site plan of the homesite indicating the location of all proposed structures and other site improvements.

6. Perspective and other informal character sketches, clippings, etc. of the proposed residence floor plans and elevations. Formal detailed plans are not required at the Pre-Design stage.

Action:

Action taken at the Pre-Design Conference are informal. After discussing the materials presented, the DRB Administrator will summarize those elements that they believe may raise potential issues at the Preliminary Plan Review.

Step Two: Preliminary Plan Review

Purpose:

The Preliminary Plan Review is the first of two review meetings conducted with the Design Review Board. The purpose of the Preliminary Design Review is to ensure that design development level drawings conform to the Design Guidelines prior to construction level drawings being undertaken. It is intended to provide the Owner and DRB with the information needed to avoid wasted time, professional fees, and the effort and expense that result from pursuing a design in conflict with the Design Guidelines.

Required Submittal Materials:

Required submittal materials are provided on the Eagle Ranch HOA website.

The Submittal and Meeting Schedule is provided on the Eagle Ranch HOA website. Incomplete and/or late submittals will not be accepted.

Topics of Discussion:

The typical Preliminary Plan Review will focus on:

1. Response to matters identified at the Pre-Design Conference;
2. Design specific site plan and architecture responsiveness to the Plat, Design Guidelines and other applicable regulations;
3. Preliminary materials and color selections;
4. Preliminary exterior lighting plan;
5. Preliminary landscape and irrigation plan;

Preliminary Plan Review Actions:

The DRB will review the submittal prior to the meeting and then with the applicant's representatives at the meeting. The DRB may take any of the following actions:

Continuation with Conditions – in which event the application will be heard as a Preliminary Plan review at a subsequent meeting. An action to continue indicates that the underlying design meets the intent of the Design Guidelines, but that substantial elements that may affect Preliminary Plan review must be resolved prior to Final Plan review. A complete new proposal will be considered by the DRB as a separate, subsequent action.

Approval with or without Conditions – in which event the application will be heard as a Final Plan review at a subsequent meeting.

Denial for Cause – in which event the application will not be heard further. An action of Denial for Cause indicates that the underlying design does not comply with the Design Guidelines. A complete new proposal will be considered by the DRB as a separate, subsequent action.

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Purpose:

The purpose of the Final Plan Review is to ensure responsiveness to Preliminary Plan Review guidance, and to ensure that the construction plan set including all improvements to the site conforms to the Design Guidelines. Final approval will be the record basis for issuance of the Design Review Approval letter and marked plan set required by the Town of Eagle prior to their review of a building permit application.

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6. Extension of Conditional Style Reservation for not more than eight months during which time construction must commence. (the Meadows only)

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Step Four: Technical Plan Review

Purpose:

The purpose of the Technical Plan Review is for the DRB Administrator to review the Building Permit set of plans that will be submitted to the Town of Eagle. The DRB Administrator analyses the plans for compliance with the Design Guidelines, to ensure that the plans match the plans approved by the DRB for final approval, and that the applicant has addressed any conditions of approval by the DRB.

For Technical Plan Review, the Applicant shall provide the DRB with an electronic Building Permit plan set (PDF) that is consistent with the DRB approved plans and/or has been revised to address conditions of final approval.

Within 1 week after acceptance of the Building Permit Set, Construction Clean-up and Compliance Deposit, and Eagle Ranch Metropolitan District Water Fee, the DRB will issue to the Applicant a Design Review Approval letter and stamp plans. This set of plans is the official plan set of record with the Eagle Ranch DRB.

The Eagle Ranch Construction Rules and Regulations are provided in Appendix ###.

Design Changes During Construction

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Action – The Owner is required to present proposed changes to the DRB for approval prior to implementing the changes. The DRB submittal and review process for design changes during construction will be managed to an appropriate level based on the scope of the proposed changes. Minor changes may be addressed administratively, whereas more substantial changes may require full DRB action. The DRB will make every reasonable effort to act on such changes in a timely manner.

Changes from approved plans that are implemented without DRB consideration shall be automatically remanded to the DRB for full consideration at a regularly scheduled meeting. The Owner will be assessed a fee for DRB review of such matters.

CONTINUITY OF CONSTRUCTION

All improvements commenced on the Residential Lots will be prosecuted diligently to completion, and will be completed within 15 months after commencement unless an exception is granted in writing by the Design Review Board. If an improvement is commenced and then abandoned for more than ninety (90) days, or if construction is not completed within the required period of time, then after notice and the opportunity for hearing as provided in the Bylaws of the Association, the Association may impose a fine to be charged against the Owner of the unit until construction is resumed or the improvement is completed as applicable, unless the Owner can prove to the satisfaction of the Executive Board that such abandonment is for circumstances beyond the Owner's Control.

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LANDSCAPE DESIGN GUIDELINES

The following are the Landscape Design Guidelines for the Meadows, Uplands, and Highlands neighborhoods. Due to the unique characteristics of the Neighborhood Center (Filings 15, 16, and 17), the Landscape Design Guidelines for the Neighborhood Center are at the end of this chapter.

Landscape Standard	Meadows	Uplands			Highlands	
		Uplands – Setback Governed	Uplands – Building Envelope	Uplands Filing 14	Highlands	Highlands Ridgeline
Minimum Evergreen Count	5	5	5	5	5	5
Minimum Deciduous Count	8	8	8	8	8	8
Minimum Shrub Count	15	15	15	15	15	15
Minimum Perennial Count	40	40	40	40	40	40
Minimum Annuals	0	0	0	0	0	0
Permanently Irrigated Area Maximum	50% of Lot Area	50% of Lot Area	Residual of 16,500 area	50% of Lot Area	Not Specified	Not Specified
Surrounding Bed Material	Cobble or Mulch	Non-Combustible	Non-Combustible	Non-Combustible	Non-Combustible	Non-Combustible
Minimum Size of Surrounding Bed	3'	5'	5'	5'	5'	5'
Required Wildfire Defensible Zone	No	Yes	Yes	Yes	Yes	Yes
Berm Max Height	4'	4'	4'	4'	4'	4'
Berm Max Grade	2 to 1	2 to 1	2 to 1	2 to 1	2 to 1	2 to 1
Front Yard Manicured Maximum	40%	N/A	N/A	N/A	N/A	N/A
Irrigation Required	Yes	Yes	Yes – within bldg. envelope	Yes	Yes – within bldg. envelope	Yes – within bldg. envelope

Landscape Size Requirements (All neighborhoods)

Plant Type	Minimum Size	Recommended Minimum Number	Additional Information
Evergreen Trees*	6 ft. in height	5	Combined height of all evergreens above the root crowns of 40 ft.
Deciduous Trees	2 inch caliper	8	Individual deciduous trees or multi-stem aspen clumps or a combination thereof.
Shrubs	#5 pot	15	5 gallon container
Perennials	#1 pot	40	1 gallon container
Annuals	No minimum	No minimum	

*In cases of demonstrated conflict with Wildfire Criteria, the number of evergreen trees may be reduced. This may require the number of deciduous trees to be increased.

It is strongly recommended that a landscape architect or designer with expertise in the local climate, and appropriate plant materials including water-wise (xeriscape) design principals be retained to consult and/or design landscapes and irrigation systems. The Highlands Ridgeline lots require a professional landscape architect design the landscape plan.

Landscape plans should favor the use of water-wise (xeric) plant materials wherever possible. The recommended plant lists identify the water requirements of many selections. Xeric plant materials typically require as much water to become established as other plant materials. Once established (typically after one or two grow-in seasons), xeric plants require substantially less irrigation than non-xeric plants.

Plantings of non-xeric ornamental plant materials with high water demands should be reserved to specific focal areas to accent front porch entries, views, and outdoor living spaces.

Introduction of plants with high allergy response history is strongly discouraged. The introduction of State and Federally listed noxious weed species is prohibited.

Artificial turf is permitted in rear yards. It is at the discretion of the DRB to allow artificial turn in either front or side yards. There are a wide variety of artificial turf products available. A sample of the proposed material is required to be provided with Final Review. Samples will be approved on a case-by-case basis. The following are the minimum specifications for the use of artificial turf:

- Tufted Pile Height: 1.125"
- Tufted Face Weight: 60 oz per square yard
- Tufting Gauge: 3/8
- Total Weight: 87 oz per square yard

Homeowners are encouraged to consult with an Arborist or local nursery for appropriate plant and tree species and availability. Microclimate conditions created by solar orientation, earth forms, soil characteristics, and structures on each site should be considered in plant selection. A variety of plant materials and sizes are encouraged.

WILDFIRE

All lots within the Highlands are required to conform with the Wildfire Criteria. Lots within the Uplands that are Moderate or High wildfire risk are required to conform with the Wildfire Criteria of the Highlands neighborhood. While not required, the Wildfire Criteria may be implemented as best practices for all homes and lots within Eagle Ranch.

PRE-CONSTRUCTION HOMESITE MAINTENANCE

Each homesite owner shall be responsible to maintain any unoccupied homesite in a clean and orderly manner to minimize fire hazard (mow once or twice per season), minimize dust, control erosion from wind and water, and minimize the presence of noxious weeds.

In the event that a homesite is not maintained as described above, the DRB and/or the Eagle Ranch Association shall have the authority to enter the property and conduct such maintenance measures as may be required to bring the homesite into compliance with terms. The homesite owners shall then be assessed the cost of performing these tasks.

LANDSCAPE INSTALLATION, MAINTENANCE, AND REMEDY

Installation Performance

Each homesite shall be fully landscaped in compliance with plans approved by the DRB within 180 days of the issuance of the Temporary Certificate of Completion of residence. The DRB may approve extension of this performance period due to winter conditions that are not conducive to the survival of the plantings.

Maintenance

The homesite Owner shall diligently maintain the landscape plants in a manner that is consistent with the normal character of the plants. This shall include cooperation with the Eagle Ranch Association to minimize fire hazard and noxious weeds through appropriate mowing, weed controls, irrigation, and removal of dead branches and brush.

Each Owner is responsible for landscape installation and landscape maintenance of the entire lot and the planter strip between property line and adjacent curb or roadside ditch.

Remedy

If recommended by the DRB, the Association has the authority to enter upon a homesite and undertake such maintenance measures as may be required for the landscaping to meet the minimum quality of appearance, health and fire safety that is consistent with the character of Eagle Ranch.

The Association may then levy a Reimbursement Assessment against such homesite owner for all costs and expenses incurred by the Association in completing such landscape maintenance work, including any costs and expenses of collection and attorney fees.

LANDSCAPE LIGHTING

The design intent for landscape lighting is to preserve the night sky views, to protect adjacent properties from direct light source glare, and to provide lighting for specific areas and uses (e.g. pathways, porches, timed or motion detector activated security lighting). See Section 2.3.6 Exterior Lighting (above).

- All exterior lighting is subject to DRB approval and must meet any current Town of Eagle lighting regulations.
- Up-lighting of any kind is prohibited.
- Low wattage fully shielded pathway lighting is permitted.
- All landscape lighting must be turned off from 11:00 p.m. to the following dusk.

BERMS

The design intent for berms is to provide visual interest in the landscape and privacy from adjacent uses, but not to screen the front of the home from the street or appear to delineate property boundaries. Where practicable, coordinate berm placement and scope with adjacent properties to avoid double berms. Berm grading must not obstruct access along Town of Eagle lot perimeter easements.

Design criteria for earthen berms are as follows:

- Berms must be delineated for DRB review on the ground prior to construction.
- For lots with the 16,500 sf building envelope limit, berms must be fully contained within the building envelope.
- Berm height may not exceed 4' above natural grade.
- Side slope gradients must vary in steepness with no slope exceeding 2:1 gradient. (By example: In section, a berm 4' high with 2:1 side slopes on level ground would be 16' wide across its base).
- The transition to other finished grades must present a smooth gradation over several feet in section. Sharply defined margins are not permitted.
- The crest of any berm must vary in height by at least 1 foot in each 15' of berm length. In plan view, the crest of any berm must meander substantially to imply a natural feature and avoid the straight lined impression of a windrow of soil.
- Side yard berms between houses are strongly discouraged.
- Rear yard and front yard berms may not exceed 1/3 the length of the respective property or disturbance area boundary.
- Boulders integrated into earthen berms must constitute less than 1/4 of the berm's plan view area with the resulting height being less than 4' above the berms base grade. Boulder terracing may be permitted on steep lots.

FENCING

The intent for fences is to enclose specific use areas within individual home sites while retaining the open character of home sites and neighborhoods.

- Fences shall be made of the approved design types and materials.
- The total fenced area on the home site may enclose up to 15% of the lot area, but not more than 5,000 square feet.
- Fences may not be placed on property lines, outside the Building Envelope, or within designated side yard and rear yard setback areas.
- Side yard fences must be recessed a minimum of 15 'from the front of the house. At corner home sites, side street fences should be setback a minimum of 15 'from the property line facing sides of the house.
- Front yard fences are not allowed.
- Fences must attach to the house and be compatible with the architecture of the house. No concrete, masonry, chain link, or plastic fences are allowed.
- The height of the fence may not exceed 42" except for dog runs, sound and headlight attenuators, or pool enclosures. Fences with heights of more than 42" but less than 6' can

create an entrapment hazard for wildlife (particularly young deer and elk) and thus, are not permitted except for the listed exceptions.

- Sound and headlight attenuation fences are only allowed for properties that have yards that back to busy roads and at the discretion of the DRB. These fences may be solid up to 6' above grade, but are preferred to have the top 12" of an open lattice or other partially open treatment and must be of an approved design. Evergreen landscaping shall be provided to screen and soften the fences.
- Pool fences shall comply with the international building code for height and perimeter location. Fences shall not be permitted beyond the side yard or rear yard setbacks. Design materials must comply with these fence guidelines.
- Dog run fences are permitted to enclose a maximum of 500 sf and have a maximum height of 72" with the top 12 -24" having lattice or other partially open treatment. The location of the dog run is strongly encouraged to be in the rear yard and not in the side yard.
- Gates must be provided for emergency access to side and rear yard fenced areas as approached from both sides of the residence.

Special Considerations for Privacy Berms and Fencing

Noise and light mitigation measures due to traffic may be permitted by prior written approval of the Eagle Ranch Design Review Board on a case by case basis along back and street side yards that adjoin the right-of way of Eagle Ranch Road, 4th of July Road, and East Haystacker. Stipulations are as follow:

For Setback governed lots:

- A combination of earthen berms not taller than 4' above natural grade with an associated 4-foot-tall cedar fence that may be installed along the berm crest.
- Berm, fence and/or landscaping must be 10' from affected property lines.
- Berm and fence may not enclose more than 15% or 5,000 square feet, whichever is less.
- Where privacy fence does not form an enclosure, it may be continuous across back and side street frontages.
- Side street fences may not be placed forward of the residence.
- Berms must meet guideline standards for height and slope.
- Berms may not span more than 75% of affected lot line. Remaining 25% of berm boundary must meet pre-existing natural grade.
- Berm gaps must facilitate lot drainage.

Fence Specifics:

- 4' tall of unstained vertical 1x6 dog-eared rough sawn cedar boards and 1x2 cedar battens.
- Posts must be 4x4 cedar or pressure treated fir/pine.
- Post spacing not to exceed 8' on center
- Posts must extend 6" above fence top
- Fence top must follow general grade
- Except to accommodate drainage, boards must be placed neat to the ground for effective sound attenuation.

- Not less than 2 - 2x4 cedar stringers mounted to the yard-side of the fence are required.

Landscaping of drip irrigated evergreen and deciduous trees and shrub beds are required to be planted and maintained on the street side of the fence and berm to screen not less than 1/2 of the fence and berm length. Additional landscaping on the berm and fence inside of the fence is also encouraged.

Similar improvements may be made within the Building Envelope allowable disturbance limit.

NEIGHBORHOOD SPECIFIC - LANDSCAPE DESIGN GUIDELINES

THE MEADOWS

The design intent for the Meadow landscapes is as follows:

- Provide equivalent landscape opportunities for all homeowners.
- Encourage creativity and personalized design of the landscaping.
- Provide sufficient irrigated landscapes for customary outdoor activities.
- Express a manicured setting to compliment the refined Meadow neighborhood architecture.
- Respect adjacent properties.
- Conserve water by creating landscapes where water-wise plants predominate. Reserve the use of water-heavy plants to specific areas.
- Limit total irrigation coverage, using skillful, microclimate responsive design of irrigation systems, and their conscientious operation; and
- Eradicate and prevent noxious weed infestations.

Landscape Pattern

The Meadows landscape pattern should present manicured yards that complement the refined architectural styles sought in Eagle Ranch suburban Meadow neighborhoods. It is our intent to differentiate Meadow neighborhoods from Uplands neighborhoods more rustic, semi-rural land pattern both in landscape and architecture patterns.

The majority of building sites in The Meadow are located in areas that were flood-irrigated hayfields or pasturelands for much of the previous 100 years. The landscaping treatment of these properties as they change to residential uses will be critical to creating a desirable living environment. It will take conscientious management of both irrigated and non-irrigated landscapes by each homeowner to establish stable residential landscapes and avoid noxious weed infestations.

The landscape guidelines are intended to facilitate harmony throughout the Eagle Ranch community and provide for a smooth visual transition from homesite to homesite and to the recreational and open spaces beyond.

Landscapes should favor the use of water-wise (xeric) plant materials where possible. Xeric plant materials typically require as much water to become established as non-xeric plant materials. However once established, xeric plants require substantially less water than non-xeric plants. Plantings of non-xeric ornamental plant materials with high water demands should be reserved to specific areas such as required lawns and accent plantings.

Homesites adjacent to the golf course require special consideration in landscape design. An appropriate transition from formal landscape to golf course rough is important to the character of the neighborhoods and the golf course. Specific plantings should consider visual sightlines to and from the golf course while promoting for the safety and privacy of homesite residents.

General Landscape Considerations

Mulched Perimeter Beds and Other Mulched Areas

Mulched planting beds a minimum of 3' in width must be provided along all portions of the foundation line not otherwise contiguous with pavement or other hardscape. Edging and weed barrier fabric placed beneath mulch installations are strongly recommended due to the difficulty of weeding through mulch in place.

Gravel and decorative rock mulch treatments are permitted. No volcanic rock is allowed. Organic mulch material such as shredded or chipped bark or other shredded wood product is also permitted.

Front Yard

The front yard should appear as a manicured landscape that complements the street presence of the home as viewed from the arrival traffic flow.

The full width lot area from the back of the curb or roadside ditch to the perimeter planting bed along front of the residence may shall be maintained as irrigated, manicured lawn within which may be placed walkways, driveways (but not parking), as well as expansive mulched beds of flowers, shrubs and trees. A maximum of 40% of the front yard may be manicured lawn.

Front yard and planting strip lawn areas may be installed as sod or variation of buffalo grass. Native grasses may be planted along the sides of the front yard if it blends with neighboring lots. Other lawn areas may be seeded.

In neighborhoods with curb, gutter and sidewalk, each Owner shall plant and maintain 2-inch caliper street trees. These street trees should be aligned and centered in the planting strip along each street frontage spaced not more that 60' apart. A typical lot will require two such trees – one near the right front lot corner and the second near the center of the lot.

In neighborhoods without curb, gutter and sidewalk, each Owner shall plant and maintain two 2-inch caliper trees on each street frontage. These trees should be planted on the lot in an alignment 5' from the front property line near each front corner of the lot.

Diversity of tree species is encouraged, maintaining consistency with shape and height at maturity is desired (60' max height – 45' max crown diameter). Tree placement on corner homesites must respect intersection sight distances.

Irrigation system placement and plant material locations should respect winter snow storage requirements in areas adjacent to the roadway, sidewalk, and driveway.

Side Yards

Except for driveways, side yards may be landscaped in irrigated lawn and/or planting beds. Native grasses may be planted along the side yard if it blends with neighboring lots. Side yard lawn areas may be seeded. Other intensive screening landscape plantings may be located in side yards between the front of the building to the rear yard setback to provide privacy for specific window or use areas. However, these plantings must be carefully designed to avoid creating a fence like delineation along property lines.

Rear Yard

Irrigated lawn, native grasses and/or wildflowers, trees, planting beds and vegetable gardens are appropriate for rear yards. Rear yard plantings should be designed to avoid creating a visible delineation between properties.

On homesites that adjoin the golf course, the landscape treatment within the rear lot setback should provide a transition zone to the golf course landscape to avoid the delineation of property setback lines. This transition zone shall blend to match the adjacent golf course landscape. Selected tree and shrub plantings may be located in this zone and maintained with a drip irrigation system. Specific plantings should consider visual sight lines to and from the golf course while addressing safety and privacy of homesite residents.

Irrigation

The design intent for permanent irrigation is to provide for efficient, conservative use of water resources appropriate to approved landscapes. All homesites shall be required to install an underground automatic timer-controlled irrigation system as approved by the DRB. Each system shall be designed for a water flow rate of not more than 12 gallons per minute at a minimum residual pressure of 40 pounds per square inch at the street.

Permanent irrigation is limited to 50% of the total lot area. On homesites adjacent to irrigated golf course landscapes up to 1,500 square feet of additional permanent overhead sprinkler irrigation may be approved within the rear yard setback to blend and match adjacent irrigated golf landscapes.

Irrigation within the perimeter beds is restricted to clock-controlled drip irrigation with individual plant emitters only. Adjacent spray type irrigation systems must be carefully designed to avoid over spray onto the perimeter planting beds. Mini-spray or micro-spray emitters are not suitable irrigation systems in perimeter planting beds. They easily deliver excessive amounts of water that could saturate the soils and create a hazard to foundations.

Individual plant drip irrigation systems of fully planted beds comprised of larger perennials, shrubs, and trees are encouraged. Beds planted with annual flowers, and smaller plants are better irrigated with overhead sprinklers. When conscientiously managed, drip systems use about 60% of the water as compared to overhead sprinkler and mini-spray irrigation.

Temporary Irrigation

Temporary overhead sprinkler irrigation is required for 2 full irrigation seasons to re-establish healthy vegetation on formerly irrigated hayfields and areas disturbed during construction. Temporary systems shall be surface mounted and must be removed at the end of the second full irrigation season after installation.

DISTURBED AREA REVEGETATION

The following materials and procedures shall be applied to revegetation and rehabilitation of native vegetation areas disturbed during construction.

REVEGETATION SEASON: (Mid-March through early September): Follow the revegetation protocol below. Do not revegetate after September 10 as the seeds are likely to germinate but the seedlings will not survive the first winter. For fall or winter erosion control, apply straw mulch to disturbed areas. Then revegetated fully the following April.

PREPARE SEED BED: Rip and/or roto till disturbed soil to a depth of 9 to 12" and prepare the seedbed prior to dry application or hydro mulch of seed, fertilizer and mulch. The prepared seedbed should be free of large soil clumps

FERTILIZE: Apply fertilizer per manufacturer's specifications.*

SEEDING: Apply appropriate* pure live seed mix at a rate of 41 13/16 lbs. /acre or 1 lb. /1,000 square feet.

MULCH: Hydro mulch with tackifier and certified weed seed free straw at a rate of 2,000 lbs./ acre or 50 lbs./1,000 sq. ft. Alternatively, spread dry certified weed seed free straw mulch to a loose, uniform depth of 3" and anchor in place with netting per manufacturers' recommendations.

TEMPORARY IRRIGATION: Keep the seedbed continually moist for 10 to 14 days or until the seed germinates. Supplement natural rainfall to a total of: 1) First Growing Season, 1 inch moisture per week; 2) Second Growing Season, ½ inch moisture per week; 3) Third Growing Season, discontinue temporary irrigation.

MAINTENANCE: Reapply seed mix on areas that did not "take" within the first two months of the growing season. Once established, the above revegetation should discourage the invasion of noxious weeds. Until then, eradicate noxious weeds by hand or by careful spot application of Round-up™. Do not use broad leaf herbicides, as these products will kill the shrubs, forbs, and wildflowers.

THE UPLANDS (INCLUDES F14)

The design intent for The Uplands landscaping is as follows:

- Provide comparable landscape opportunities for homeowners.
- Encourage creativity and personalized design of the landscaping.
- Provide sufficient irrigated and manicured landscapes for customary outdoor activities, and to reduce wildfire hazards.
- Retain and promote as much healthy native vegetation as practicable.
- Conserve water by creating landscapes where water-wise plants predominate. Reserve the use of water-heavy plants to specific focal areas.
- Limit total irrigation coverage, using skillful, microclimate responsive design of irrigation systems, and their conscientious operation.
- Eradicate noxious weed infestations; and
- Minimize site grading. All grading must be contained within the building envelope. Vegetation management outside the building envelope is limited to implementation of Wildfire Criteria, noxious weed controls, and utility line restoration.

Landscape Pattern Types

The landscape design intent and building area determinations influence landscape patterns.

Setback Governed Landscape Pattern

Most setback-governed homesites are situated on previously cultivated lands. Some are smaller than ½ acre. Managed landscapes will likely cover a high proportion of these homesites because of their smaller size and to control noxious weeds typically found on fallow agricultural lands.

Figure 11 (below) shows the typical landscape pattern of setback-governed homesites. Drip irrigated perimeter beds will surround the homes. Overhead irrigated front and side yard landscapes will likely merge with the landscape of adjacent setback governed homesites. Temporary irrigation zones and non-irrigated areas will delineate irrigated rear yards. Temporary irrigation for a period of about two growing seasons is needed to re-establish healthy natural vegetation and for weed control.

Building Envelope Governed Landscape Pattern

All Building Envelope governed homesites are within relatively undisturbed native vegetation. All are larger than ½ acre. Managed landscapes along with all other improvements on these homesites must be contained within a 16,500 square foot Building Envelope. Vegetation management outside the Building Envelope is limited to noxious weed control and utility line restoration.

Figure 12 (below) shows the typical landscape pattern of Building Envelope governed homesites. Drip irrigated perimeter beds will surround the homes. Overhead-irrigated landscapes will be broadly contiguous with the homes creating green provinces within the natural vegetation. Most irrigated landscapes will not merge with those of adjoining homesites. Each such province will be

connected to the street by the drive and its landscaped borders. Temporary irrigation zones will encompass all other areas disturbed during construction for natural vegetation re-establishment and weed control. No vegetation management except noxious weed control and utility line restoration is permitted outside the Building Envelope.

General Landscape Considerations

Design and Plant Materials

Landscape plans should favor the use of water-wise (xeric) plant materials wherever possible. The recommended plant lists identify the water requirements of many selections. Xeric plant materials typically require as much water to become established as other plant materials. Once established (typically after one or two grow-in seasons), xeric plants require substantially less irrigation than non-xeric plants.

Plantings of non-xeric ornamental plant materials with high water demands should be reserved to specific focal areas to accent front porch entries, views, and outdoor living spaces.

Perimeter Planting Beds

Planting beds shall be provided along all foundations not otherwise bounded by flatwork or decks. Non-combustible materials, such as washed gravel, river rock, cobble, and decorative rock, are permissible. The intent of these planting beds is to create a transition from the buildings to the surrounding landscape and to provide a separation between spray irrigated landscapes and the building foundations. These perimeter beds may be un-irrigated or irrigated by drip irrigation systems only. No overhead spray irrigation systems may be placed within 3' of any building foundation.

Water Features

Water features may be approved after review of a site-specific geotechnical evaluation and recommendation provided by the applicant.

Front Yard

The design intent for front yard landscaping is to provide a driveway border and welcoming corridor to the front entry of each home. On setback governed homesites front yards may merge with adjacent homesite landscapes. However, it is not the design intent to create a streetscape of expansive front lawns.

- Irrigated front yard landscapes should be moderate in extent and configured to complement the home's entry and façade.
- Appropriate plant materials for front yards include native vegetation or wildflowers, trees, planting beds and modes areas of irrigated turf.
- Irrigated borders for driveway and auto court (if any) should include all areas disturbed during their construction.
- Irrigation systems should be designed to avoid watering closer than 5' of the street pavement edge. Irrigation systems may not be placed in the road right-of-way.

Side Yards

The design intent for side yard landscaping is to reduce fire hazards around the perimeter of each residence, to promote drainage, to provide visual screening between residences, and to revegetate areas disturbed during construction. On setback governed homesites side yard landscapes may merge with adjacent homesite landscapes. On Building Envelope governed homesites, the typical side yard landscapes will not merge with adjacent homesite landscapes.

- Perimeter beds, turf borders for fire suppression, native vegetation or wildflowers, shrubs and trees are appropriate for side yards.
- Hedges or other intensive screening landscape plantings may be located in side yards between buildings to provide privacy for specific window or use areas. However, these plantings must be carefully designed to avoid creating a fence like delineation along property lines.
- Swing sets, play structures and outbuildings are allowed in the side yard but may not be located in any required setback and/or disturbance limit areas. Placement of such structures to respect adjacent property privacy and views is appreciated. Appropriate landscape screening may be required for such structures if they will be visually prominent from adjacent properties or the street. Such structures include but may not be limited to brightly colored play structures, outbuildings, and trampolines.

Rear Yards

The design intent for rear yards is to provide sufficient irrigated and manicured landscapes for each homeowner's customary outdoor activities. On setback governed homesites rear yards may merge with adjacent homesite landscapes. On Building Envelope governed homesites, the typical rear yard landscapes will likely not merge with adjacent homesite landscapes.

- Irrigated turf, native grasses or wildflowers, trees, shrubs, planting beds and vegetable gardens are appropriate for rear yards.
- Rear yard landscaped areas should be broadly contiguous with the rear of the residence to limit disruption of surrounding native areas.
- Rear yard plantings should be designed to avoid creating delineation between properties.
- On homesites that adjoin the golf course the landscape treatment within the rear lot setback shall provide a transition zone to the golf course landscape. This area shall be designed to provide smooth, irregular transition to avoid the delineation of property or setback lines. This transition area shall blend to the approved plant materials, maintenance level and irrigation regime of the golf course along the subject property line and adjacent homesites' golf related landscapes. Selected tree plantings may be located in this zone and maintained with a drip irrigation system. Where non-irrigated landscapes are used, a 2-year (max) temporary irrigation system shall be utilized to enhance establishment and grow in of this area, but no permanent irrigation is permitted.

Irrigation

The design intent for permanent irrigation is to provide for efficient, conservative use of water resources appropriate to approved landscapes.

- All homesites shall be required to install an underground automatic timer controlled irrigation system. Each system shall be designed for a water flow rate of not more than 12 gallons per minute at a minimum residual pressure of 40 pounds per square inch at the street.
- Controlled irrigation perimeter beds are required along all exterior walls that are not contiguous with flatwork or decks.
- Individual plant drip irrigation systems of fully planted beds comprised of larger perennials, shrubs, and trees are encouraged. Beds planted with annual flowers, and smaller plants are better irrigated with overhead sprinklers. When conscientiously managed, drip systems use about 60% of the water as compared to overhead sprinkler and mini-spray irrigation. In this regard, credit is given for areas under drip irrigation against the total allowable irrigation area as follows:

Irrigation Type	Conversion Factor
Overhead sprinkler system	1.0
Mini spray system	1.0
Individual plant drip system	0.6

For homesites governed by setbacks in The Uplands, irrigation is limited to 50% of the total lot area. Irrigation in the road right-of-way adjacent to driveways and front yards is included in the 50% allowance. On homesites adjacent to the golf course up to 1,500 square feet of additional overhead sprinkler irrigation may be approved within the rear yard setback to blend and match adjacent irrigated golf landscapes.

Temporary Irrigation

Temporary overhead sprinkler irrigation is typically required for 2 full irrigation seasons to re-establish healthy vegetation on otherwise non-irrigated portions of setback governed homesites, and on disturbed areas of Building Envelope governed homesites that are not permanently irrigated. Temporary systems should be surface mounted and must be removed at the end of the second full irrigation season after installation.

Temporary irrigation is intended to reduce probable noxious weed infestations on disturbed areas. Effective eradication protocols are elusive and will change over time. Owners are responsible to keep informed of and implement the protocols as may be promulgated from time to time by regional agencies.

Wildfire

For lots within the Uplands that are Moderate or High wildfire risk, the Wildfire Criteria of the Highlands neighborhood should be implemented.

HIGHLANDS

The design intent for The Highlands landscaping is as follows:

- Provide wildfire defensible landscapes surrounding homes and other improvements on Highlands homesites.
- Retain and promote as much healthy native vegetation as practicable for wildlife habitat and scenic values.
- Provide sufficient irrigated and manicured landscapes for customary outdoor activities.
- Conserve water by creating microclimate-responsive landscapes where water-wise plants predominate. Reserve the use of water-heavy plants to specific focal areas.
- Encourage creativity and personalized design of the landscaping.
- Eradicate noxious weed infestations; and
- Minimize site grading.

Wildfire Criteria

When prudently implemented, these Wildfire Criteria will reduce wildfire risks. However, no practicable set of Wildfire Criteria can completely eliminate such risks. Some degree of risk from wildfire is inherent within the natural environment. Owners within the wildland-urban interface are inherently at risk from a wildfire and must recognize and accept those risks.

The Town of Eagle has also prescribed additional vegetation management protocols that affect the efficacy of wildfire hazard reduction upon these areas. Wildlife habitat comprises one of the principal values that the Town of Eagle seeks to preserve. Nurturing healthy native vegetation improves wildlife habitat and improves scenic values as well. These are among the values that attract those who choose to live within the natural setting. Visual impact of development along ridgelines as seen from Brush Creek Road is another environmental quality value the Town of Eagle seeks to manage.

The Wildfire Criteria intend to strike a balance of reducing wildfire risks without abandoning the other values. These Wildfire Criteria do not insure or warrant against the occurrence of wildfire and any resulting damages or losses to property or life.

The two primary determinants of a structure's ability to survive wildfire are the quality of the surrounding defensible landscapes and the use of fire-resistive roofing materials.

Defensible space is the area surrounding a structure or specimen landscaping where fuels and vegetation are treated, removed and/or thinned to slow the approach of wildfire and reduce its intensity. Defensible space also reduces the chance of a structure fire spreading to the surrounding wild lands. Defensible space provides room and time for firefighters to do their job. Wildfire hazard refers to the continuity of fuel both horizontally across the terrain and vertically from the ground into the vegetation crown. Slope also plays an important role in determining the level of hazard. Steep slopes add to the vertical component of fuel continuity.

The Highlands vegetation is mostly 2' to 3' high sage brush with moderate to strong horizontal continuity. Interspersed within the sage brush are scattered taller shrubs (5' to 10' high) and juniper trees (3' to 15' high). The combination of vegetation type and slope results in the Town of

Eagle's rating as noted above. There are no trees taller than about 15' and no contiguous overstory forest canopy on the site.

These Wildfire Criteria focus on reducing fuel load and continuity with added consideration for slope.

Effective defensible spaces are developed using different treatment techniques in a sequence of management zones:

Zone 1 (up to 5' from home):

Zone 1 is the area of maximum modification and treatment surrounding structures and nearby landscaping to be retained. Zone 1 is the area up to 5' from the home. The area within Zone 1 is intended to prevent flames from coming in direct contact with the structure.

Nonflammable, hard surface materials, such as rock, gravel, sand, cement, or stone/concrete pavers are most effective in this zone. Any landscaping taller than 1' within 5' of a structure is considered part of the structure with the Zone 1 inner border extended accordingly.

A continuous non-combustible inner border not less than 5' wide comprised of washed river cobble mulch placed over weed barrier under elevated decks, surrounding structures and associated landscaping is required.

Continuing maintenance within Zone 1 includes:

- Annually prune and routinely maintain all landscaping within Zone 1.
- Remove dead branches, stems and leaves to maintain the non-combustible border.
- Storage of combustible materials under decks or adjacent to structures is prohibited.

Zone 2 (5' to 30' from home):

Zone 2 is a transition area on land outside of Zone 1 where fuel should be limited and its continuity disrupted. Zone 2 is the area from 5' to 30' from the home. The area within Zone 2 is intended to give an approaching fire less fuel, which will help reduce its intensity as it gets nearer to structures.

Small groups of two or three trees may be planted within Zone 2. Spacing of approximately 30' should be provided between tree groups. This will limit the ability of fire to jump from one group to another.

When planting, consideration should be given to the future size of fully mature trees planted in Zone 2.

It is recommended that irrigated and maintained turf be planted for a minimum of 10' beyond the inner non-combustible border mulched area.

The planting of conifers should be extremely limited within 25' of the home. No conifers shall be planted within 10' of the home.

Shrubs may be planted in Zone 2, as long as they are not placed under trees. Shrubs should be planted a minimum of 10 feet away from the edge of tree branches. Spacing between clumps of shrubs should be at least 2 1/2 times their mature height. Each clump should have a diameter no more than twice the mature height of the vegetation. Example: For shrubs that grow 6 feet tall, space clumps 15 feet apart or more (measured from the edge of the crowns of vegetation clumps). Each clump of these shrubs should not exceed 12 feet in diameter.

The goal of the landscape design is to avoid the creation of vertical continuity (ladder fuels) that would carry fire upwards into structures or taller vegetation such as adjacent shrubs and trees. Appropriate spacing between the drip lines of plants is at least 2 1/2 times the height of the plant or grouping of plants. Maintain at least 15' between the drip lines of single trees or between occasional groupings of trees. Allow for the growth of plants in the initial design and installation to insure appropriate spacing as plants mature.

Continuing maintenance within Zone 2 includes:

- Prune tree branches to a height of 6-10 feet from the ground or a third of the total height of the tree, whichever is less.
- Mow grasses to 4 inches tall or less.
- Routinely evaluate Zone 2 treatment. It is likely that new growth will occur over time that may necessitate re-treatment to maintain the desired wildfire defensible spaces.
- All landscape materials other than turf must be maintained and drip irrigated for healthy growth and to reduce their vulnerability to fire.

Within the Building Envelope but beyond Zone 2

Zone 2 likely encompasses the majority of the building envelope or to the lot boundary. In areas within the building envelope but outside Zone 2, it is beneficial to focus on reducing wildfire fuel. Thin the sage brush and other shrubs in a randomized pattern such that the openings between individual plants are at least 2 times the height of retained plants. For example, if the sagebrush is generally 2' high, then the space between plants after thinning should be on the order of 4'. It is best to select older, larger plants for removal first as they typically contain a higher proportion of dead wood (wildfire fuel) and are of lower wildlife forage value. This will result in removal of between one third and one half of the sagebrush.

Remove all shrubs and sagebrush under and within 10' downslope and alongside of juniper trees to be retained within the building envelope. Remove all shrubs and sagebrush within 7' upslope of juniper trees to be retained in Zone 2. These actions will remove ladder fuel hazards affecting the trees to be retained.

Remove the lower branches of shrubby juniper trees to one quarter the plant's height. By example, the lower 2.5' of branches would be removed from a 10 foot tall juniper shrub.

Remove all prunings and trimmings from the site.

Reseed disturbed soils with Wildlife Grasses and Forbs Seed Mix (see below) in late October or late April as follows:

- Scatter seed by hand on all disturbed soils at a rate of 16 ounces per 1000 square feet.
- Broadcast slow release fertilizer on all treatment area per manufacturers' recommendations to yield 2 lbs nitrogen, ½ lb. Phosphorous, and 1 lb. Potassium per 1000 square feet.
- Rake seed and fertilizer into disturbed soils.

Routinely evaluate treatment areas per the above protocols. It is likely that new growth will occur over time that may necessitate re-treatment to maintain the desired wildfire defensible spaces.

Wildlife Grasses and Forbs Seed Mix:

Grasses		
Common Name	Scientific name	PLS#/1000 sf
Squirrel-tail bottle brush	<u>Elymus elymoides</u>	4 oz
Green needle grass	<u>Nassella viridula</u>	3 oz
Indian rice grass	<u>Achnatherum hymenoides</u>	3 oz
Basin Wild Rye	<u>Leymus cinereus</u>	4 oz
Subtotal Grasses		14 oz./1000 sf
Forbs and Shrubs:		
Common Name	Scientific name	PLS#/1000 sf
Rocky mountain penstamon	<u>Penstemon strictus</u>	½ oz
Cicer Milk vetch	<u>Astragalus cicer L.</u>	½ oz
Small burnett	<u>Sanquisorba minor</u>	½ oz
Four Wing Saltbush	<u>Atriplex canescens</u>	½ oz
Subtotal Forbs and Shrubs		2 oz/1000 sf
Total all seed		1 lb/1000 sf

Water Features

Water features may be approved after review of a site specific geotechnical evaluation and recommendation provided by the applicant.

Front Yard

The design intent for front yard landscaping is to provide a driveway border and welcoming corridor to the front entry of each home. It is not the design intent to create a streetscape of expansive front lawns.

- Wildfire-Defensible Zone 1 and Zone 2 landscapes are appropriate for front yards.
- Irrigated front yard landscapes should be moderate in extent and configured to complement the home's entry and façade.
- Appropriate plant materials for front yards include native vegetation or wildflowers, trees, planting beds and modest areas of irrigated turf.
- Irrigated borders for driveway and auto court (if any) should include all areas disturbed during their construction.
- Irrigation systems should be designed to avoid watering closer than 5' of the street pavement edge. Irrigation systems may not be placed in the road right-of-way.

Side Yards

The design intent for side yard landscaping is to reduce fire hazards around the perimeter of each residence, to promote drainage, to provide visual screening between residences, and to revegetate areas disturbed during construction.

- Wildfire-Defensible Zone 1 landscapes are appropriate for side yards.
- Hedges or other intensive screening landscape plantings may be located in side yards between buildings to provide privacy for specific window or use areas. However, these plantings must be carefully designed to avoid creating a fence like delineation along property lines.
- Swing sets, play structures and outbuildings are allowed in the side yard but may not be located in any required setback and/or outside disturbance limit areas. Placement of such structures to respect adjacent property privacy and views is appreciated. Appropriate landscape screening may be required for such structures if they will be visually prominent from adjacent properties or the street.

Rear Yards

The design intent for rear yards is to provide sufficient irrigated and manicured landscapes for each homeowner's customary outdoor activities.

- Wildfire-Defensible Zone 1 and Zone 2 landscapes are appropriate for rear yards.
- Irrigated turf, native grasses or wildflowers, trees, shrubs, planting beds and vegetable gardens are appropriate for rear yards.
- Rear yard landscaped areas should be broadly contiguous with the rear of the residence to limit disruption of surrounding native areas.
- Rear yard plantings should be designed to avoid creating delineation between properties.

Irrigation

The design intent for permanent irrigation is to provide for efficient, conservative use of water resources appropriate to approved landscapes.

All homesites shall be required to install an underground automatic timer controlled irrigation system. Each system shall be designed for a water flow rate of not more than 12 gallons per minute at a minimum residual pressure of 40 pounds per square inch at the street.

Individual plant drip irrigation systems of fully planted beds comprised of larger perennials, shrubs, and trees are encouraged. Beds planted with annual flowers, and smaller plants are better irrigated with overhead sprinklers. When conscientiously managed, drip systems use about 60% of the water as compared to overhead sprinkler and mini-spray irrigation. In this regard, credit is given for areas under drip irrigation against the total allowable irrigation area as follows:

Irrigation Type	Conversion Factor
Overhead sprinkler system	1.0
Mini spray system	1.0
Individual plant drip system	0.6

Temporary Irrigation

Temporary overhead sprinkler irrigation is typically required for 2 full irrigation seasons to re-establish healthy vegetation on otherwise non-irrigated portions of setback governed homesites, and on disturbed areas of Building Envelope governed homesites that are not permanently irrigated. Temporary systems should be surface mounted and must be removed at the end of the second full irrigation season after installation.

Temporary irrigation is intended to reduce probable noxious weed infestations on disturbed areas. Effective eradication protocols are elusive and will change over time. Owners are responsible to keep informed of and implement the protocols as may be promulgated from time to time by regional agencies.

HIGHLANDS RIDGELINE

Landscape plans for each lot applicable shall be prepared by a professional Landscape Architect.

Landscape designs shall meet the Wildfire Defensible Criteria and all other requirements of the Highlands.

The interface between structures and surrounding landscape shall be designed to provide a gradual transition from built features into natural areas. Landscaping that is compatible with natural vegetation shall be designed so that it extends out from developed areas and forms a cohesive pattern with existing natural vegetation. The purpose is to blend the new landscape with the natural vegetation. It is intended that the transition between the built environment and natural areas occur sufficiently beyond residential structures to meet applicable wildfire codes.

Landscaping facing Brush Creek Road shall be designed to maintain selected views from the residences yet screen and soften the architecture from Brush Creek Road. Plantings shall be

composed of a combination of trees and shrubs to punctuate and soften building elevations as seen from Brush Creek Road.

Trees and shrubs shall be arranged in informal, randomly spaced masses, and shall be placed selectively to reduce the scale of and help to screen disturbed slopes. Plant materials that are used to stabilize a graded slope shall blend with the surrounding native plant materials in color and texture to the extent possible.

NEIGHBORHOOD CENTER (Filings 15, 16, and 17)

The landscape guidelines for Neighborhood Center single family residential homesites recognize that these homesites are smaller and more intensively managed and used by residents. This urban landscape incorporates the more formal, manicured treatments of residential areas of America's small towns. The landscape concept includes fully landscaped front yards with a neighborly presence. Rear yards are expected to be private enclaves designed for outdoor living uses. Side yards will serve as quiet zones between homes.

Fences

The intent for fences in The Neighborhood Center single family residential neighborhoods is to accent the street-scape without creating visual barriers between home and sidewalk; and to provide visual privacy between residence side yards and rear yards as desired.

Front Yard Fences

- Painted wood picket type fences are allowed but not encouraged in front yards. Front yard fences should be between 24" and 36" in height and be not more than 50% picket density.
- The front yard fence may not be placed closer than 18" behind the sidewalk. The ground between the fence and sidewalk must be fully landscaped and maintained.
- A pedestrian gate or opening must be provided for the front walkway. Gate structures may incorporate trellises or other design elements consistent with the residential architecture.
- At corner homesites, side street fences are governed by front yard criteria from the corner to the Build-to line of the front of the house.

Side and Back Yard Fences

Fences in the side and back yards adjacent to the house may be provided under the following conditions:

- Side and rear yard fences may be built to the property line. The homeowner to provide written agreement from adjacent property owners for lot line fence installations prior to approval by the DRB.
- Side yard fences may not be taller than 72" and must be constructed of the approved design types and materials, as provided at the Pre-Design Conference.
- It is strongly recommended that rear yard fences be of the "picket" vernacular and not taller than 36". Taller privacy fences may be approved for specific uses such as hot tub screens, pools dog run enclosures, etc. These may be up to 72" in height with the top 24" of the fence being open or transparent.
- Side and rear yard fences should attach to the house and be compatible with the architecture of the house.
- Fenced side and rear yards must be accessible through gates from the front yard or alley respectively.

Pre-Construction Homesite Maintenance

Each homesite owner shall be responsible to maintain any unoccupied homesite in such a manner as to minimize fire hazard (mow two or three times per season), control wind and water erosion and to minimize the presence of noxious weeds and dust.

In the event that a homesite is not maintained as described above, the DRB shall have the authority to enter the property and conduct such maintenance measures as may be required to bring the homesite into compliance with these terms. The homesite owners shall then be assessed the cost of performing these tasks.

General Design Considerations

- The purpose of these landscape guidelines is to allow for creativity and personalized design of the landscaping within individual homesites while maintaining a cohesive neighborhood design that respects adjacent properties.
- Recommended plant lists are included in the appendix to assist owners. These lists are not all inclusive nor does the inclusion of a plant guarantee its survival. Micro climate conditions created by the orientation, earth forms and structures on each site should be considered in plant selection. Introduction of plants with high allergy response history are strongly discouraged.
- It is strongly recommended that a landscape architect or designer familiar with local climate conditions and with knowledge of appropriate plant materials be utilized to design or consult upon the landscape and irrigation design.
- A variety of plant materials and sizes are encouraged. Minimum acceptable plant sizes for new plantings are as follows:
 1. Evergreen trees - 6 feet in height above the root ball.
 2. Deciduous trees - 2 inch caliper
 3. Shrubs - 5 gallon pot.

Irrigation

- In recognition of the arid climate and to promote appropriate stewardship of our water resources, all homesites shall be required to install an underground automatic timer controlled irrigation system as approved by the DRB.
- Controlled flow drip irrigation is encouraged for shrubs and perennial beds within the landscape.

Front Yard

- Front yards are to include manicured lawn areas, carefully tended flower gardens, shrub beds, and street trees.
- The area from the back of the curb to the front of the facade zone shall be maintained as irrigated lawn.
- Front yard and planting strip lawn areas must be sodded.
- Builder will plant street trees for each homesite of the species, size, variety, and plant spacing as specified in the Appendix. Street trees should be aligned and centered in the planting strip along the street frontage.
- Tree placement on corner homesites must respect intersection sight distances.
- Homeowners are required to irrigate and maintain the street trees in good health and growth habit beginning with
- issuance of a building permit.

- Individual trees planted within front lawn areas are allowed and encouraged; however, expansive annual or perennial flower beds, shrub or tree beds, hedges, or vegetable gardens are strongly discouraged.
- Irrigation system placement and plant material locations should respect winter snow storage requirements in areas adjacent to the roadway, sidewalk, and driveway.

Building Perimeter

- The building perimeter should be bordered by beds combining shrubs, perennial and annual flowers or other foundation plantings that buffer the transition from lawn to building wall. The width of this planting bed may vary but should not be less than 3'. Plant materials and locations should be evaluated with consideration to sun/shade exposure, mature growth habit, eave drip lines and snow shedding.
- Planting beds adjacent to the home which spill over the facade zone towards the street may be appropriate.

Side Yards

- Except for driveways, side yards should be landscaped.
- Hedges or other intensive screening landscape plantings may be located in side yards between the front of the building to the rear yard setback to provide privacy for specific window or use areas.
- Swing sets, play structures and outbuildings are allowed in the side yard but must be located outside of any required setback areas. Appropriate landscape screening will be required for some structures if they will be visually prominent from adjacent properties or the street.
- Side and rear yard lawn areas may be seeded.

Rear Yards

- Patios, decks, irrigated lawn, trees, planting beds and vegetable gardens are appropriate for rear yards.
- Swing sets, play structures, and dog runs must be located outside of the side and rear building setback areas.

Exterior and Landscape Lighting

- All exterior lighting is subject to DRB approval and must meet any current Town of Eagle lighting regulations.
- All exterior and landscape lighting should be designed to maintain the neighborhood character, preserve the night sky views and protect adjacent properties from bright lighting and direct light sources.
- Driveways, porches, patios and walkways may be illuminated for safety and security.
- Down lighting shall be used to reduce glare and no direct light sources may be visible from off-site.

Landscape Installation and Maintenance

Performance

- Each homesite shall be fully landscaped in compliance with plans approved by the DRB within 180 days of the issuance of the Temporary Certificate of Completion of the residence.
- The DRB may approve extension of this performance period due to winter conditions that are not conducive to the survival of the plantings.

Maintenance

- The homesite owner shall diligently maintain the landscape plants in a manner that is consistent with the normal character of the plants. This shall include cooperation with the Association to minimize fire hazard through appropriate mowing and irrigation schedules and removal of dead branches and brush.

Association Authority to Remedy

- If recommended by the DRB, the Association has the authority to enter upon a homesite and undertake such maintenance measures as may be required for the landscaping to meet the minimum quality of appearance, health and fire safety that is consistent with the character of Eagle Ranch.
- The Association may then levy a Reimbursement Assessment against such homesite owner for all costs and expenses incurred by the Association in completing such landscape maintenance work, including any costs and expenses of collection and attorney fees.

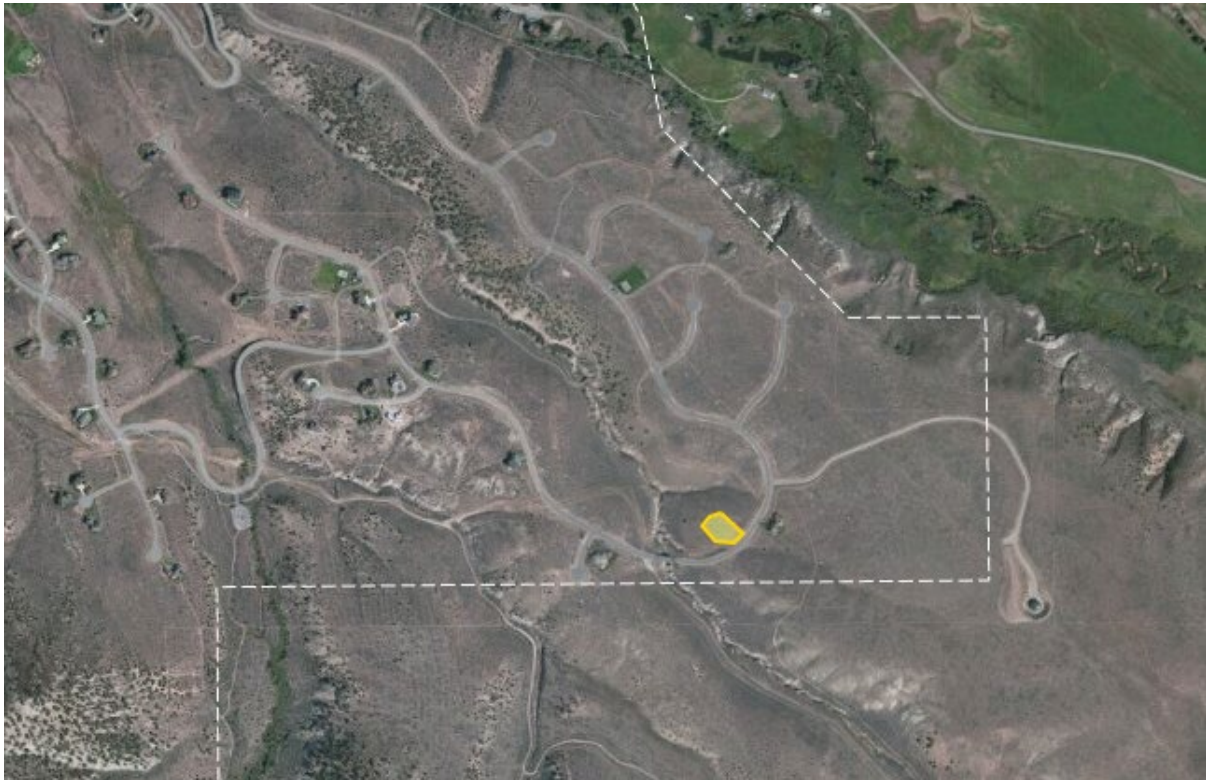


Design Review Memorandum

Project Number: 25-00-64
Owner Name: Jill and Collier Pennington
Architect: Brennen Fitzgerald – Scott Turnipseed AIA
Address: 1880 E Haystacker Dr
Legal: EAGLE RANCH FILING 25 Lot: 64
Preliminary DRB Meeting Date: April 18, 2024

PROJECT OVERVIEW

- Lot Size: 31,482 sf
- Accessory Dwelling Unit: No
- Slopes in Excess of 30%: No
- Design Guidelines: Highlands
- Style: Alpine Ranch
- Fire Suppression System: Refer to GERFPD and EVW for fire suppression requirements



LIMITATIONS

Standard	Allowed	Proposed
Floor Area Maximum	7,000 sf	4,949 sf
Floor Area Minimum	2,000 sf	Complies
Site Coverage	30% = 9,444 sf	4,516 sf
Impervious Area	50% 15,741 = sf	6,846 sf
Height	35 ft	Complies
Setbacks	Front: 25 feet Sides: 15 feet Rear: 25 feet	Complies
Driveway Setback	7.5 ft from side property line	>7.5 ft
Development Disturbance	16,500 sf	16,388 sf
Dog Run Area	500 sf	229 sf
Hot Tub Area	45 sf	144 sf

PRELIMINARY PLAN REVIEW – April 18, 2024

1. Site and Landscape Comments

Generally, staff finds the proposed landscape and site plan to be in compliance with the Highlands Design Guidelines.

- a. Eagle Valley Wildland strongly advises against the planting of any new Pinion Pines within the Highlands neighborhood.
- b. Show AC and/or mechanical units on Landscape Plan for Final review to ensure appropriate screening.
- c. For Final Review, include dog run fence details.
- d. For Final Review, include landscape cost estimate and approximate completion date.
- e. For Final Review, include roof plan with ridge heights to confirm height compliance.
- f. For Final Review, include construction sign detail.
- g. For Final Review, include address marker detail.

2. Architecture Comments

Overall, staff finds the proposed architecture to be in compliance with the Highlands Design Guidelines.

- a. 2.3.3.2 (5) *Windows set in rustic barn wood siding or metal may be installed without window trim if approved by the DRB.* Windows shown in vertical siding do not include window trim.
Staff requests DRB input.
- b. Include exterior lighting locations on elevations for Final Review.
- c. Include exterior lighting fixture spec sheet (detailing lumens) for Final Review.
- d. Garage door glazing must be frosted. Specify detail on elevations or window schedule for Final Review.

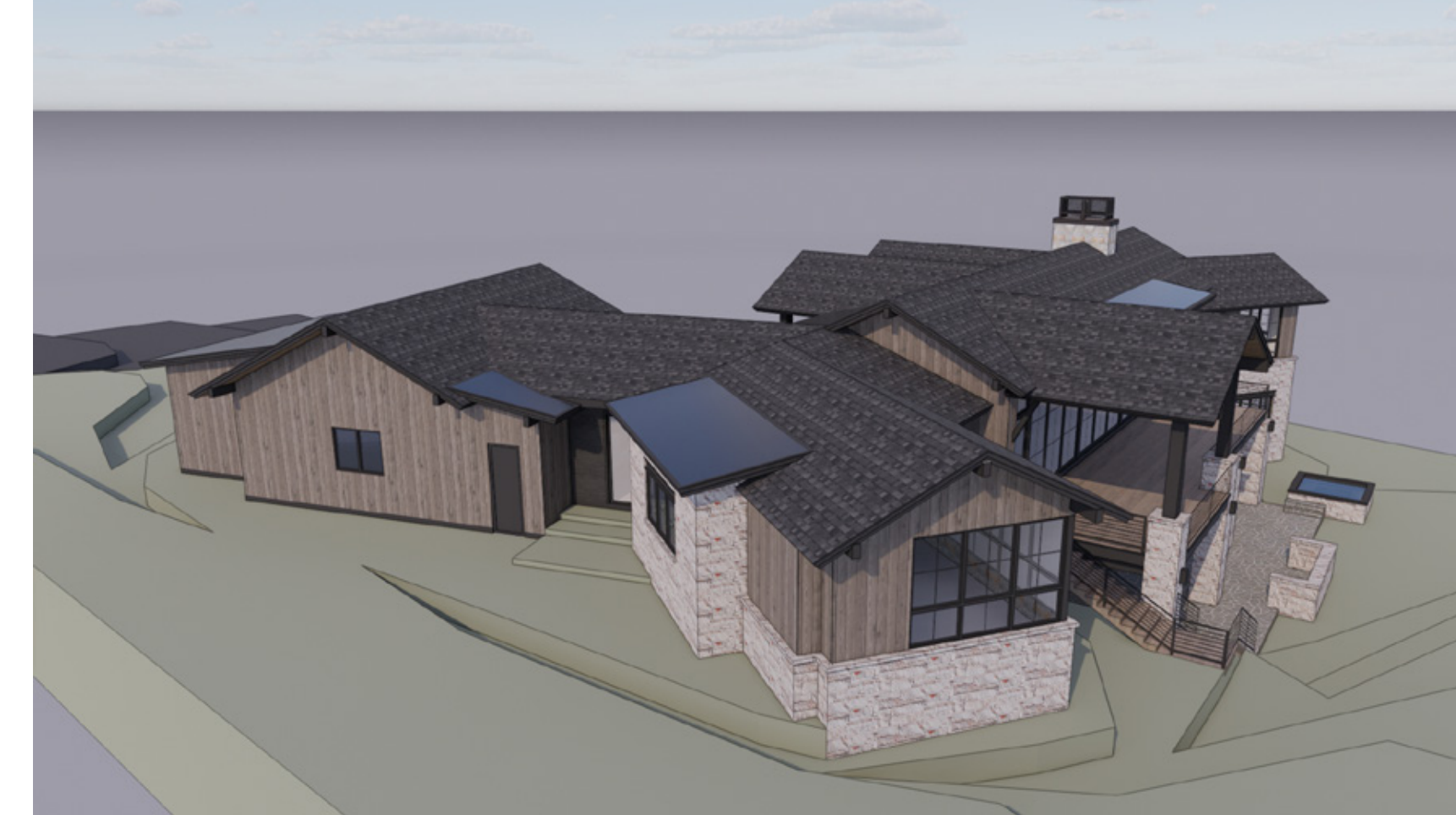
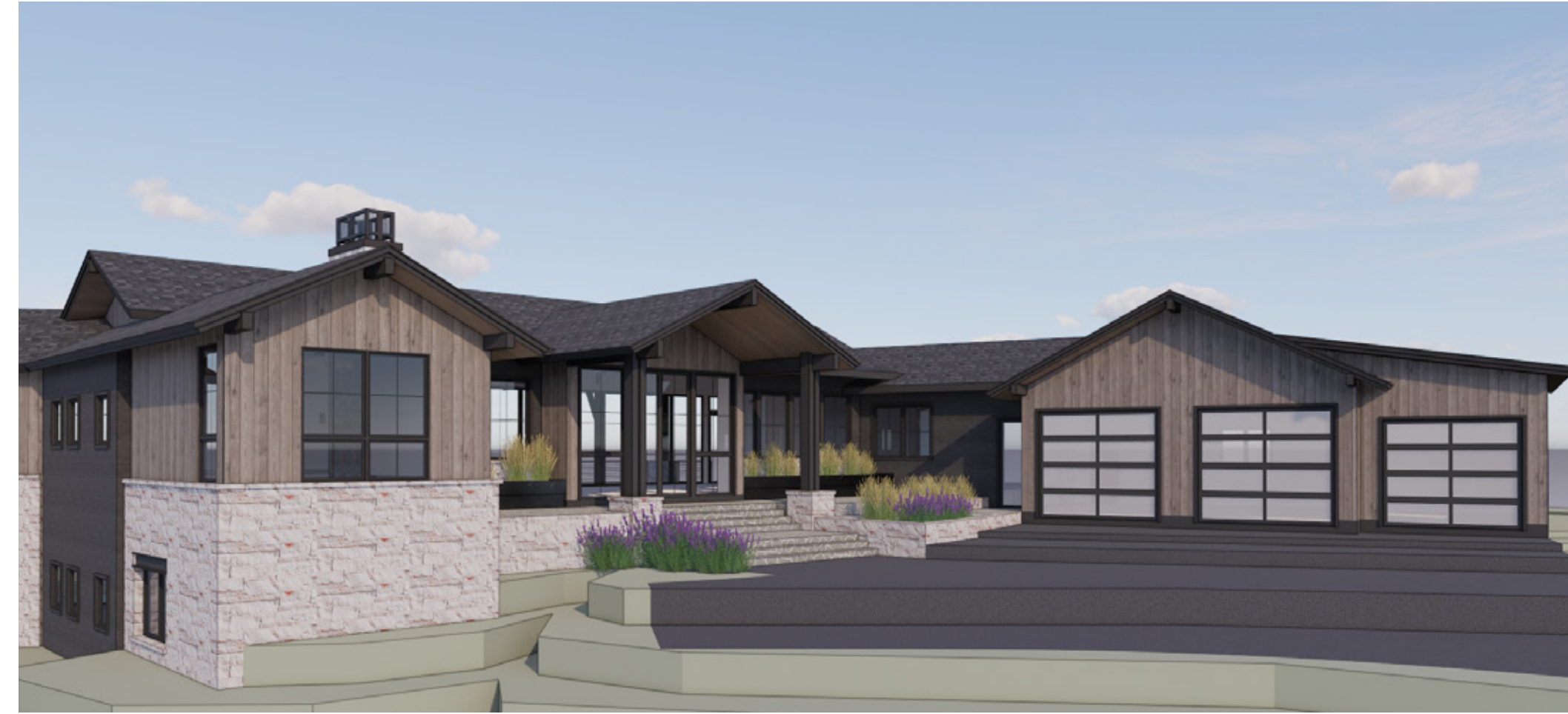
3. Staff Recommendation

Staff recommends approval of the Preliminary Plan Review for the Pennington Residence with the following conditions:

1. General Condition: Compliance with the Eagle Ranch Design Guidelines and process is not a substitute for compliance with Town of Eagle regulations, State regulations, or Federal regulations. Additional permits and approvals may be required by these agencies prior to commencing any work on the property. The property owner and its agents are responsible for ensuring compliance with all local, state, and federal regulations.
2. The applicant shall address the comments provided in this staff memorandum and any DRB comments prior to submittal for Final Review.

PENNINGTON RESIDENCE

HIGHLANDS @ EAGLE RANCH, EAGLE, COLORADO



NOTE:
RENDERINGS ARE FOR REFERENCE ONLY AND NOT INTENDED FOR CONSTRUCTION PURPOSES.



PENNINGTON RESIDENCE
 1880 EAST HAYSTACKER DRIVE
 LOT 64 - HIGHLANDS
 EAGLE, COLORADO 81631

PROJECT TEAM

OWNER

Jill and Collier Pennington

jcpennington@permian.law
Collier@cjetcapital.com
1-432-634-1137 cell

ARCHITECT

SCOTT S. TURNIPSEED AIA
ARCHITECTURE & CONSTRUCTION, INC.
1143 CAPITOL STREET, SUITE 211
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EAGLE, COLORADO 81631
T (970) 328-3900
brennen@sstia.com

CONTRACTOR

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T (970) 328-3900

SURVEYOR

Matthew S. Slagle
Slagle Survey Services
Po Box 751
Eagle, Co 81631
Ph - cell 970.471.1499
Slaglesurveyservices.com

STRUCTURAL ENGINEER

Paul Newkirk PE

SOILS / CIVIL ENGINEER

PROJECT SUMMARY

LOT NUMBER: 64
STREET ADDRESS: 1880 East Haystacker
LOT SIZE: 0.702 Acres

NEW CONSTRUCTION:
SINGLE FAMILY HOME
OCCUPANCY CLASS/GROUP R-3
CONSTRUCTION TYPE TYPE V-B
NUMBER OF STORIES: 2
PARKING: 5
BEDROOMS: 6
BATHROOMS: 5.5
FIREPLACES: 3

-RADON MITIGATION:
Per Code, See Sheet A2.0
-FORCED AIR HEATING / COOLING SYSTEM:
Forced Air Heat and AC, Heat Mat Tile Areas
-EXTERIOR LIGHTING:
REF SHEET A1.3
-LIGHTING CONTROL SYSTEM:
TBD
-AUTOMATIC WINDOW SHADES:
TBD
-FIREPLACE:
3 Units, See Individual Spec Sheets
-THERMAL ENVELOPE INSULATION REQ:
See Residential Energy Sheet supplied

TOWN OF EAGLE BUILDING DEPARTMENT:

Physical Address
200 Broadway
PO Box 609
Eagle, CO 81631

Eddie Wilson CBO
Building Official
eddie.wilson@townofeagle.org
Phone: (970) 328-9657

2021 - IBC
2021 - IRC

ENERGY CODE REQUIRED - BLOWER DOOR
TESTING IRC N1102.4.1.2
RADON MITIGATION REQUIRED - IRC AF103
WHOLE HOME VENTILATION SYSTEM REQUIRED
- IRC M1507.1, N1103.6

EAGLE RANCH DRB:

JASON BERGHAUER
Design Review Board Administrator
1143 Capitol Street Suite 208
PO Box 5905, Eagle, CO 81631
970.328.2174
EagleRanchDRB@eastwest.com
PRIMARY for Applications, Submittals, Inspections

www.eastwest.com

SQUARE FOOTAGES

LOWER LEVEL: SQUARE FOOTAGES

FINISHED = 1,682 SF
UN-FINISHED/MECH. = 342 SF

MAIN LEVEL: SQUARE FOOTAGES

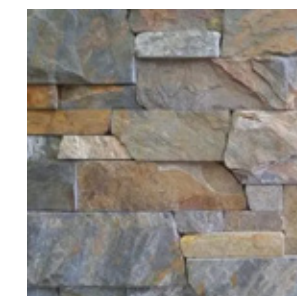
FINISHED = 3,260 SF
UN-FINISHED/GARAGE = 1,252 SF
ENTRY PATIO = SF
ALL DECKS, COVERED DECKS, = SF

TOTALS ALL LEVELS:

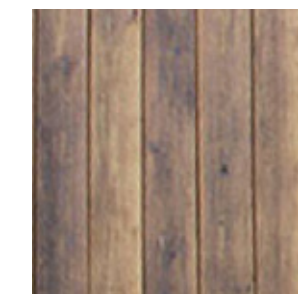
SQUARE FOOTAGES

FINISHED = 4,942 SF
UN-FINISHED = 1,594 SF
TOTAL ALL (GROSS) = 6,536 SF

EXTERIOR MATERIALS



A
Stone Siding:
6ft Stone Veneer,
Drystack
Ledgestone fl



B
Vertical Siding:
Heat Modified
SPF Combo
flight grey/brwn fl
1x8 t/g w/ 1/4fl
sq.reveal



D
Soffit:
Smooth Beetle
Kill Pine 1x6 t/g



F
Metal Roof:
Standing
Seam, black
matte finish



C
Downspout,
Door/Win Clad,
Flashings
Metal, black
matte finish



E
Fascia+Timbers:
RS DFir. W
Semi-Trans
Stains, Grey-
Brown



G
Asphalt Roof:
Asphalt Shingles
per Elevations,
black

DRAWING INDEX (ARCHITECTURAL)

- A0.0 COVER SHEET
- A0.1 TOPO
- A1.0 SITE PLAN
- A1.1 LANDSCAPE PLAN
- A1.2 CONSTRUCTION MANAGEMENT PLAN
- A1.3 EXTERIOR LIGHTING PLAN
- A2.0 LOWER LEVEL FLOOR PLAN
- A2.1 MAIN LEVEL FLOOR PLAN
- A2.2 ROOF LEVEL PLAN

- A3.1 EXTERIOR ELEVATIONS PRELIMINARY
- A3.2 EXTERIOR ELEVATIONS PRELIMINARY
- A4.1 BUILDING SECTIONS PRELIMINARY

- A5.0 MODEL VIEWS
- A5.1 MODEL VIEWS
- A5.2 MODEL VIEWS
- A5.3 MODEL VIEWS

- A6.1 BUILDING DETAILS PRELIMINARY

DRAWING INDEX (ENGINEERING)

VICINITY MAP

ISSUE: DATE:

OWNER REVIEW Feb, 2024
OWNER REVIEW Mar, 2024

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A0.0
COVER SHEET

DRB PRELIM SET - APR. 1 2024

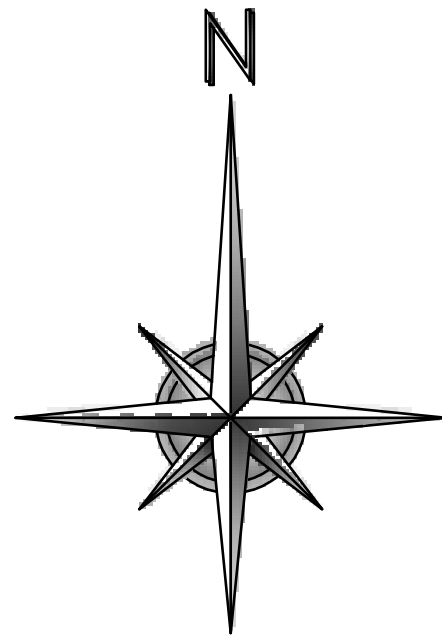
IMPROVEMENT LOCATION CERTIFICATE

IN ACCORDANCE WITH C.R.S. 38-51-108 (EFFECTIVE JULY 1, 2013)

THIS CERTIFICATE IS VALID ONLY FOR USE BY:

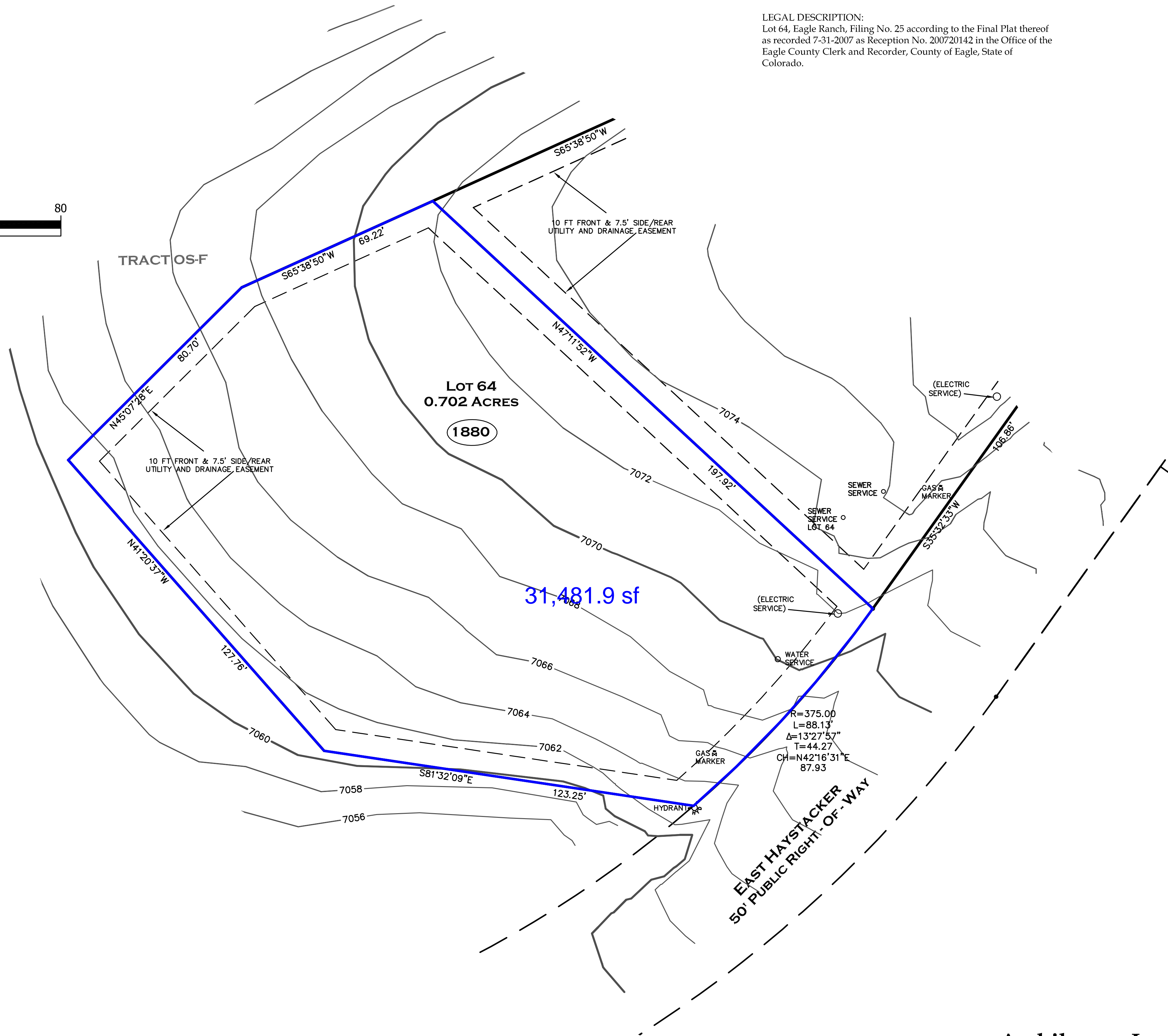
SELLER(S): B. SPENCER BLAIR IRREVOCABLE TRUST

BUYER(S): JTEC LAND, LLC, A COLORADO LIMITED LIABILITY COMPANY



1 INCH = 20 FEET

LEGAL DESCRIPTION:
Lot 64, Eagle Ranch, Filing No. 25 according to the Final Plat thereof as recorded 7-31-2007 as Reception No. 200720142 in the Office of the Eagle County Clerk and Recorder, County of Eagle, State of Colorado.



C.R.S. 38-51-108 (Effective July 1, 2013)

IMPROVEMENT LOCATION CERTIFICATE

I hereby certify that this Improvement Location Certificate was prepared for

Seller(s): B. SPENCER BLAIR IRREVOCABLE TRUST

Buyer(s): JTEC LAND, LLC, A COLORADO LIMITED LIABILITY COMPANY

that this is NOT a Land Survey Plat, or Improvement Survey Plat, and that it is not to be relied upon for the establishment of fence, building, or other future improvement lines.

THIS CERTIFICATE IS VALID ONLY FOR USE BY

Seller(s): B. SPENCER BLAIR IRREVOCABLE TRUST

Buyer(s): JTEC LAND, LLC, A COLORADO LIMITED LIABILITY COMPANY

AND DESCRIBES THE PARCEL'S APPEARANCE ON

OCTOBER 9, 2023

I further certify that the improvements on the above described parcel on this date, OCTOBER 9, 2023, except for utility connections, are entirely within the boundaries of the parcel, except as shown, that there are no encroachments upon the described premises by improvements on any adjoining premises, except as indicated, and there is no apparent evidence or sign of any easement crossing or burdening any part of said parcel, except as shown.



Theodore J. Archibeque PLS 37902
Colorado Professional Land Surveyor

NOTES:

- 1) Survey Date: SEPTEMBER 2020
- 2) Location of Improvements, Lot lines, and Easements are based upon the above referenced Final Plat of Eagle Ranch, Filing No. 25 and Survey Monuments found at the time of this survey as shown hereon. This Survey does not constitute a boundary survey nor any investigation into record easements or encumbrances associated with this property. Easements were derived from title policy number V50070225. Pertaining to schedule B-2 of said policy the subject property in subject to the following:
 - 16. RIGHT OF WAY FOR DITCHES OR CANALS CONSTRUCTED BY THE AUTHORITY OF THE UNITED STATES AS RESERVED IN UNITED STATES PATENTS RECORDED AUGUST 18, 1994 IN BOOK 648 AT PAGE 125.
 - 17. RESTRICTIVE COVENANTS, WHICH DO NOT CONTAIN A FORTITURE OR REVERTER CLAUSE, BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, BASED UPON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, HANDICAP, NATIONAL ORIGIN, ANCESTRY, OR SOURCE OF INCOME, AS SET FORTH IN APPLICABLE STATE OR FEDERAL LAWS, EXCEPT TO THE EXTENT THAT SAID COVENANT OR RESTRICTION IS PERMITTED BY APPLICABLE LAW AS CONTAINED IN INSTRUMENT RECORDED JUNE 23, 1999, UNDER RECEPTION NO. 700815 AND SUPPLEMENT THERETO RECORDED OCTOBER 29, 2007 UNDER RECEPTION NO. 200728661.
 - 18. TERMS, CONDITIONS AND PROVISIONS OF ANNEXATION AGREEMENT RECORDED APRIL 12, 1999 AT RECEPTION NO. 692227 AND ANNEXATION PLAT RECORDED MAY 9, 2003 AT RECEPTION NO. 832909 AND SECOND AGREEMENT RELATING TO ANNEXATION RECORDED MARCH 9, 2003 AT RECEPTION NO. 832905 AND RE-RECORDED JUNE 23, 2003 AT RECEPTION NO. 834536 AND RE-RECORDED JUNE 6, 2003 AT RECEPTION NO. 835920 AND AN ORDINANCE APPROVING THIRD AMENDMENT RECORDED JUNE 21, 2004 AT RECEPTION NO. 878113 AND ORDINANCE APPROVING FOURTH AMENDMENT.
 - 19. RIGHT OF WAY EASEMENT BEING 35 FEET IN WIDTH AS GRANTED TO ROCKY MOUNTAIN NATURAL GAS IN INSTRUMENT RECORDED FEBRUARY 21, 2002 RECEPTION NO. 786855.
 - 20. RIGHT OF WAY EASEMENT BEING 50 FEET IN WIDTH AS GRANTED TO ROCKY MOUNTAIN NATURAL GAS COMPANY AND PUBLIC SERVICE COMPANY OF COLORADO IN INSTRUMENT RECORDED FEBRUARY 21, 2002 RECEPTION NO. 786856.
 - 21. TERMS, CONDITIONS AND PROVISIONS OF RECIPROCAL EASEMENT AND DEVELOPMENT AGREEMENT RECORDED MARCH 05, 2003 AT RECEPTION NO. 825508 AND PARTIAL VACATION OF EASEMENT RECORDED AUGUST 9, 2005 AT RECEPTION NO. 925537 AND VACATION OF EASEMENT RECORDED JULY 18, 2007 AT RECEPTION NO. 200718979.
 - 22. TERMS, CONDITIONS AND PROVISIONS OF TRENCH, CONDUIT AND VAULT AGREEMENT RECORDED AUGUST 11, 2005 AT RECEPTION NO. 925865.
 - 23. TERMS, CONDITIONS AND PROVISIONS OF TOWN OF EAGLE ORDINANCE AND EAGLE RANCH PUD WILDLIFE MITIGATION AND ENHANCEMENT PLAN RECORDED OCTOBER 16, 2006 AT RECEPTION NO. 200628239 & 200628240.
 - 24. TERMS, CONDITIONS AND PROVISIONS OF SUBDIVISION IMPROVEMENTS AGREEMENT RECORDED JULY 31, 2007 AT RECEPTION NO. 200720144.
 - 25. EASEMENTS, COVENANTS, RESTRICTIONS, RESERVATIONS AND NOTES ON THE PLAT OF EAGLE RANCH, FILING NO. 25 RECORDED JULY 31, 2007 AT RECEPTION NO. 200720142.
 - 26. TERMS, CONDITIONS AND PROVISIONS OF THE EAGLE RANCH PLANNED UNIT DEVELOPMENT GUIDE RECORDED FEBRUARY 2, 2022 UNDER RECEPTION NO. 202201732.
- 3) This Lot is subject to Building Envelopes and other DRB requirements as defined in the P.U.D. Guide for Eagle Ranch, as amended or supplemented from time to time.
- 4) CONTOUR INTERVAL: 2 foot.
- 5) Utilities are shown approximately and should be field verified prior to excavation.
- 6) Surveyor does not warrant or certify to the integrity of any Digital Data supplied in conjunction with this map and survey.
- 7) STREET ADDRESS: 1880 EAST HAYSTACKER
- 8) This Topographic Survey was prepared for the exclusive use of those parties certified to hereon and is valid only if print has original seal and signature of surveyor.
- 9) Lineal Units of the U.S. Survey Foot were used herein.

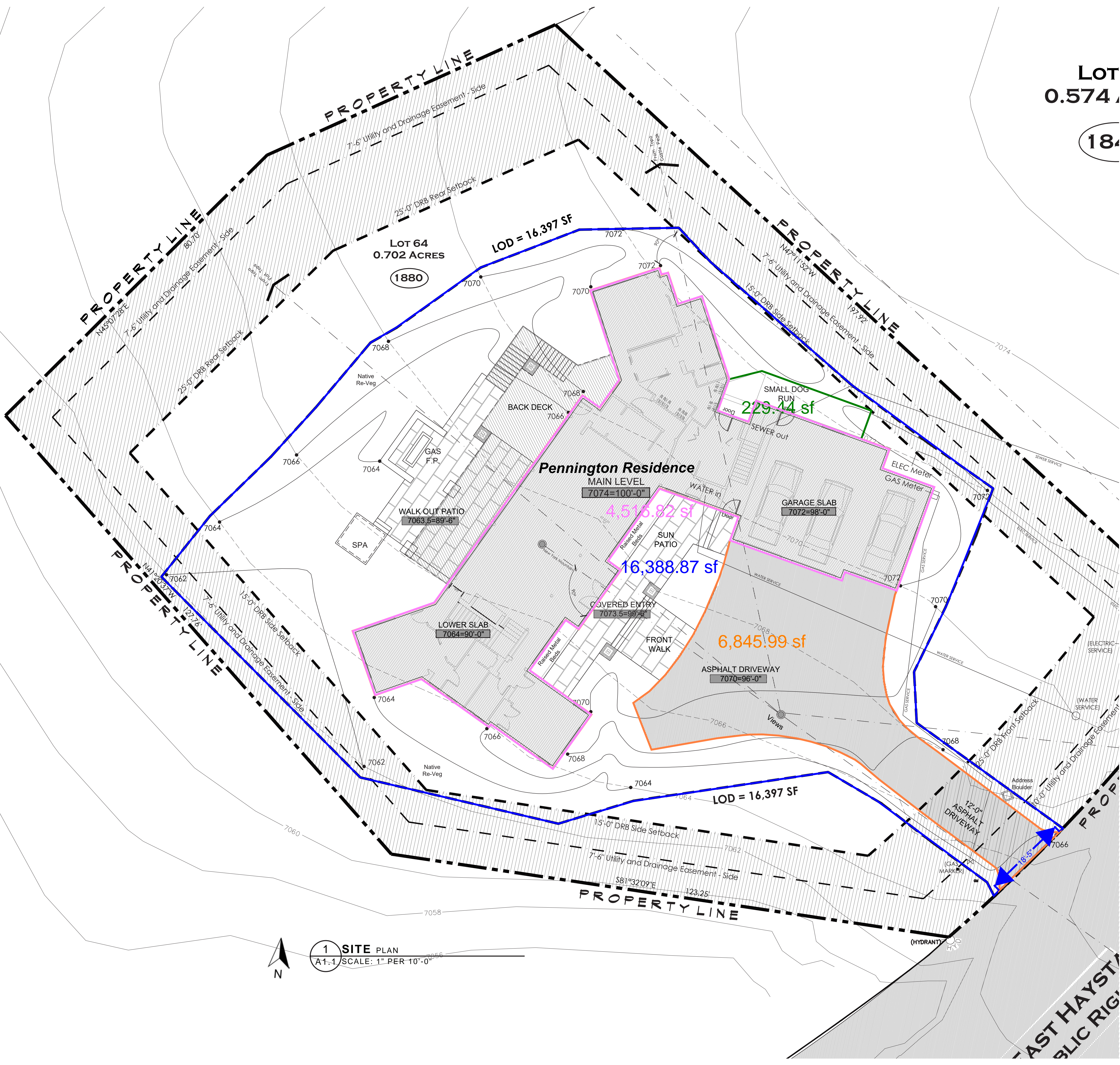
NOTICE: According to Colorado law you must commence any legal action based upon any defect in this survey within three years after you first discovered such defect. In no event, may any action based upon any defect in this survey be commenced more than ten years from the date of certification shown hereon. Additionally, this document is prepared for the sole purpose of use by the parties stated hereon. The improvements are generally situated as shown and only apparent (visible at the time of fieldwork) improvements and encroachments are noted. Archibeque Land Consulting, Ltd., its owner(s) and employee(s) will not be liable for more than the cost of this document, and then only to the parties specifically shown hereon. Acceptance and/or use of this document for any purpose constitutes acknowledgment and agreement to all terms stated herein.

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~ Professional Land Surveying & Mapping ~
970.328.6020 Office INFO@PROLANDSURVEY.COM

LOT 64 EAGLE RANCH FILING NO. 25
TOWN OF EAGLE, COUNTY OF EAGLE, COLORADO

DRAWN BY: TJA	DRAWING NAME: 12146_ILC 1880 EAST HAYSTACKER.dwg
SHEET 1 OF 1	DATE: 10-9-2023 JOB NUMBER: 12146

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LOT
0.574
18A

Site and Improvements Calculations Table *Eagle Ranch Design Review Board*
P. O. Box 5905 - Eagle, CO 81631
(970) 328-2174

Filing/Block/Lot: F24, Lot G4 Submittal Date: 4-1-2024
 Homesite Address: 1880 East Haystack Drive. DRB Administrator Checked: _____
 Initial and date

LOT DISTURBANCE:

Description	Sq. Ft.	Acres	% Lot	Note
Lot Area	30,579	.702	100%	43,560 sq. ft. = 1 acre
Area Disturbed by Construction	16,397		53%	

SITE COVERAGE:

Description	Sq. Ft.	Acres	% Lot	Note
Primary Residence Footprint	4,516			from site plan outline
Out-building Footprint(s)				
Other Impervious Areas	3,624			Patio + Driveway
Total Impervious Coverage	8,140		26%	Total

BUILDING AREA CALCULATIONS

Building Area	Finished Sq. Ft.	Unfinished Sq. Ft.	Note
Primary Dwelling Unit:	4,942	1,594	Name and provide Data for each floor level.
o	1,602		Lower Level
o	3,260		Main Level
o		342	Mech.
Subtotal PDU Living Space			
Garage		1,252	Garage
Accessory Dwelling Unit			Max: 850 sq. ft. per PUD. Refer to guidelines each neighborhood for inclusions and exclusions
Out-Buildings			
Subtotals Finished/Unfinished sq. ft.	4,942	1,594	
Total Finished + Unfinished Sq. Ft.		6,536	Meadows & Uplands Filing 14: Max: 6,000 sq. ft. Uplands & Highlands: Max: 7,000 sq. ft. Gross SF for all areas.

IRRIGATION AREAS:

Description	Sq. Ft.	% Lot	Note
Permanent Sprinkler Irrigation	1,914		measured area under sprinkler irrigation
Permanent Drip Irrigation	9,880		measured area under drip irrigation x 0.6
Total Permanent Irrigation	11,794	38%	Not to exceed 50% of Lot Area
Temporary Irrigation (underground zone off of yr. 2)			All residual disturbed soils x 1 to 2 growing seasons for healthy revegetation

Prepared by: BRENNEN FILLGRAUD Owner Signature: _____
 Print Name: BRENNEN FILLGRAUD Date: 4-1-2024

Updated Feb 2022 Sheet must be included on plan set

1 SITE PLAN
A1-1 SCALE: 1" PER 10'-0"



PENNINGTON RESIDENCE
1880 EAST HAYSTACK DRIVE
LOT 64 - HIGHLANDS
EAGLE, COLORADO 81631

ISSUE:	DATE:
OWNER REVIEW	Feb, 2024
OWNER REVIEW	Mar, 2024

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A1.0
SITE PLAN

DRB PRELIM SET - APR. 1 2024



PENNINGTON RESIDENCE
 1880 EAST HAYSTACKER DRIVE
 LOT 64 - HIGHLANDS
 EAGLE, COLORADO 81631

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A1.1
 LANDSCAPE PLAN

O.!

Eagle Valley Wildland is strongly discouraging the planting of any new Pinion Pines.

Plant Schedule - Highlands Eagle Ranch

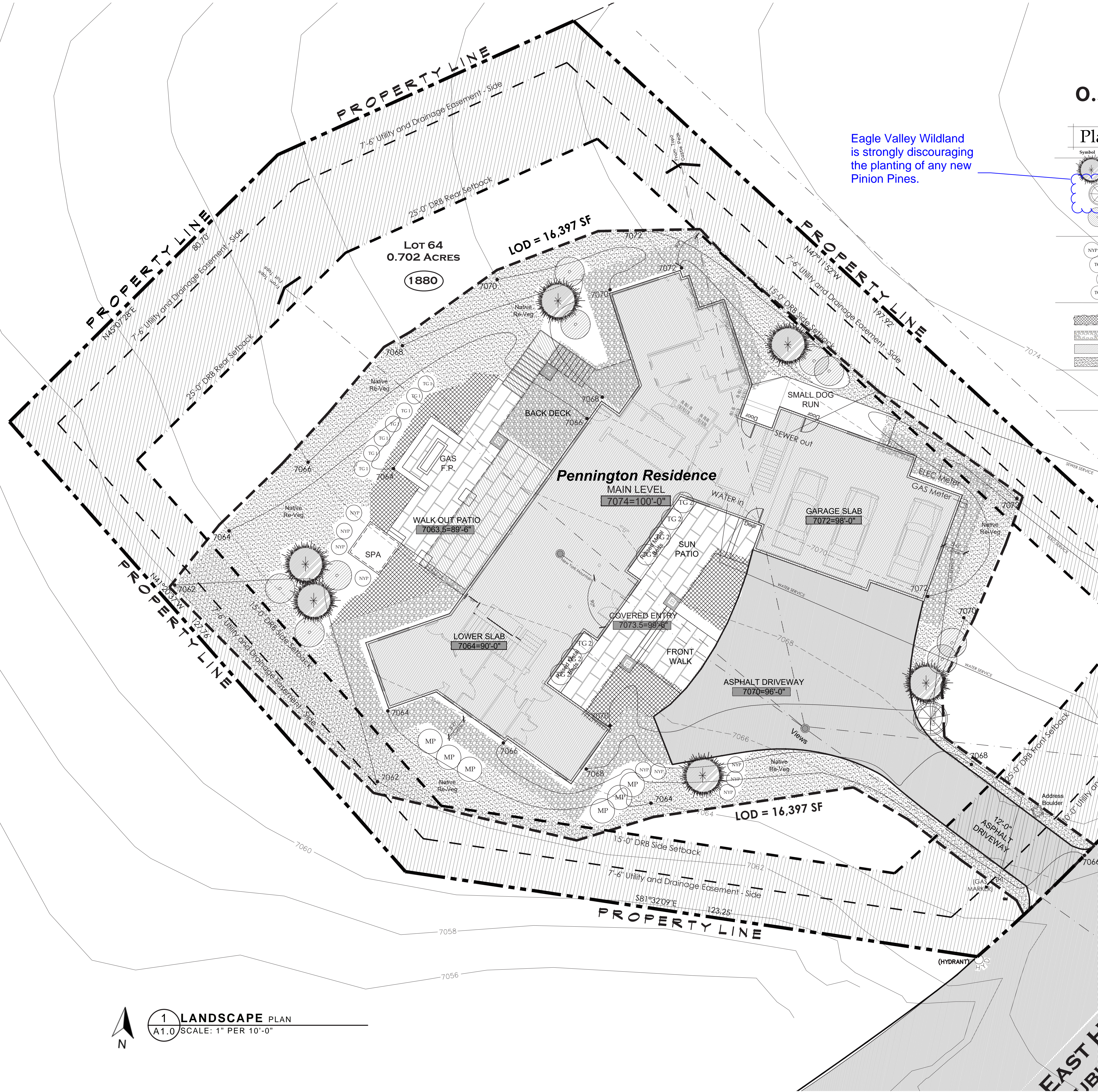
Symbol	Common Name	Scientific Name	Flower	Growth Height/Spread	Exposure	Count	Size	
	Colorado Sagebrush	XXXX	None	25'/15'	Sun/Filtered Shade	6	8' Ht.	Trees
	Pinon Pine	XXXX	Pink	15'/20'	Sun	1	2' Cal.	Trees
	Quaking Aspen	XXXX	None	35'/25'	Sun	9	2' Cal.	Trees
	Native Yellow Potentilla	XXXX	Yellow	2'/2'	Sun	9	5 Gal.	Shrubs
	Tall Grasses Individuals	XXXX	White	8'/8'	Adaptable	7	7 Gal.	Shrubs
	Mugo Pine	XXXX	Insignificant	3-4'/3'	Sun	5	5 Gal.	Shrubs
	Tall Grasses Type 2	XXXX	White	5'/7'	Sun/Filtered Shade	5	5 Gal.	Shrubs

	Mixed Perennials	1 Gal, 18" o.c.
	Gravel Cobble or Bark Mulch @ Planter Beds & Drip Edge	1,790 Sq. Ft.
	SOD & Grasses, Irrigated & Maintained	130 Sq. Ft.
	Native Grass Mix to Match Existing Grasses, Irrigated & Maintained	All Disturbed Areas

Irrigation Chart

Total Irrigated Area: Drip Irrigation s.f., Re-Veg areas s.f. 1,914 Re-Veg s.f. & 9,880 Drip s.f.

Sprinklers



1 LANDSCAPE PLAN
 A1.0 SCALE: 1" PER 10'-0"

DRB PRELIM SET- APR.1 2024



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SINCE 1995

PENNINGTON RESIDENCE

1880 EAST HAYSTACKER DRIVE
LOT 64 - HIGHLANDS
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A1.2

CONSTRUCTION
MANAG. PLAN

DRB PRELIM SET- APR.1 2024

LOT 65
0.574 ACRES

1848

LOT 64
0.702 ACRES
1880

SOILS STAGING

LOD = 16,397 SF

PENNINGTON RESIDENCE

GARAGE

ENTRY

DECK

BLDG. MATERIALS

ROLL OFF DUMP

ROADBASE
or RECY ASPHALT

JOB TOILET

JOB SIGN

TOWN OF EAGLE
CULVERT DETAIL

COBBLE
or MAT

ACCESS

STREET PARKING

(HYDRANT)

(ELECTRIC SERVICE)

SEWER SERVICE

GAS MARKER



1 CONSTRUCTION MANAG. PLAN
A1.2 SCALE: 1" PER 10'-0"

EAST HAYSTACKER
PUBLIC RIGHT-OF-WAY



PENNINGTON RESIDENCE
 1880 EAST HAYSTACKER DRIVE
 LOT 64 - HIGHLANDS
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A1.3
 EXTERIOR
 LIGHTING PLAN

Exterior Lighting Worksheet – Eagle Ranch Design Review

Filing/Block/Lot: F24, LOT 64 Address: 1880 East Haystacker Drive

Luminaire (Fixture) Location	Luminaire (Fixture) Data Brand/Model # - Attach Manufacturer Cut Sheets	Lamp (Bulb) Data		Lumens by Luminaire Type			Switch Type ⁹		
		Lamp Type ¹	Lamps per Luminaire	Watts per Lamp ²	Lumens per Lamp ³	Unshielded Luminaire ⁴		IDA Certified Luminaire ⁵	
1-B	"KUBE" LED OUTDOOR FLUSHMOUNT "BRONZE FINISH"	B	LED	1	6	500		✓	M
Subtotal Lumens by Luminaire Shielding Category (Unshielded or IDA Certified*)						2,000 lumens			4,000
Total Lumens all Luminaire Categories (not to exceed 5,500 Lumens)									4,000

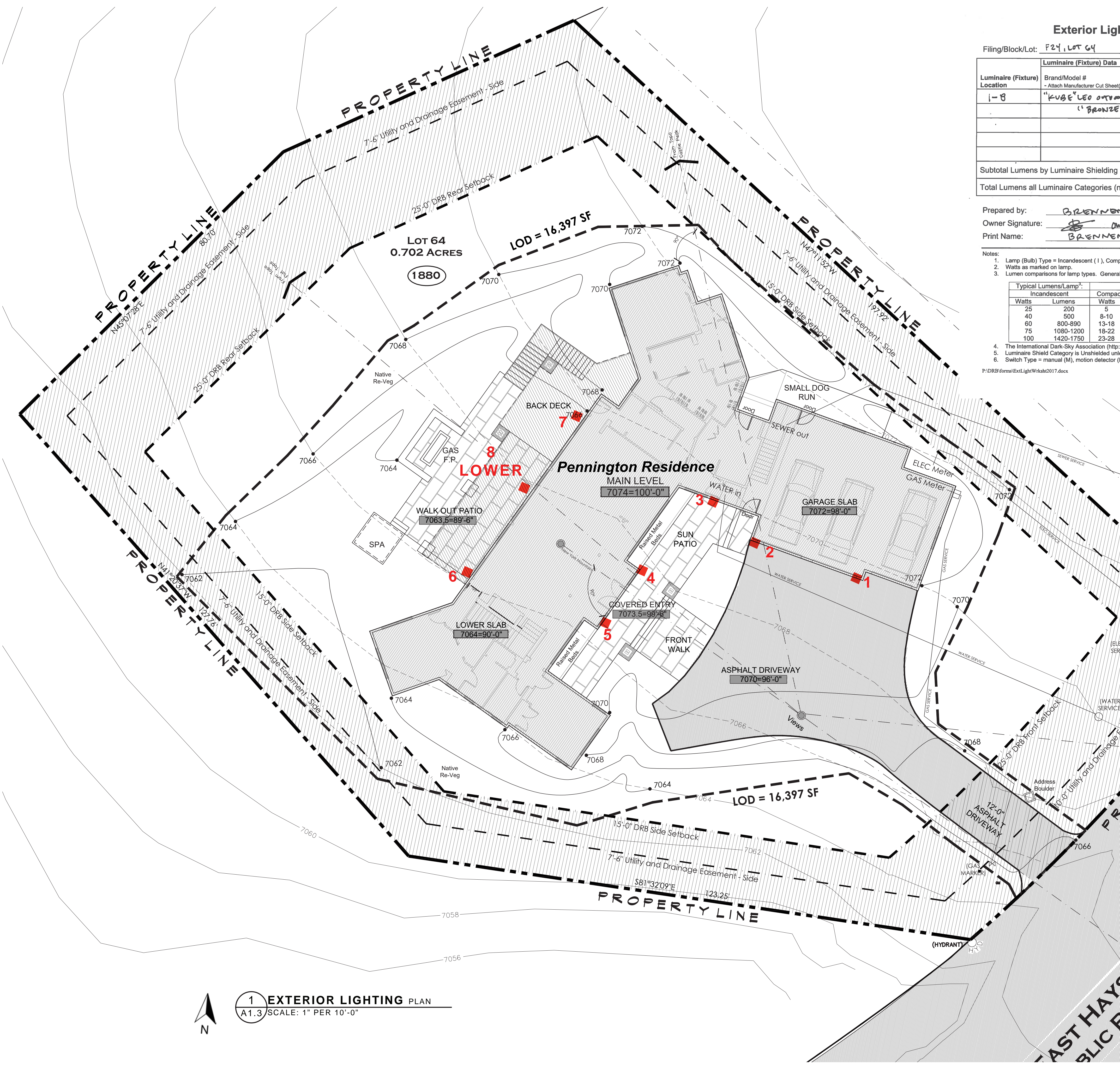
Prepared by: BRENNEN FILGERSAUV Date: 4-1-2024
 Owner Signature: [Signature] Date: 4-1-2024
 Print Name: BRENNEN FILGERSAUV

- Notes:
- Lamp (Bulb) Type = Incandescent (I), Compact Fluorescent (CFL), Low-voltage Halogen (LV), Light Emitting Diode (LED), etc.
 - Watts as marked on lamp.
 - Lumen comparisons for lamp types. General retail outlets (i.e. grocery, hardware store, etc.) may not carry all wattages. Consider specialty stores or internet sources.
 - The International Dark-Sky Association (<http://www.darksky.org>) certifies luminaires that minimize glare, reduce light trespass, and don't pollute the night sky.
 - Luminaire Shield Category is Unshielded unless specifically certified with International Dark-Sky Association Fixture Seal of Approval.
 - Switch Type = manual (M), motion detector (MD), photocell (P), rheostat (R), timer (T)
- P:\DRB\forms\ExtLight\Wkst2017.docx

Typical Lumens/Lamp ³ :		Compact Fluorescent		Lo-Voltage Halogen	
Watts	Lumens	Watts	Lumens	Lamp Base	Watts Lumens
25	200	5	200	G4	5 55
40	500	8-10	450	G4	10 140
60	800-890	13-18	890	G4	20 320
75	1080-1200	18-22	1210	G6Y.35	35 600
100	1420-1750	23-28	1750	G6Y.35	50 950

Include complete light fixture spec sheet that shows Lumens

The Kube LED Outdoor Flushmount is available with the following:
 Material:
 Extruded aluminum
 Shade Material:
 Etched glass lens
 Dimmable When Used With a Electronic low voltage (ELV) Dimmer (Not Included)
 Dark Sky compliant, Title 24 compliant
 UL Listed Damp. Install indoors or protected, fully covered outdoor areas.
 Warranty:
 \HDU 2QLVK ZDUUDQW\ DQG /(' FRPSRQHQQV FDUU\ D
 Made In China
 Options:
 Finish: Bronze, Satin Black, Satin White, Titanium
 Lighting:
 ~ :DWW ~ /XPHQV 9ROW ,QWHJUDWHG /(' &5, ~ &R
 Compare Brightness:
 Dimensions:
 Canopy: Diameter 6ft
 Fixture: Width 6ft, Height 6ft, Depth 6ft, Weight 2Lbs



1 EXTERIOR LIGHTING PLAN
 A1.3 SCALE: 1" PER 10'-0"

DRB PRELIM SET- APR.1 2024



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INTERIOR DESIGN

SINCE 1995

PENNINGTON RESIDENCE

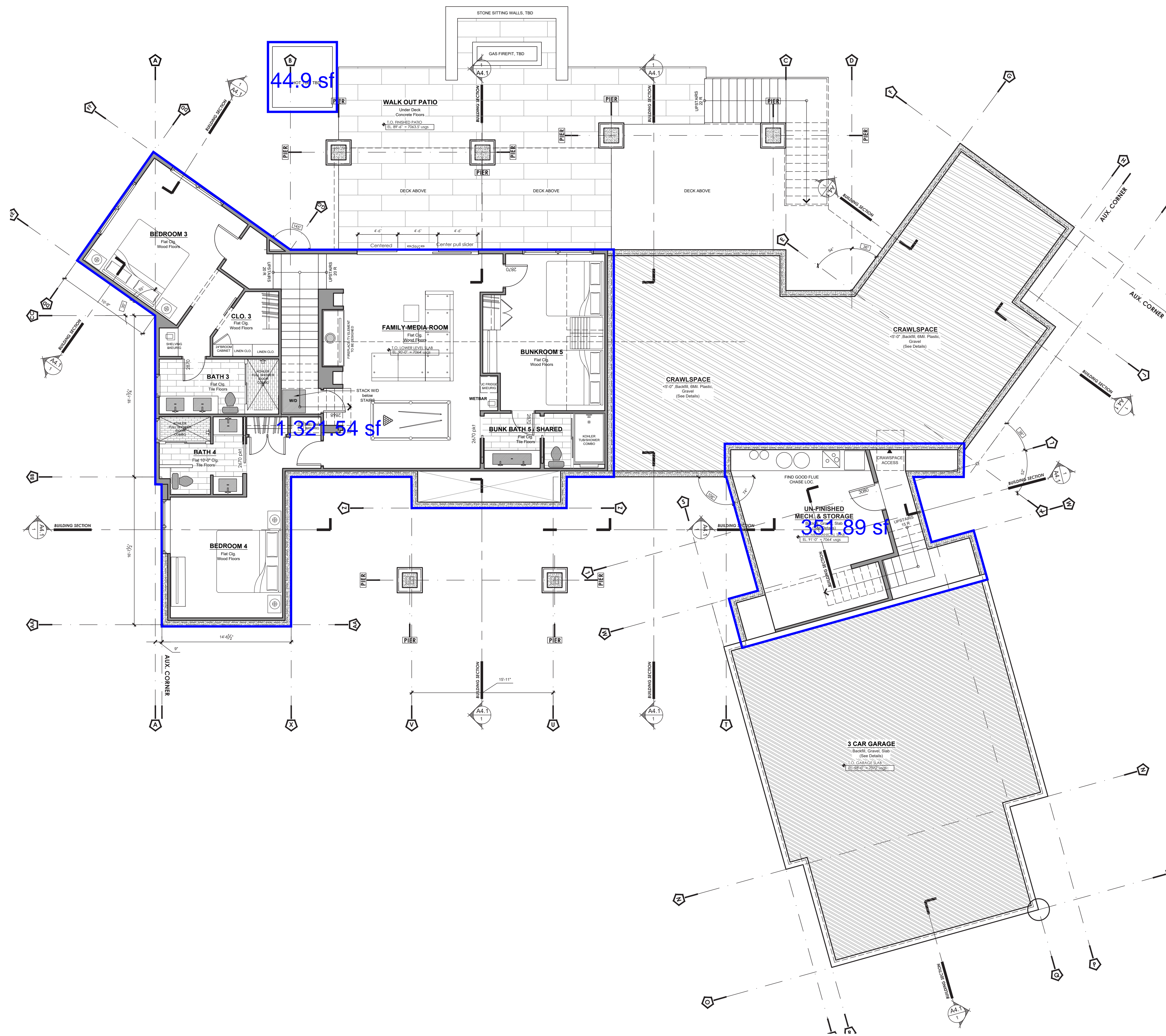
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LOT 64 - HIGHLANDS
EAGLE, COLORADO 81631

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A2.0
LOWER LEVEL



1 LOWER LEVEL PLAN
A2.0 SCALE: 3/16" PER 1'-0"

SQUARE FOOTAGES
FINISHED = 1,682 SF
UN-FINISHED/MECH. = 342 SF

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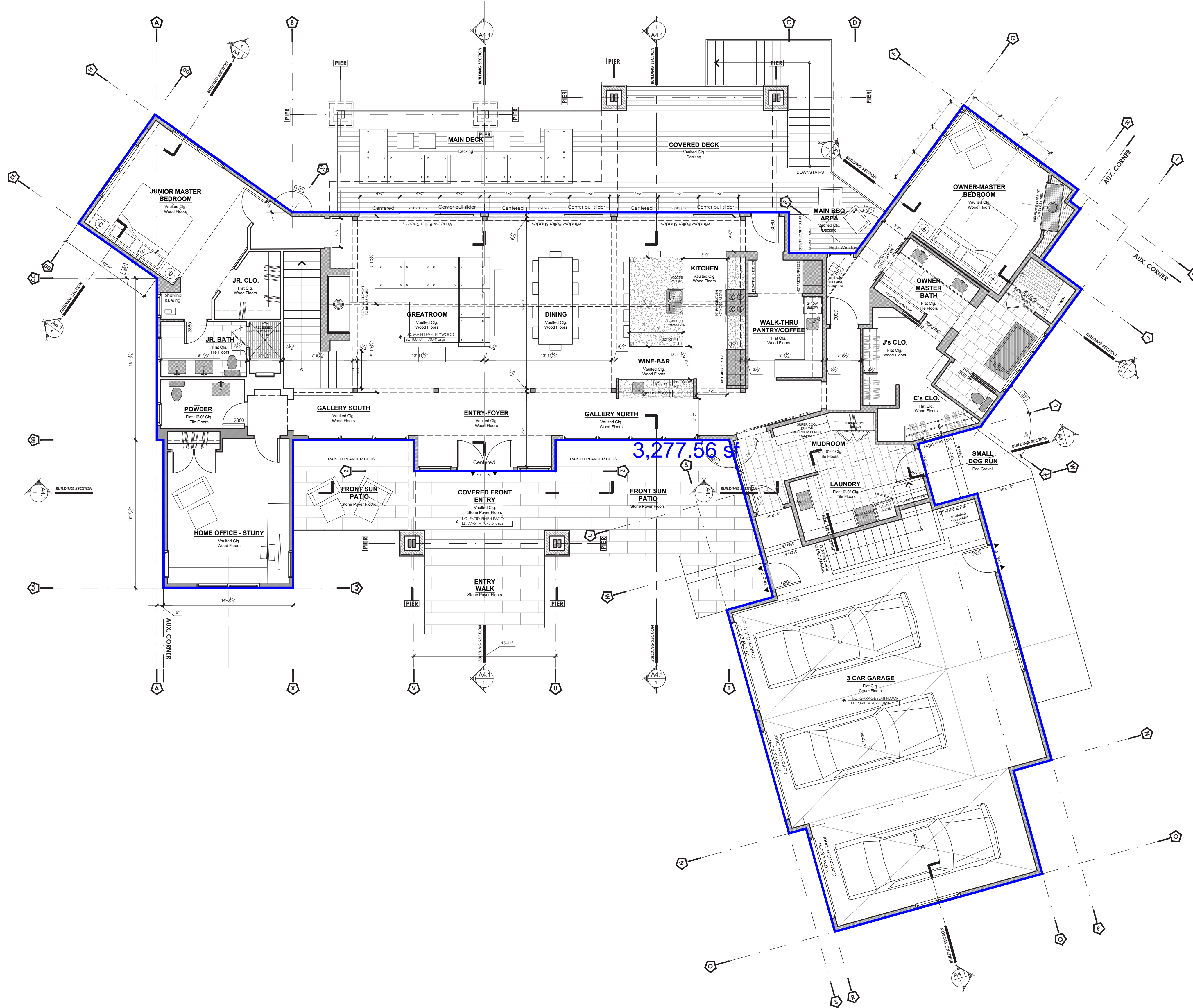
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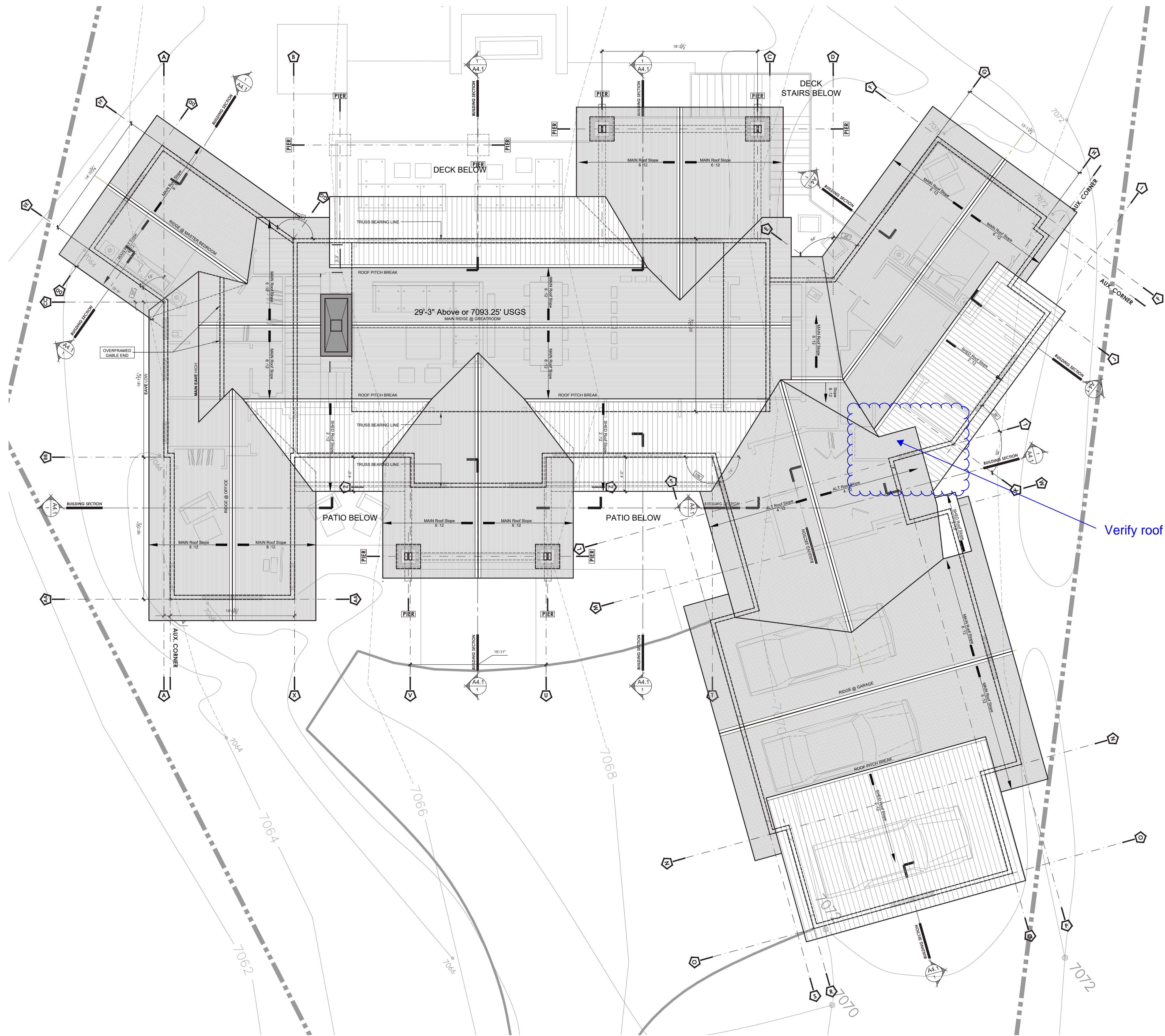
A2.1
MAIN LEVEL PLAN



1 MAIN LEVEL PLAN
A2.1 SCALE: 3/16" PER 1'-0"

SQUARE FOOTAGES
FINISHED S.F. = 3,260 SF
GARAGE UN-FINISHED = 1,252 SF

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Verify roof plan (intersections) in this area.

1 ROOF LEVEL PLAN
A2.2 SCALE: 3/16" PER 1'-0"



OVERALL BUILDING HEIGHT
 7093.25' USGS RIDGE HEIGHT



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A2.2
 ROOF LEVEL
 PLAN

DRB PRELIM SET - APR. 1 2024



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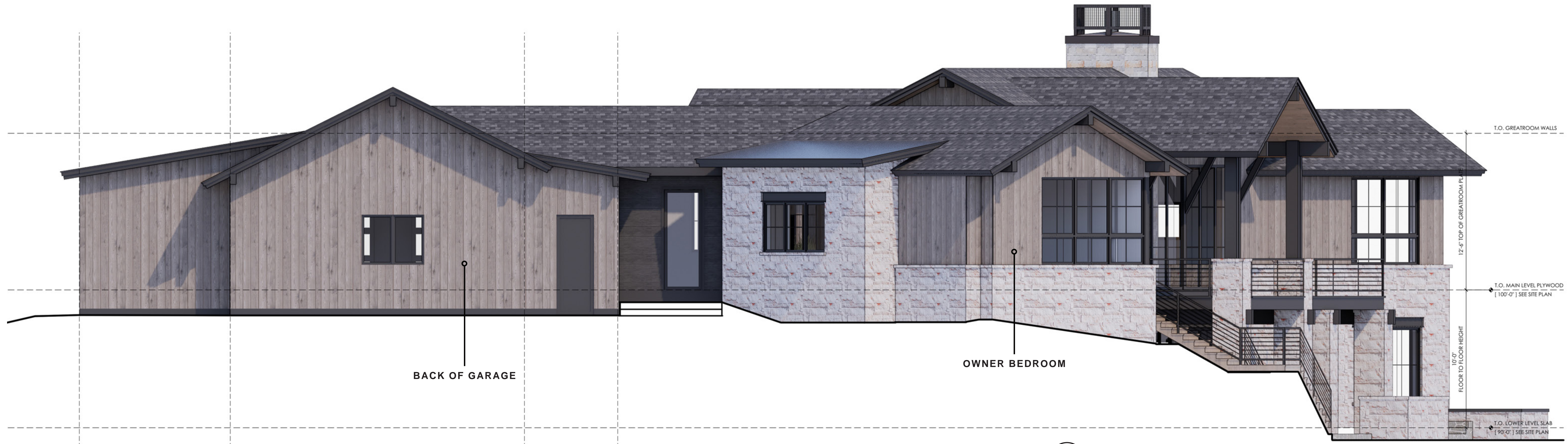
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A3.1
BUILDING
ELEVATIONS



BACK OF GARAGE

OWNER BEDROOM

2 EAST ELEVATION
A3.1 SCALE: 1/4" PER 1'-0"

EXTERIOR MATERIAL

- | | | | | | | |
|--|---|---|---|---|---|---|
| A

Stone Siding:
6ft Stone Veneer,
fiDrystack
Ledgestoneff | B

Vertical Siding:
Heat Modified
SPF Combo
filght grey/brwnfl
1x8 1/g w/ 1/4fl
sq.reveal | C

Downspout:
Door/Win Clad,
Flashings
Metal, black
matte finish | D

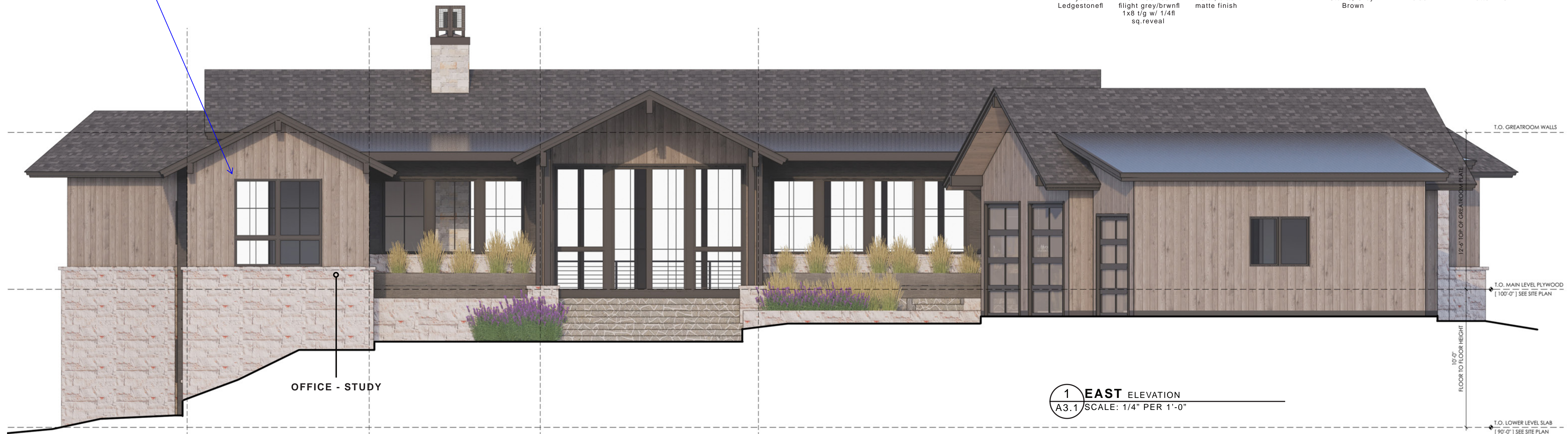
Soffit:
Smooth Beetle
Kill Pine 1x6 1/g | E

Fascia+Timbers:
RS DFir, W
Semi-Trans
Stains, Grey-
Brown | F

Asphalt Roof:
Asphalt Shingles
per Elevations,
black | G

Metal Roof:
Standing
Seam,black
matte finish |
|--|---|---|---|---|---|---|

2.3.3.2 (5) Windows set in rustic barn wood siding or metal may be installed without window trim if approved by the DRB.



OFFICE - STUDY

1 EAST ELEVATION
A3.1 SCALE: 1/4" PER 1'-0"

DRB PRELIM SET - APR. 1 2024



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A3.2
BUILDING
ELEVATIONS




BEDROOM #3

2 EAST ELEVATION
A3.2 SCALE: 1/4" PER 1'-0"

EXTERIOR MATERIAL

- | | | | | | | |
|--|---|---|---|---|---|---|
| A

Stone Siding:
6ft Stone Veneer,
fiDrystack
Ledgestoneff | B

Vertical Siding:
Heat Modified
SPF Combo
filght grey/brwnff
1x8 1/g w/ 1/4ff
sq.reveal | C

Downspout:
Door/Win Clad,
Flashings
Metal, black
matte finish | D

Soffit:
Smooth Beetle
Kill Pine 1x6 1/g | E

Fascia+Timbers:
RS DFir. W
Semi-Trans
Stains, Grey-
Brown | F

Asphalt Roof:
Asphalt Shingles
per Elevations,
black | G

Metal Roof:
Standing
Seam,black
matte finish |
|--|---|---|---|---|---|---|



MAIN BACK DECK

9'-11 3/4"

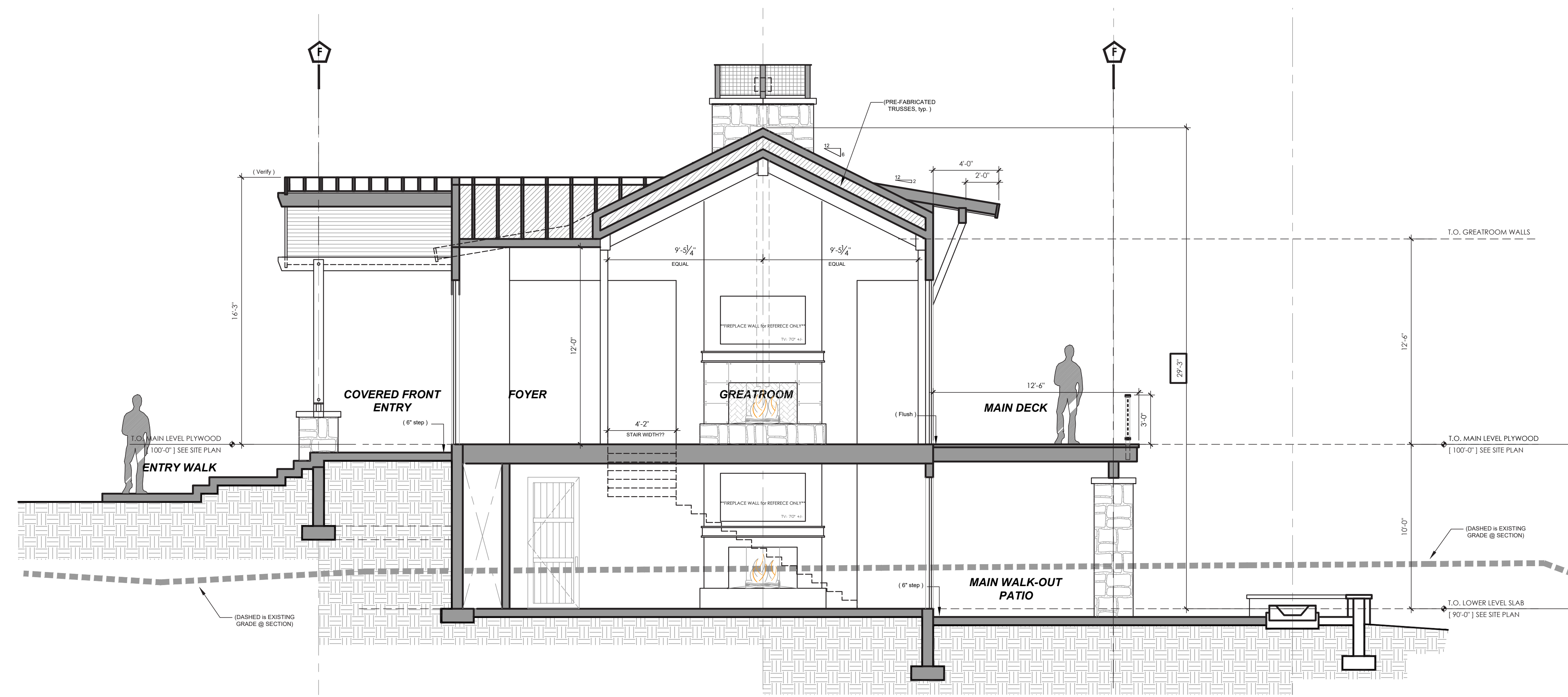
1 EAST ELEVATION
A3.2 SCALE: 1/4" PER 1'-0"

DRB PRELIM SET - APR. 1 2024

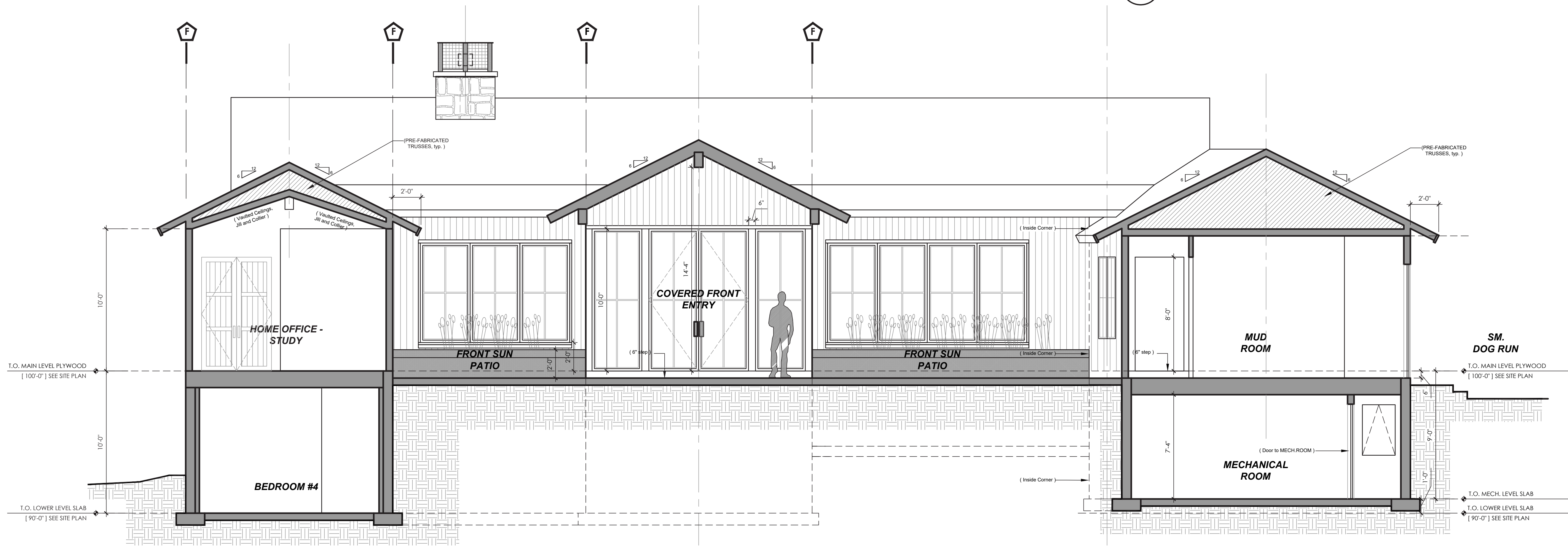


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PENNINGTON RESIDENCE
1880 EAST HAYSTACKER DRIVE
LOT 64 - HIGHLANDS
EAGLE, COLORADO 81631



1 BUILDING SECTION
A4.1 SCALE: 1/4" PER 1'-0"



2 BUILDING SECTION
A4.1 SCALE: 1/4" PER 1'-0"

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A4.1
BUILDING
SECTIONS

D R D R B R P P D E L S I N G N S E S T E T A R W P A R 2 0 2 0 2 4



Entry / Driveway



Entry / Garage



PENNINGTON RESIDENCE

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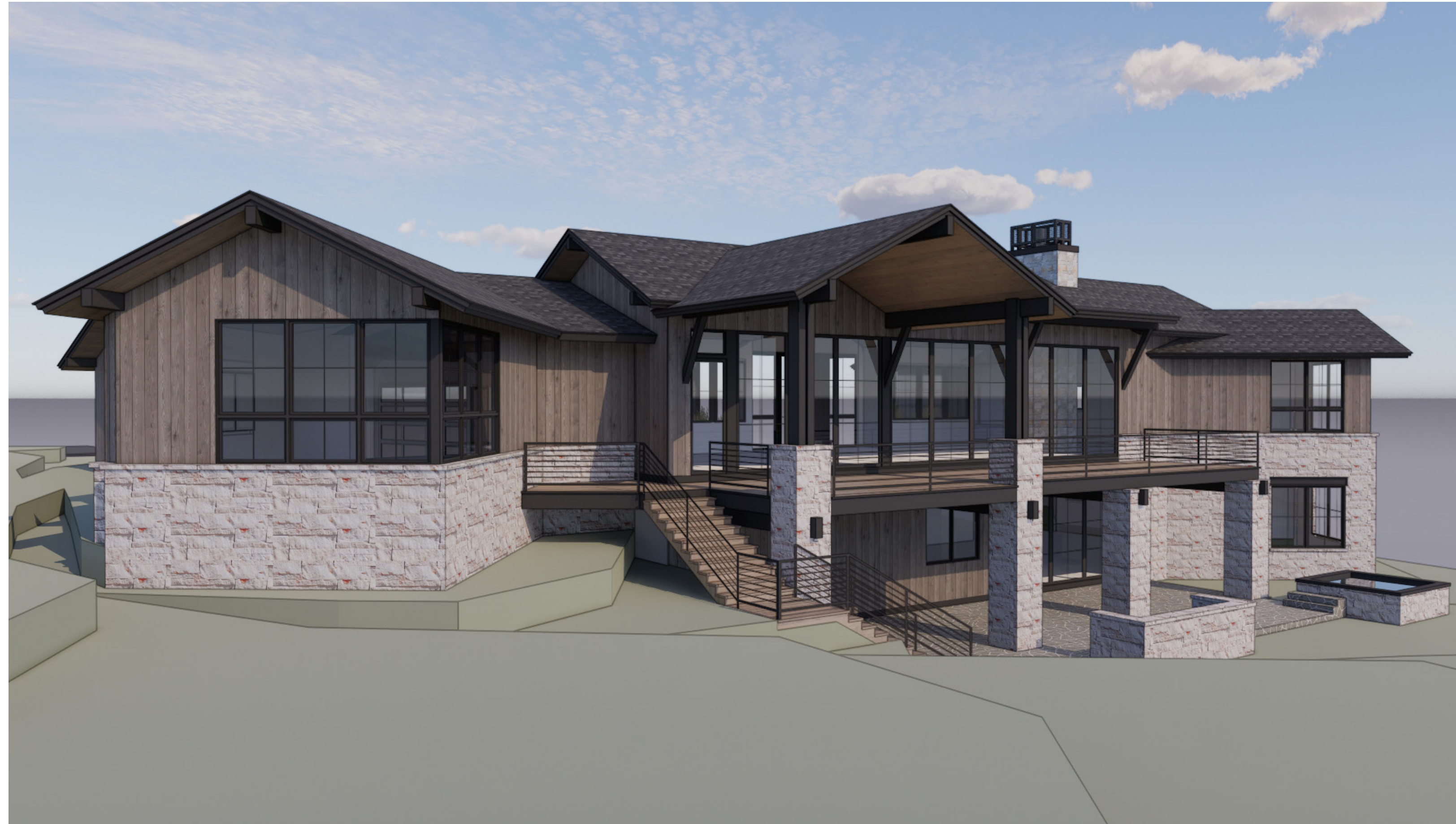
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A5.0
 MODEL VIEWS

DRB PRELIM SET - APR. 1 - 2024



Owners / Back Deck



Back Patio / Guest



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ARCHITECTURE
CONSTRUCTION
INTERIOR DESIGN
SINCE 1995

PENNINGTON RESIDENCE

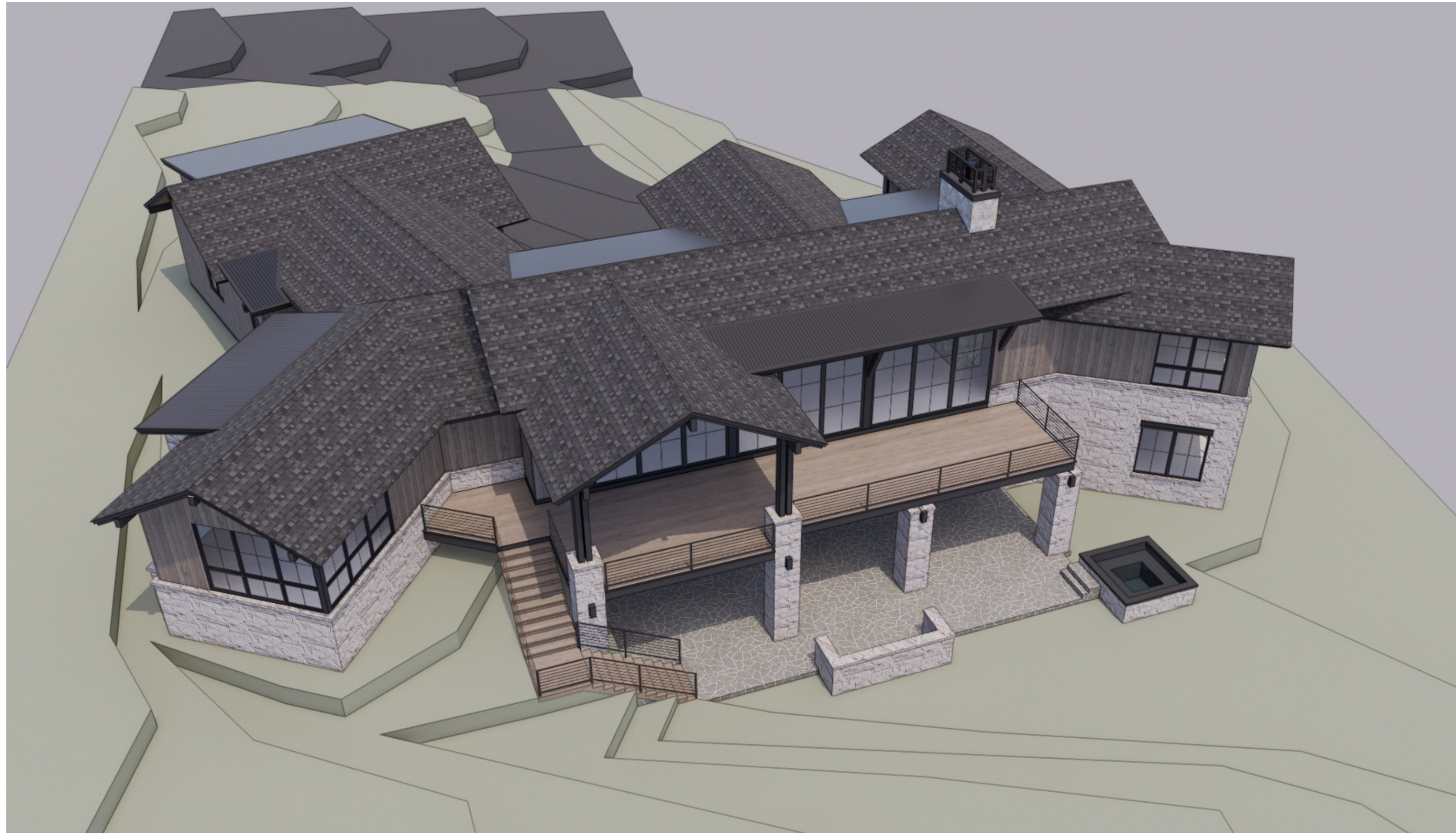
1880 EAST HAYSTACKER DRIVE
LOT 64 - HIGHLANDS
EAGLE, COLORADO 81631

ISSUE:	DATE:
OWNER REVIEW	Feb, 2024
OWNER REVIEW	Mar, 2024

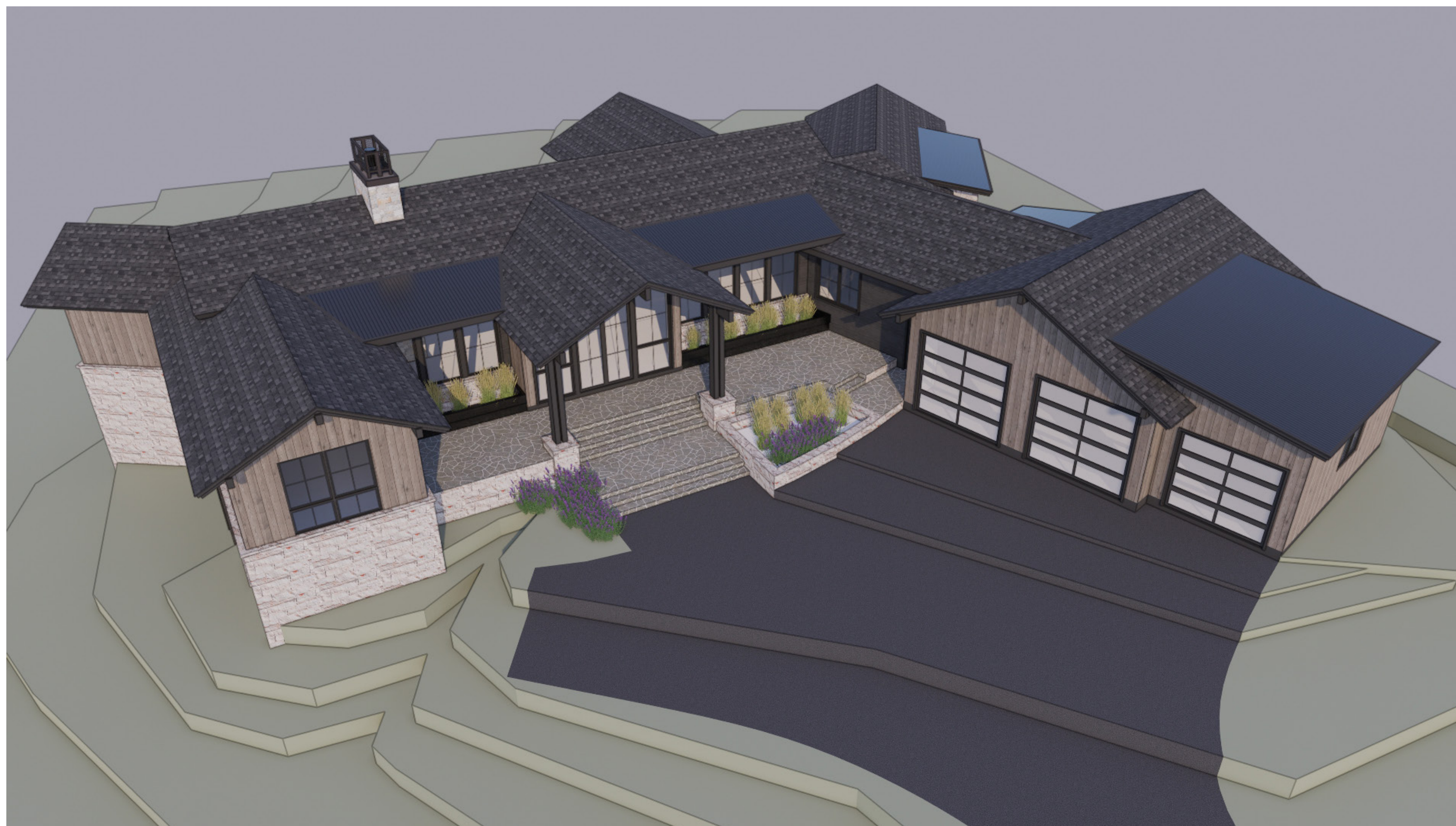
SCOTT S. TURNIPSEED AIA
ARCHITECTURE
& CONSTRUCTION INC.
P.O. BOX 3388
1143 CAPITOL STREET, SUITE 211
EAGLE, COLORADO 81631
970.328.3900 WWW.SSTAIA.COM

A5.1
ELEVATIONS

DRB PRELIM SET- APR.1 2024



Back Patio / Above



Entry / Above



PENNINGTON RESIDENCE

1880 EAST HAYSTACKER DRIVE
 LOT 64 - HIGHLANDS
 EAGLE, COLORADO 81631

ISSUE: DATE:

OWNER REVIEW Feb, 2024
 OWNER REVIEW Mar, 2024

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A5.2
 ELEVATIONS

DRB PRELIM SET- APR.1 2024

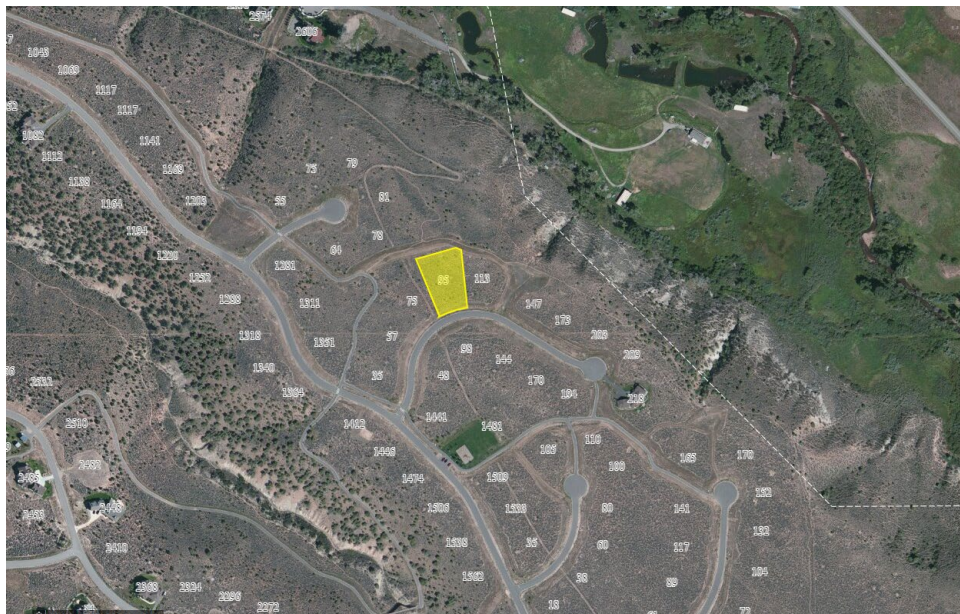


Design Review Memorandum Preliminary Review

Project Number: 25-00-25
Owner Name: Adam and Ann Marie Ostmeyer
Architect: Paul Roberts - Turnipseed, AIA
Address: 95 Mount Jackson Ct
Legal: EAGLE RANCH FILING 25 Lot: 25
Preliminary DRB Meeting Date: February 15, 2024
Final DRB Meeting Date: April 18, 2024

PROJECT OVERVIEW

- Lot Size: 35,561 sf
- Accessory Dwelling Unit: No
- Slopes in Excess of 30%: No
- Design Guidelines: The Highlands Ridgeline
- Style: Alpine Ranch
- Fire Suppression System: Refer to GERFPD and EVW for fire suppression requirements



LIMITATIONS

Standard	Allowed	Proposed
Floor Area Maximum	7,000 sf	4,609 sf
Floor Area Minimum	2,000 sf	Complies
Site Coverage	30% = 10,668 sf	3,689 sf
Impervious Area	50% = 17,780 sf	6,821 sf
Height	30 ft	Complies
Setbacks	25 ft front 25 ft rear 15 ft sides	Complies
Driveway Setback	7.5 ft from side property line	Complies
Development Disturbance	16,500 sf	16,404 sf

1. Site and Landscape Comments

- a. Generally, staff believes that the proposed site and landscape plan is consistent with the Highlands Ridgeline Design Guidelines.
- b. Provide (on landscape plan) cost estimate for final landscaping and irrigation and anticipated landscape completion date for Technical Review.
- c. Verify Grasses listed on Landscape Plan for Technical Review. Currently included are Variegated Dogwood and Feathering Duke Potentilla, both of which are shrubs.
- d. Provide Address Marker location and details for Technical Review.
- e. Include roof plan with ridge and eave heights on site plan to verify height compliance for Technical Review.
- f. EAGLE RANCH PUD WILDLIFE MITIGATION AND ENHANCEMENT PLAN 1.9.1 (1)
There shall be no outside storage of any trash or garbage, no matter how briefly (e.g. overnight), at any residence or anywhere within the development, unless it is contained within individual bear-proof containers which meet North American Bear Society, CDOW, or U.S. National Park Service specifications.
Be advised regarding the location of exterior trash containers on concrete pad on North side of garage.

2. Architecture Comments

- a. Generally, staff believe the proposed architecture is consistent with the Highlands Ridgeline Design Guidelines relative to the Alpine Ranch Style.
- b. Applicant addressed Preliminary Review comments regarding flat roof areas and has replaced them with 2:12 pitch shed roofs.
- c. Applicant addressed Preliminary Review comments regarding window mullions.
- d. Specify wood siding dimensions. 2.3.1.2 (1) *The reveal for wood siding (either horizontal or vertical) may not be less than 8 inches*
- e. Clarify garage door materials. Include in drawing set for Technical Review.
- f. Include attic area with ceiling height above 5' on floor area calculations. On roof plan, show attic area with ceiling over 5' as walls below. 2.1.1 (1) *Dead spaces 5'-0" or more that could be accessible will count toward the overall square footage.*
- g. Include exterior lighting location on building elevations for Technical Review.

3. Staff Recommendation

Staff recommends approval of the Final Plan Review for the Ostmeyer Residence with the following conditions:

1. General Condition: Compliance with the Eagle Ranch Design Guidelines and process is not a substitute for compliance with Town of Eagle regulations, State regulations, or Federal regulations. Additional permits and approvals may be required by these agencies prior to commencing any work on the property. The property owner and its agents are responsible for ensuring compliance with all local, state, and federal regulations.
2. The applicant shall address the comments provided in this staff memorandum and any DRB comments prior to submittal for Technical Plan Review.

Minutes from Preliminary Meeting on Feb 15, 2024

c. 25-00-25 – 0095 Mount Jackson Court – Ostmeyer Residence – Preliminary Review

Paul Roberts provided a brief overview of the project and specifically noted that the owners would prefer windows without mullions and the flat roofs as designed.

The DRB provided the following comments:

1. Flat roofs do not comply with the minimum 2:12 pitch. No hardship is recognized to allow a variance to this guideline.
2. A minimum of 1 mullion is required in windows.
3. Vertical siding cannot be less than 8". Provide color for final review.
4. All spaces greater than 5' must be counted towards floor area.
5. Garage door details are required for final review.
6. Rick Dominick stated that the exterior may appear openly spare, with very simple forms. Consider more of a modern aesthetic with the use of metals as an opportunity to read richer and more interesting. You could also go the other way and be very minimalistic.

Motion to approve with conditions:

Motion: Melanie Richmond

Second: John Martin

Vote: 3-0

Conditions:

1. No variance shall be granted for flat roofs and must comply with the minimum 2:12 pitch requirement.
2. Window forms need more development and require a minimum of 1 mullion.
3. Must account for all "dead spaces" over 5' in floor area calculations.
4. Further development of finish materials is required for final review.
5. Must comply with site, landscaping and architectural guidelines.

OSTMEYER RESIDENCE

EAGLE RANCH - HIGHLANDS RIDGELINE - ALPINE RANCH
95 MOUNT JACKSON COURT - LOT 25



OSTMEYER RESIDENCE
95 MOUNT JACKSON COURT
LOT 25, EAGLE RANCH - HIGHLANDS
EAGLE, COLORADO

PROJECT TEAM

ARCHITECT

SCOTT S. TURNIPSEED AIA
ARCHITECTURE & CONSTRUCTION, INC.
1143 CAPITOL STREET, SUITE 211
P.O. BOX 3388
EAGLE, COLORADO 81631
T (970) 328-3900
PAUL ROBERTS
paul@sstaiia.com
970-470-0856

CONTRACTOR

SOUTH FORK BUILDERS, LLC
ADAM OSTMEYER
970-443-9427
adam@southforkbuilders.net

STRUCTURAL ENGINEER

NEWKIRK STRUCTURAL
ENGINEERS, INC.
PAUL NEWKIRK
T (210) 380-1837
newkirk56@gmail.com

CIVIL ENGINEER

ARCHIBEQUE LAND CONSULTING
TED ARCHIBEQUE, PE
OFFICE :970-328-6020
info@prolandsurvey.com

LANDSCAPE ARCHITECT

DENNIS ANDERSON
PO BOX 1387
EDWARDS, CO 81632
970-390-3745
daai@7comcast.net

SOILS ENGINEER

LKP ENGINEERING, INC.
LUIZA PETROVSKA, PE
CELL :970-390-0307
luiza@lkpeng.com
www.lkpengengineering.com

GENERAL NOTES:

THERMAL ENVELOPE INSULATION REQUIREMENTS:

ROOFS: R-60
WALLS, ABOVE GRADE: R-20 +5ci or R-13 + 10ci
WALLS BELOW GRADE: R-15ci or 19 or R-13 + 5ci
FLOORS: R-30
SLAB ON GRADE FLOORS: R-10ci, 4ft.
note: 'ci' = continuous insulation

TOWN OF EAGLE:
2021 IBC
2021 IRC
2021 IECC

Situs Address 000095 MOUNT JACKSON CT
Tax Area SC168 - EAGLE RANCH - SC168
Parcel Number 2109-104-05-015
Legal Summary Subdivision: EAGLE RANCH FILING 25

Lot: 25
200720142 MAP 07-31-07
200720144 SIA 07-31-07
200723369 DEC 09-04-07
Owner Name OSTMEYER, ADAM BENJAMIN & ANNE MARIE
Owner Address PO BOX 5755
EAGLE, CO 81631-5755

BEDROOMS: 5
BATHS: 5+ 1 POWDER
GARAGE: 3 CAR

-AUTOMATIC WINDOW SHADES: TBD

-FORCED AIR HEATING / COOLING SYSTEM: TBD

-IN FLOOR RADIANT HEATING: BOTH LEVELS

-EXTERIOR LIGHTING: DARK SKY COMPLIANT.

-LIGHTING CONTROL SYSTEM: TBD

-FIREPLACE: TBD

FLOOR AREAS / SQUARE FOOTAGES

MAIN LEVEL:

SQUARE FOOTAGES:
MAIN LEVEL FINISHED S.F. = 2,809 S.F.
MAIN LEVEL UN-FINISHED @ GARAGE = 961 S.F.

UPPER LEVEL:

SQUARE FOOTAGES:
UPPER LEVEL FINISHED S.F. = 872 S.F.
UPPER LEVEL UN-FINISHED S.F. = 235 S.F.

TOTALS:

ALL FINISHED TOTALS = 3,681 S.F.
ALL UN-FINISHED TOTALS = 1,196 S.F.
ALL FINISHED AND UN-FINISHED TOTALS = 4,877 S.F.

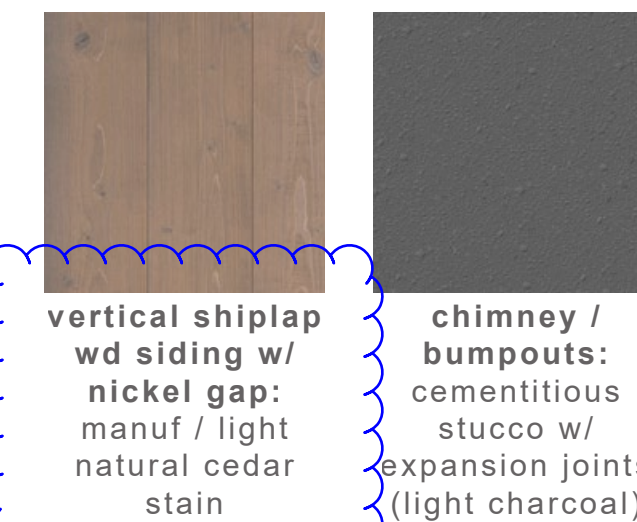
SITE AREAS / IMPERVIOUS COVERAGES:

LOT 25 TOTAL S.F. = 35,545 S.F.
BUILDING FOOTPRINT (ALL PATIOS INCL.) = 3,916 S.F.
IMPERVIOUS SURFACES (DRIVEWAY) = 2,177 S.F.
TOTAL IMPERVIOUS = 6,094 S.F.
% OF COVERAGE = 17.1% +/-

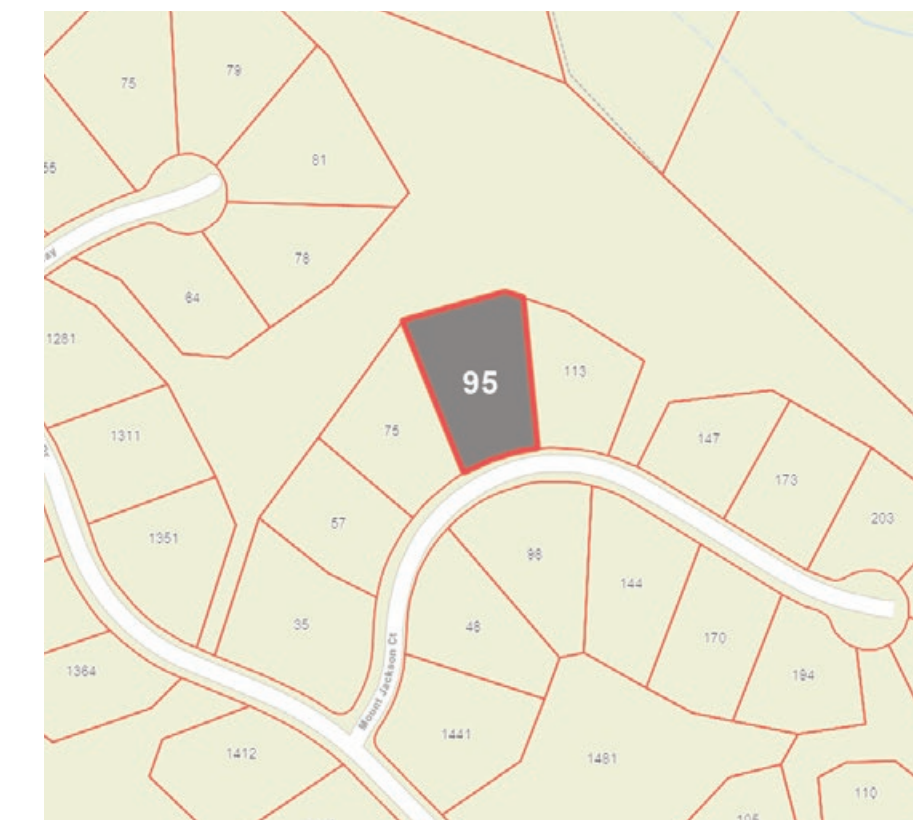
EXTERIOR PATIO AREAS / SQUARE FOOTAGES:

MAIN LEVEL ALL EXTERIOR PATIOS @ ALL COV'D & UN-COV'D
S.F. = 274 S.F.

EXTERIOR MATERIALS



VICINITY MAP



Specify wood siding dimensions. 2.3.1.2 (1)
The reveal for wood siding (either horizontal or vertical) may not be less than 8 inches.

DRAWING INDEX (ARCHITECTURAL)

A0.0 COVER SHEET / PROJECT INFO
A0.1 TOPOGRAPHIC SURVEY

A1.0 SITE PLAN
L-1 LANDSCAPE PLAN
A1.1 EXTERIOR LIGHTING PLANS
A1.2 CONSTRUCTION MANAGEMENT PLAN

A2.0 MAIN FLOOR PLAN
A2.1 UPPER LEVEL FLOOR PLAN
A2.2 ROOF PLAN
A2.3 FOUNDATION PLAN

A3.0 EXTERIOR ELEVATIONS
A3.1 EXTERIOR ELEVATIONS

A4.0 BUILDING SECTIONS
A4.1 BUILDING SECTIONS

A5.0 DETAILS
A5.1 DETAILS
A5.2 WINDOW DETAILS / ELEVATIONS

A6.0 MAIN LEVEL RCP PLAN
A6.1 UPPER LEVEL RCP PLAN

A7.0 MAIN LEVEL ELECTRICAL PLAN
A7.1 UPPER LEVEL ELECTRICAL PLAN

A8.0 PERSPECTIVES

DRAWING INDEX (STRUCTURAL)

S1.1 FOUNDATION FRAMING PLAN
S1.2 MAIN LEVEL FRAMING PLAN
S1.3 ROOF FRAMING PLAN

S2.1 DETAILS
S2.2 DETAILS

TOWN OF EAGLE BUILDING DEPARTMENT

PHYSICAL ADDRESS
200 BROADWAY
PO BOX 609
EAGLE, CO 81631

EDDIE WILSON CBO
BUILDING OFFICIAL
EDDIE.WILSON@TOWNOFEAGLE.ORG
PHONE: (970) 328-9657

2021 - IBC
2021 - IRC
2021 - IECC

ENERGY CODE REQUIRED - BLOWER DOOR TESTING
IRC N1102.4.1.2
RADON MITIGATION REQUIRED - IRC AF103
WHOLE HOME VENTILATION SYSTEM REQUIRED - IRC M1507.1, N1103.6

ISSUE	DATE
PRE-DESIGN	231218
PRELIMINARY	240205
FINAL	240401

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A0.0
COVER SHEET
PROJECT INFO

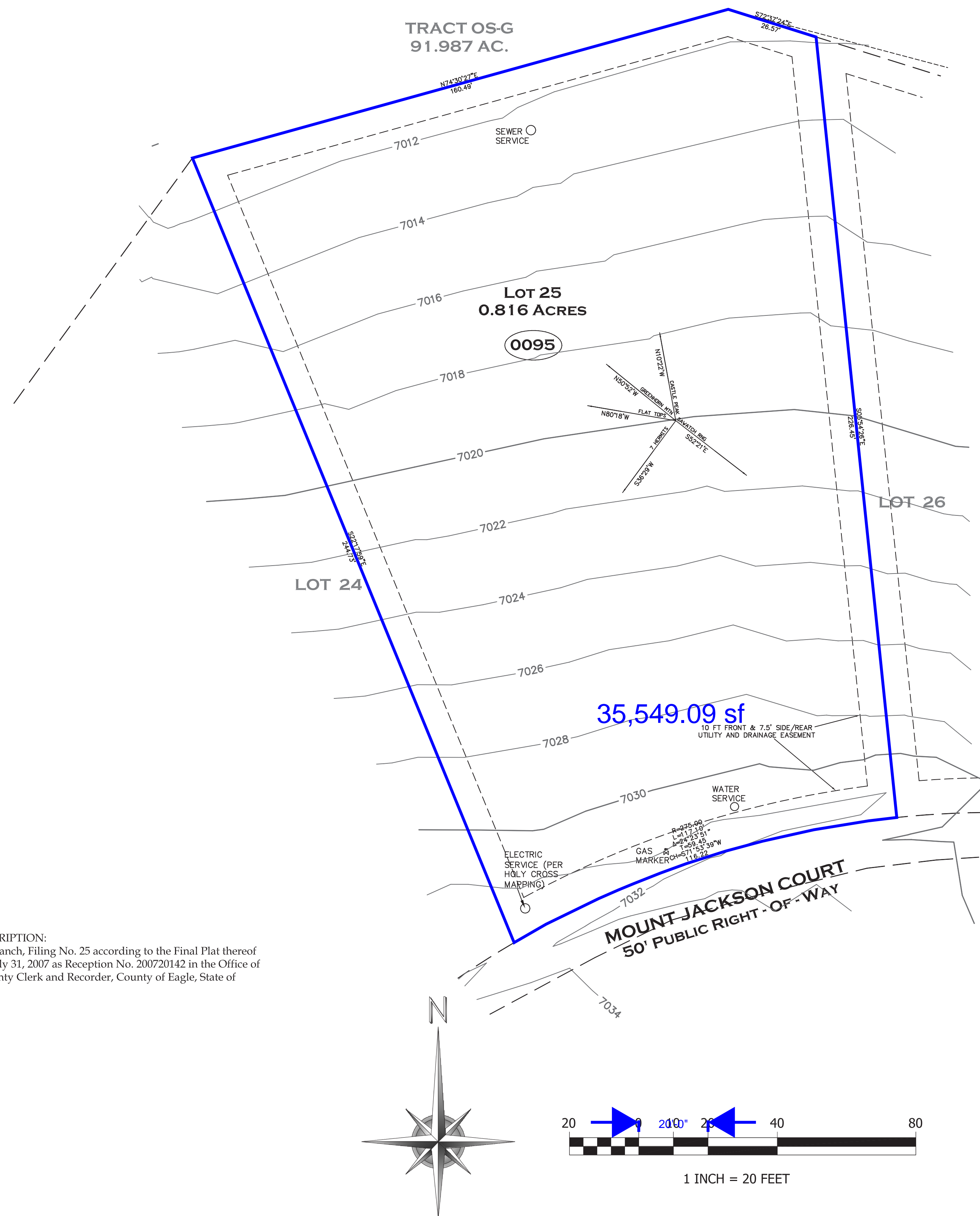
IMPROVEMENT LOCATION CERTIFICATE

IN ACCORDANCE WITH C.R.S. 38-51-108 (EFFECTIVE JULY 1, 2013)

THIS CERTIFICATE IS VALID ONLY FOR USE BY:

BUYER/BORROWER: VICTORIA E GIMENEZ AND ALFREDO JOSE TRISINI

SELLER/OWNER: EAGLE RANCH LOT INVESTORS LLC



LEGAL DESCRIPTION:
Lot 25 Eagle Ranch, Filing No. 25 according to the Final Plat thereof as recorded July 31, 2007 as Reception No. 200720142 in the Office of the Eagle County Clerk and Recorder, County of Eagle, State of Colorado.

NOTES:

- 1) Street Address: 95 MOUNT JACKSON COURT, EAGLE, CO 81631 - Not Posted
- 2) Legal description record easements, setbacks, and record deed lines were derived from the hereon referenced plat and title commitment Order Number: V50063923-3. Improvements and apparent deed line locations are based upon monuments, or other boundary evidence, found during the time the fieldwork was performed. Pertaining to said title commitment Schedule B-2, this property is subject to the following and shown graphically hereon where able:
 12. TERMS, CONDITIONS, RESTRICTIONS AND RESERVATIONS AS CONTAINED IN DEEDS RECORDED JANUARY 31, 1979 IN BOOK 281 AT PAGE 399 AND APRIL 3, 1979 IN BOOK 283 AT PAGE 737.
 13. EASEMENT FOR EASEMENT IMPROVEMENTS FOR ACCESS AND INCIDENTAL PURPOSES GRANTED TO THE COLORADO RIVER & EAGLE COMPANY BY THE INSTRUMENT RECORDED SEPTEMBER 20, 1983 IN BOOK 368 AT PAGE 652.
 14. RIGHT OF WAY EASEMENT AS GRANTED TO ROCKY MOUNTAIN NATURAL GAS COMPANY IN INSTRUMENT RECORDED NOVEMBER 18, 1983 IN BOOK 373 AT PAGE 261 AND EASEMENT AGREEMENT RECORDED DECEMBER 1, 1994 IN BOOK 656 AT PAGE 213 AND AS SHOWN ON SURVEY RECORDED DECEMBER 15, 1995 IN BOOK 683 AT PAGE 807.
 15. RIGHT OF PROPRIETOR OF A VEIN OR LODE TO EXTRACT AND REMOVE HIS ORE THEREFROM SHOULD THE SAME BE FOUND TO PENETRATE OR INTERSECT THE PREMISES AS RESERVED IN UNITED STATES PATENTS RECORDED AUGUST 18, 1994 IN BOOK 648 AT PAGE 125.
 16. RIGHT OF WAY FOR DITCHES OR CANALS CONSTRUCTED BY THE AUTHORITY OF THE UNITED STATES AS RESERVED IN UNITED STATES PATENTS RECORDED AUGUST 18, 1994 IN BOOK 648 AT PAGE 125.
 17. RESTRICTIVE COVENANTS, WHICH DO NOT CONTAIN A FORFEITURE OR REVERTER CLAUSE, BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, BASED UPON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, HANDICAP, NATIONAL ORIGIN, ANCESTRY, OR SOURCE OF INCOME, AS SET FORTH IN APPLICABLE STATE OR FEDERAL LAWS, EXCEPT TO THE EXTENT THAT SAID COVENANT OR RESTRICTION IS PERMITTED BY APPLICABLE LAW AS CONTAINED IN INSTRUMENT RECORDED JUNE 23, 1999, UNDER RECEPTION NO. 700815 AND SUPPLEMENT THERE TO RECORDED OCTOBER 29, 2007 UNDER RECEPTION NO. 200728661.
 18. TERMS, CONDITIONS AND PROVISIONS OF ANNEXATION AGREEMENT RECORDED APRIL 12, 1999 AT RECEPTION NO. 692227 AND ANNEXATION PLAT RECORDED MAY 9, 2003 AT RECEPTION NO. 832809 AND SECOND AGREEMENT RELATING TO ANNEXATION RECORDED MARCH 19, 2003 AT RECEPTION NO. 832805 AND RECORDED JUNE 23, 2003 AT RECEPTION NO. 834536 AND RECORDED JUNE 6, 2003 AT RECEPTION NO. 835920 AND AN ORDINANCE APPROVING THIRD AMENDMENT RECORDED JUNE 21, 2004 AT RECEPTION NO. 878113 AND ORDINANCE APPROVING FOURTH AMENDMENT.
 19. RIGHT OF WAY EASEMENT BEING 35 FEET IN WIDTH AS GRANTED TO ROCKY MOUNTAIN NATURAL GAS IN INSTRUMENT RECORDED FEBRUARY 21, 2002 RECEPTION NO. 786855.
 20. RIGHT OF WAY EASEMENT BEING 50 FEET IN WIDTH AS GRANTED TO ROCKY MOUNTAIN NATURAL GAS COMPANY AND PUBLIC SERVICE COMPANY OF COLORADO IN INSTRUMENT RECORDED FEBRUARY 21, 2002 RECEPTION NO. 786856.
 21. TERMS, CONDITIONS AND PROVISIONS OF RECIPROCAL EASEMENT AND DEVELOPMENT AGREEMENT RECORDED MARCH 05, 2003 AT RECEPTION NO. 825508 AND PARTIAL VACATION OF EASEMENT RECORDED AUGUST 9, 2005 AT RECEPTION NO. 925537 AND VACATION OF EASEMENT RECORDED JULY 18, 2007 AT RECEPTION NO. 200718979.
 22. TERMS, CONDITIONS AND PROVISIONS OF TRENCH, CONDUIT AND VAULT AGREEMENT RECORDED AUGUST 11, 2005 AT RECEPTION NO. 925865.
 23. TERMS, CONDITIONS AND PROVISIONS OF TOWN OF EAGLE ORDINANCE AND EAGLE RANCH PUD WILDLIFE MITIGATION AND ENHANCEMENT PLAN RECORDED OCTOBER 16, 2006 AT RECEPTION NO. 200628239 & 200628240.
 24. TERMS, CONDITIONS AND PROVISIONS OF SUBDIVISION IMPROVEMENTS AGREEMENT RECORDED JULY 31, 2007 AT RECEPTION NO. 200720144.
 25. EASEMENTS, CONDITIONS, COVENANTS, RESTRICTIONS, RESERVATIONS AND NOTES ON THE PLAT OF EAGLE RANCH, FILING NO. 25 RECORDED JULY 31, 2007 AT RECEPTION NO. 200720142.
 26. TERMS, CONDITIONS AND PROVISIONS OF THE EAGLE RANCH PLANNED UNIT DEVELOPMENT GUIDE RECORDED JUNE 26, 2013 UNDER RECEPTION NO. 201312976.
- 3) Date of Field Work: December 2021
- 4) This Improvement Location Certificate was prepared for the exclusive use of those parties certified to herein, and is valid only if print has original seal and signature of surveyor.
- 5) Lineal Units of the U.S. Survey Foot were used herein.

C.R.S. 38-51-108 (Effective July 1, 2013)

IMPROVEMENT LOCATION CERTIFICATE

I hereby certify that this Improvement Location Certificate was prepared for

Buyer/Borrower: VICTORIA E GIMENEZ AND ALFREDO JOSE TRISINI

Seller/Owner: EAGLE RANCH LOT INVESTORS LLC

that this is NOT a Land Survey Plat, or Improvement Survey Plat, and that it is not to be relied upon for the establishment of fence, building, or other future improvement lines.

THIS CERTIFICATE IS VALID ONLY FOR USE BY

Buyer/Borrower: VICTORIA E GIMENEZ AND ALFREDO JOSE TRISINI

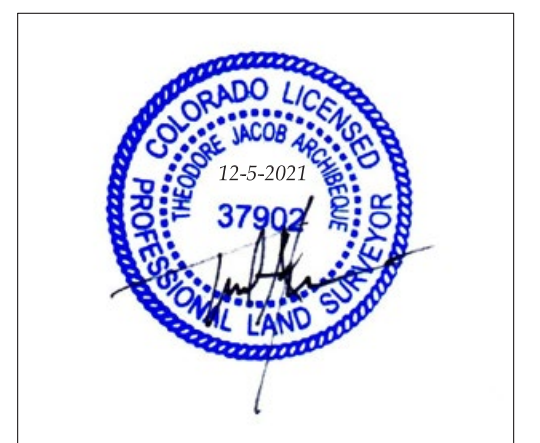
Seller/Owner: EAGLE RANCH LOT INVESTORS LLC

AND DESCRIBES THE PARCEL'S APPEARANCE ON

DECEMBER 5, 2021

I further certify that the improvements on the above described parcel on this date, DECEMBER 5, 2021, except for utility connections, are entirely within the boundaries of the parcel, except as shown, that there are no encroachments upon the described premises by improvements on any adjoining premises, except as indicated, and there is no apparent evidence or sign of any easement crossing or burdening any part of said parcel, except as shown.

PRELIMINARY 240205
FINAL 240401



Theodore J. Archibeque PLS 37902
Colorado Professional Land Surveyor

1
A0.1 ILC SURVEY
1" = 20'-0"

IMPROVEMENT LOCATION CERTIFICATE			
LOT 25, EAGLE RANCH FILING NO. 25,			
COUNTY OF EAGLE, STATE OF COLORADO			
DRAWN BY: TJA	DRAWING NAME: 12146_ILC 95 MOUNT JACKSON CT.dwg		
SHEET 1 of 1	DATE: 12-5-2021	CHECKED BY: SWB	

Archibeque Land Consulting, Ltd

~ Professional Land Surveying & Mapping ~

970.328.6020 Office INFO@PROLANDSURVEY.COM

NOTICE: According to Colorado law you must commence any legal action based upon any defect in this survey within three years after you first discovered such defect. In no event, may any action based upon any defect in this survey be commenced more than ten years from the date of certification shown hereon. Additionally, this document is prepared for the sole purpose of use by the parties stated herein. The improvements are generally situated as shown and only apparent (visible at the time of fieldwork) improvements and encroachments are noted. Archibeque Land Consulting, Ltd., its owner(s) and employee(s) will not be liable for more than the cost of this document, and then only to the parties specifically shown hereon. Acceptance and/or use of this document for any purpose constitutes acknowledgment and agreement to all terms stated herein.



TURNIPSEED
ARCHITECTURE
CONSTRUCTION
INTERIOR DESIGN
SINCE 1995

OSTMEYER RESIDENCE

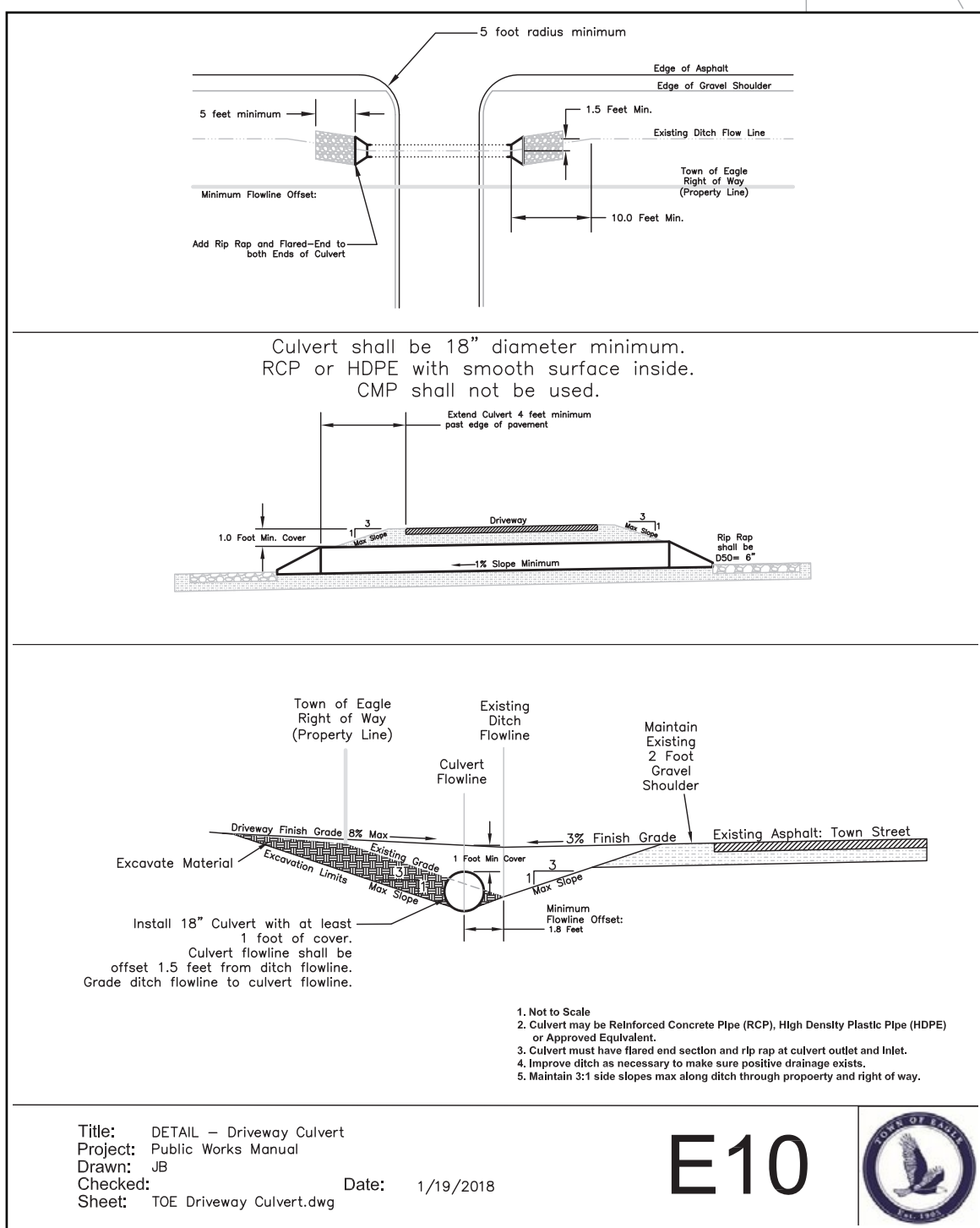
95 MOUNT JACKSON COURT
LOT 25, EAGLE RANCH - HIGHLANDS
EAGLE, COLORADO

ISSUE	DATE
PRE-DESIGN	231218
PRELIMINARY	240205
FINAL	240401

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970.328.3900 WWW.SSTAIA.COM

A1.0
SITE PLAN

FINAL SUBMITTAL, APRIL 1ST, 2024



3 DETAIL DRIVEWAY CULVERT

A1.0

Site and Improvements Calculations Table Eagle Ranch Design Review Board
P. O. Box 5905 - Eagle, CO 81631
(970) 328-2174

Filing/Block/Lot: E25/L125 Submittal Date: 2.5.24
 HomeSite Address: 95 MOUNT JACKSON COURT DRB Administrator Checked: [Signature]
 Printed and dated

LOT DISTURBANCE:			
Description	Sq. Ft.	Acres	% Lot Note
Lot Area	35,545	.816	100%
Area Disturbed by Construction	16,200	45.6%	

SITE COVERAGE:			
Description	Sq. Ft.	Acres	% Lot Note
Primary Residence Footprint	3,643	10.2%	
Out-building Footprints	2,451	6.9%	
Other Impervious Areas	6,094	17.1%	
Total Impervious Coverage			

BUILDING AREA CALCULATIONS			
Building Area	Finished Sq. Ft.	Unfinished Sq. Ft.	Note
Primary Dwelling Unit:	3,767	833	Name and provide Data for each floor level.
Subtotal PDU Living Space	3,767	833	
Usage			
Accessory Dwelling Unit			
Out-Buildings			
Subtotal Finished/Unfinished sq. ft.	3,767	833	
Total Finished + Unfinished Sq. Ft.		4,600 S.F.	

IRRIGATION AREAS:			
Description	Sq. Ft.	% Lot	Note
Permanent Sprinkler Irrigation	300		measured area under sprinkler irrigation
Permanent Drip Irrigation	500		measured area under drip irrigation x 0.6
Total Permanent Irrigation	800 S.F.		Not to exceed 50% of Lot Area
Temporary Irrigation	2,000 S.F.		All residual disturbed soils x 1 to 2 growing seasons for healthy revegetation

Prepared by: PAUL ROBERTS Owner Signature: _____
 Print Name: _____ Date: _____

2 SITE CALCULATIONS

A1.0 NTS

1 SITE PLAN

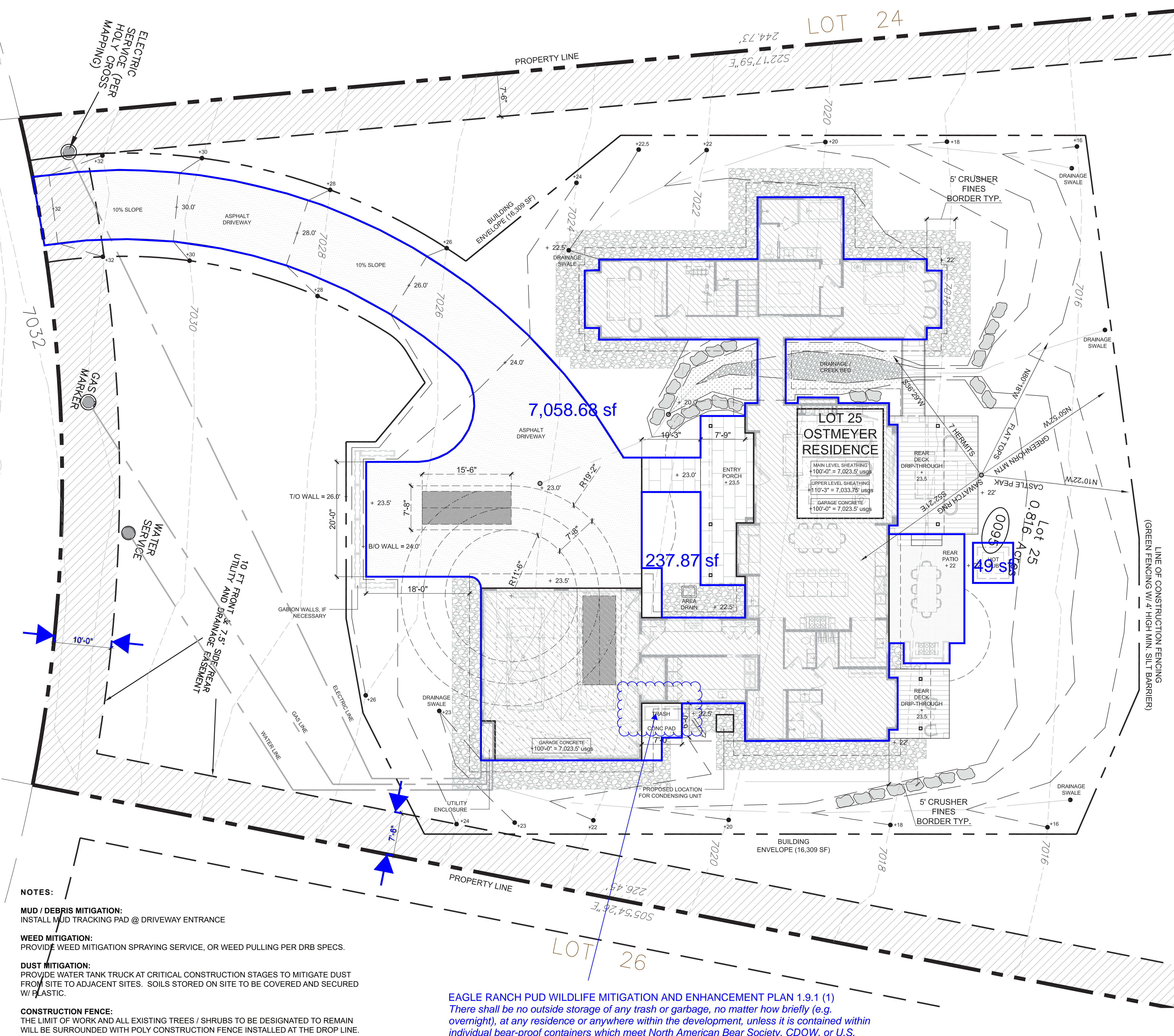
A1.0 1/8" = 1'-0"

SITE AREAS / IMPERVIOUS COVERAGES:

LOT 25 TOTAL S.F. = 35,545 S.F.
 BUILDING FOOTPRINT (ALL PATIOS INCL.) = 3,916 S.F.
 IMPERVIOUS SURFACES (DRIVEWAY) = 2,177 S.F.
 TOTAL IMPERVIOUS = 6,094 S.F.
 % OF COVERAGE = 17.1% +/-

EXTERIOR PATIO AREAS / SQUARE FOOTAGES:

MAIN LEVEL ALL EXTERIOR PATIOS @ ALL COVD & UN-COVD S.F. = 274 S.F.



MOUNTAIN
50' Pub

(GREEN FENCING W/ 4' HIGH MIN. SILT BARRIER)



OSTMEYER RESIDENCE

95 MOUNT JACKSON COURT
LOT 25, EAGLE RANCH - HIGHLANDS
EAGLE, COLORADO

ISSUE	DATE
PRE-DESIGN	231218
PRELIMINARY	240205
FINAL	240401

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L-1 LANDSCAPE PLAN

FINAL SUBMITTAL, APRIL 1ST, 2024

Site and Improvements Calculations Table

Eagle Ranch Design Review Board
P.O. Box 5905 - Eagle, CO 81631
(970) 328-2174

Filing/Block/Lot: E-25/L-25 Submittal Date: 2.5.24
 Home Site Address: 95 MOUNT JACKSON COURT DRB Administrator Checked: Initial and Date

LOT DISTURBANCE:

Description	Sq. Ft.	Acres	% Lot	Note
Lot Area	25,545	.916	100%	43,560 sq. ft. = 1 acre
Area Disturbed by Construction	16,200	.4567		

SITE COVERAGE:

Description	Sq. Ft.	% Lot	Note
Primary Residence Footprint	3,643	14.2%	
Out-Building Footprint(s)	---	---	
Other Impervious Areas	2,451	9.6%	
Total Impervious Coverage	6,094	23.8%	

BUILDING AREA CALCULATIONS

Building Area	Finished Sq. Ft.	Unfinished Sq. Ft.	Note
Primary Dwelling Unit:	3,767	833	Name and provide Data for each floor level.
Subtotal PDU Living Space	3,767	833	MAIN LVL. FIN.: 2802 UPPER LVL. FIN.: 965 MAIN LVL. UN. FIN.: 833
Garage	---	---	
Accessory Dwelling Unit	---	---	Max. 450 sq. ft. per PUD. Refer to guidelines each for setbacks for the kitchen and exhausts.
Out-Buildings	---	---	
Subtotal Finished/Unfinished sq. ft.	3,767	833	
Total Finished + Unfinished Sq. Ft.	4,600 SF		Meadows & Upland: 100 sq. ft. Min. 6,000 sq. ft. Upland & Highland: Min. 7,000 sq. ft. (100 sq. ft. for 100 sq. ft.)

IRRIGATION AREAS:

Description	Sq. Ft.	% Lot	Note
Permanent Sprinkler Irrigation	300		measured area under sprinkler irrigation
Permanent Drip Irrigation	500		measured area under drip irrigation x 0.6
Total Permanent Irrigation	800 SF		Not to exceed 50% of Lot Area
Temporary Irrigation	2,000 SF		All residual disturbed soils < 1 to 2 growing seasons for healthy vegetation

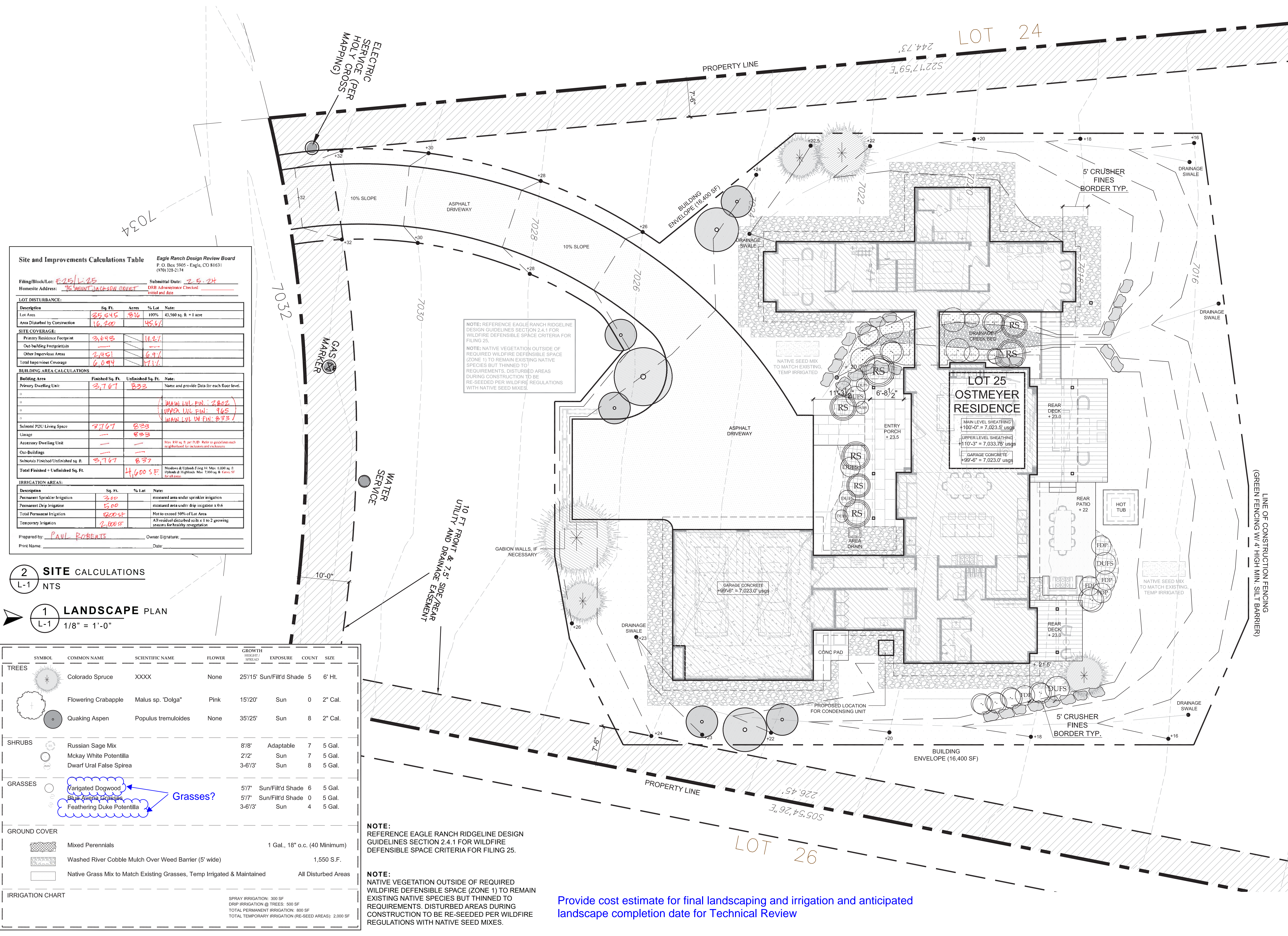
Prepared by: PAUL ROBERTS Owner Signature: _____
 Print Name: _____ Date: _____

- 2 SITE CALCULATIONS
- L-1 NTS
- 1 LANDSCAPE PLAN
- L-1 1/8" = 1'-0"

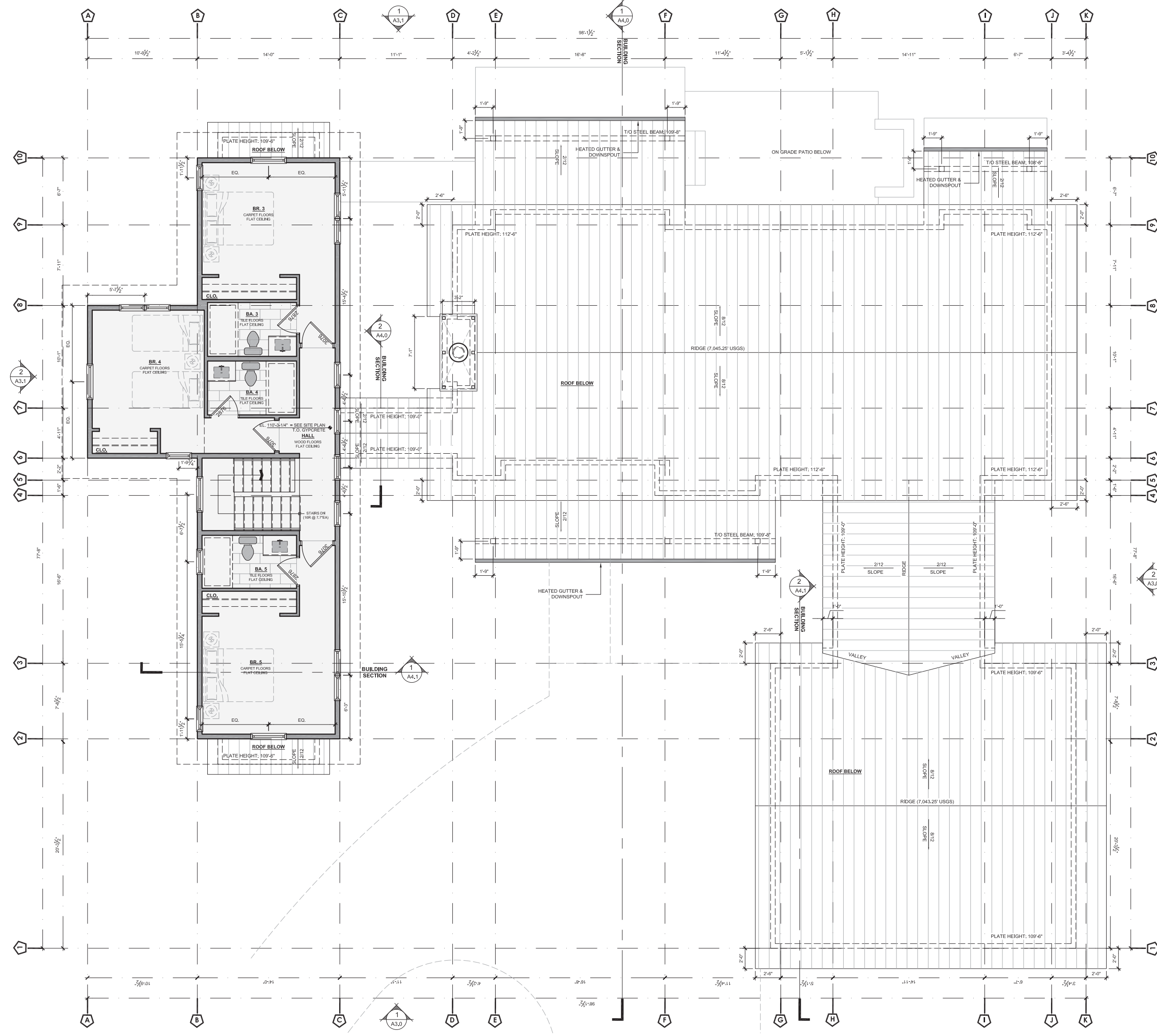
SYMBOL	COMMON NAME	SCIENTIFIC NAME	FLOWER	GROWTH HEIGHT/SPREAD	EXPOSURE	COUNT	SIZE
	Colorado Spruce	XXXX	None	25'/15'	Sun/Filt'd Shade	5	6' Ht.
	Flowering Crabapple	Malus sp. 'Dolga'	Pink	15'/20'	Sun	0	2" Cal.
	Quaking Aspen	Populus tremuloides	None	35'/25'	Sun	8	2" Cal.
	Russian Sage Mix			8'/8"	Adaptable	7	5 Gal.
	Mckay White Potentilla			2'/2"	Sun	7	5 Gal.
	Dwarf Ural False Spirea			3-6'/3'	Sun	8	5 Gal.
	Variegated Dogwood			5'/7"	Sun/Filt'd Shade	6	5 Gal.
	Blue Haven Grasses			5'/7"	Sun/Filt'd Shade	0	5 Gal.
	Feathering Duke Potentilla			3-6'/3'	Sun	4	5 Gal.
	Mixed Perennials					1 Gal., 18" o.c. (40 Minimum)	
	Washed River Cobble Mulch Over Weed Barrier (5' wide)						1,550 S.F.
	Native Grass Mix to Match Existing Grasses, Temp Irrigated & Maintained						All Disturbed Areas

IRRIGATION CHART

SPRAY IRRIGATION: 300 SF
 DRIP IRRIGATION @ TREES: 500 SF
 TOTAL PERMANENT IRRIGATION: 800 SF
 TOTAL TEMPORARY IRRIGATION (RE-SEED AREAS): 2,000 SF

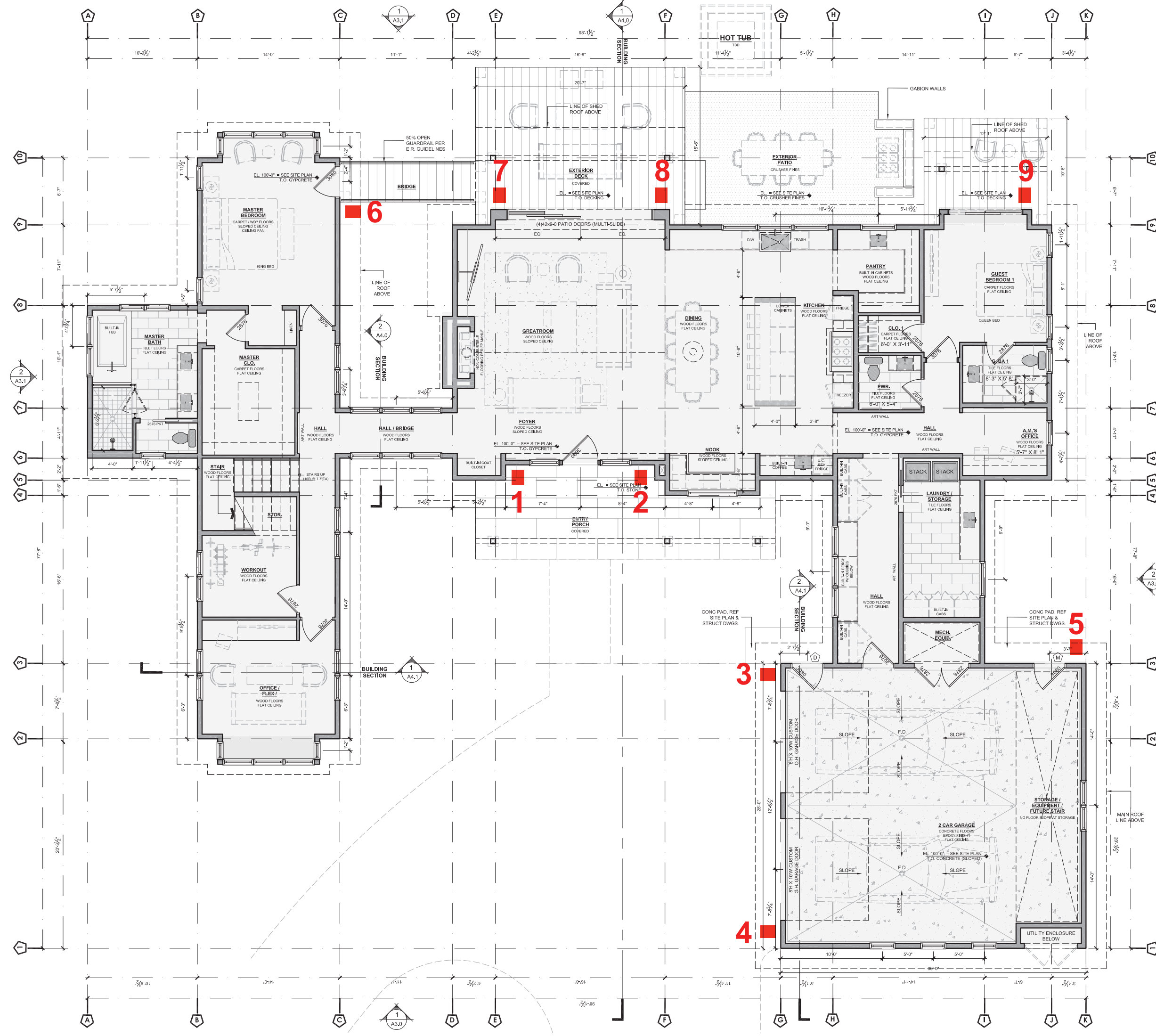


Provide cost estimate for final landscaping and irrigation and anticipated landscape completion date for Technical Review



2 EXT. LIGHTING UPPER LEVEL
A1.2 1/8" = 1'-0"

NOTE: ALL EXTERIOR FIXTURES TO BE 6'-8" MIN. AFF
REFERENCE SHEETS A7.0 & A7.1 FOR ELECTRICAL PLANS



1 EXT. LIGHTING MAIN LEVEL
A1.2 1/8" = 1'-0"

NOTE: ALL EXTERIOR FIXTURES TO BE 6'-8" MIN. AFF
REFERENCE SHEETS A7.0 & A7.1 FOR ELECTRICAL PLANS

SPECIFICATIONS:



- 6" WIDE X 6" HIGH X EXTENDS 6 3/4" FROM THE WALL X BACKPLATE IS 4 1/2" WIDE.
- INTEGRATED 8 WATT LED MODULE; 2700K; 90 CRI; 600 LUMENS; COMPARABLE TO A 60 WATT INCANDESCENT.
- KUBE CONTEMPORARY ENERGY-EFFICIENT LED OUTDOOR WALL LIGHT BY HINKLEY.
- SATIN BLACK FINISH EXTRUDED ALUMINUM; ETCHED LENS GLASS.
- CALIFORNIA TITLE 24 COMPLIANT; DARK SKY COMPLIANT.
- WET LOCATION OUTDOOR RATED.

Exterior Lighting Worksheet – Eagle Ranch Design Review

Filing/Block/Lot: **F 45 L 25** Address: **95 MOUNT JACKSON COURT**

Luminaire (Fixture) Location	Luminaire (Fixture) Data		Lamp (Bulb) Data				Lumens by Luminaire Type		
	Brand/Model # (Attach Manufacturer Cut Sheet)	Qty	Lamp Type ¹	Lamps per Luminaire	Watts per Lamp ²	Lumens per Lamp ²	Unshielded Luminaire ³	IDA Certified Luminaire ³	Switch Type ⁶
MAIN LEVEL	HINKLEY KUBE	9			8	600			
Subtotal Lumens by Luminaire Shielding Category (Unshielded or IDA Certified ⁴)							7,200 Lumens		
Total Lumens all Luminaire Categories (not to exceed 5,500 Lumens)									5,400

Prepared by: **PAUL ROBERTS** Date: **12.18.23**
Owner Signature: **ADAM OSTMEYER** Date: **12.18.23**
Print Name: _____

Notes:
1. Lamp (Bulb) Type = Incandescent (I), Compact Fluorescent (CFL), Low-voltage Halogen (LV), Light Emitting Diode (LED), etc.
2. Watts as marked on lamp.
3. Lumen comparisons for lamp types. General retail outlets (i.e. grocery, hardware store, etc.) may not carry all wattages. Consider specialty stores or internet sources.

Typical Lumens/Lamp⁵:

Incandescent		Compact Fluorescent		Lo-Voltage Halogen		
Watts	Lumens	Watts	Lumens	Lamp Base	Watts	Lumens
25	200	5	200	G4	5	65
40	500	8-10	450	G4	10	140
60	800-890	13-16	850	G4	20	320
75	1080-1200	18-22	1210	G4Y-35	35	600
100	1420-1750	23-28	1750	G4Y-35	50	850

4. The International Dark-Sky Association (http://www.darksky.org) certifies luminaires that minimize glare, reduce light trespass, and don't pollute the night sky.
5. Luminaire Shield Category is Unshielded unless specifically certified with International Dark-Sky Association Fixture Seal of Approval.
6. Switch Type = manual (M), motion detector (MD), photocell (P), rheostat (R), timer (T).



OSTMEYER RESIDENCE
95 MOUNT JACKSON COURT
LOT 25, EAGLE RANCH - HIGHLANDS
EAGLE, COLORADO

ISSUE	DATE
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PRELIMINARY	240205
FINAL	240401

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A1.1
EXTERIOR
LIGHTING
PLANS

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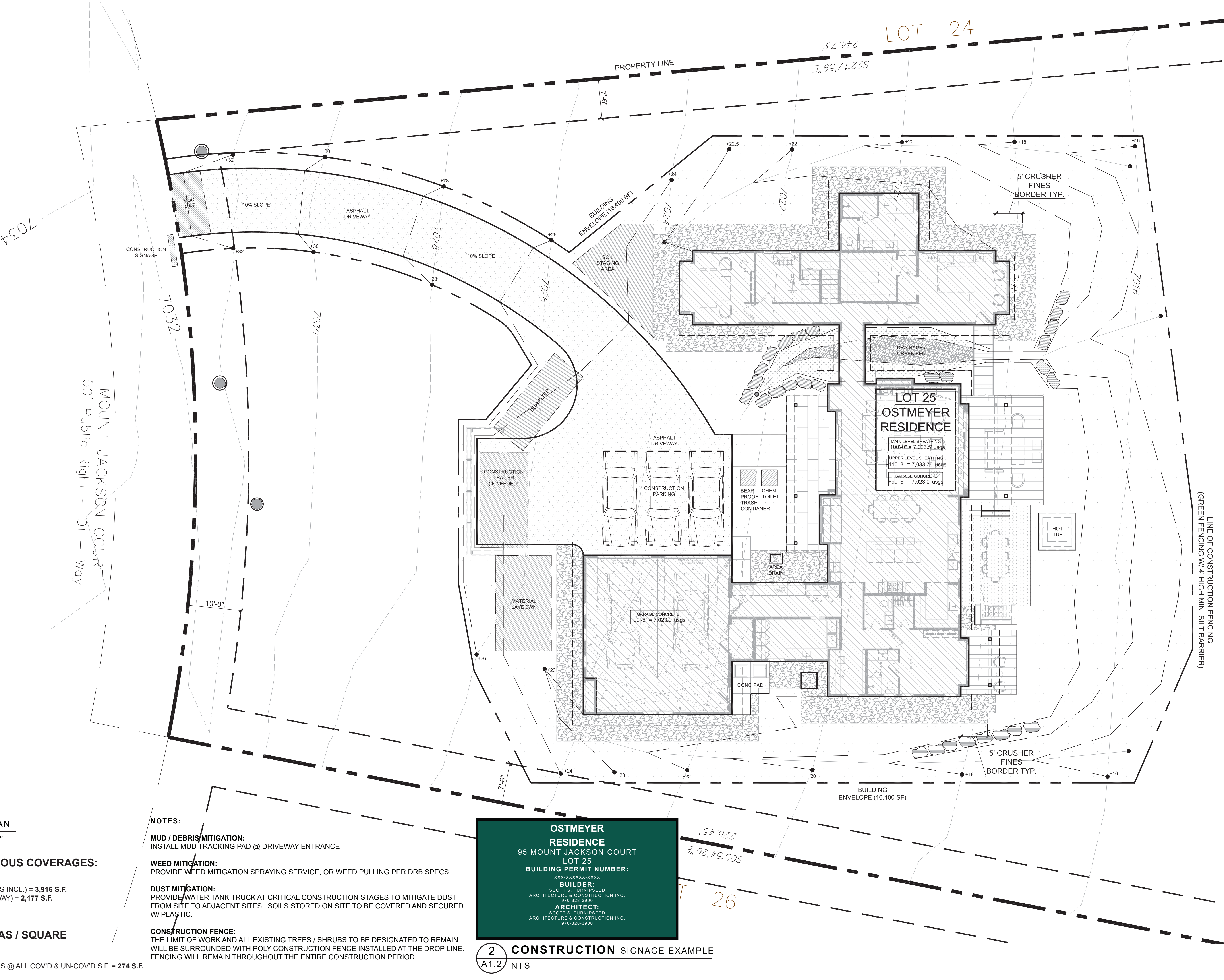
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A1.2
 CONSTRUCTION
 MANAGEMENT
 PLAN

FINAL SUBMITTAL, APRIL 1ST, 2024



1 C.M. PLAN
 A1.2 1/8" = 1'-0"

SITE AREAS / IMPERVIOUS COVERAGES:

LOT 25 TOTAL S.F. = 35,545 S.F.
 BUILDING FOOTPRINT (ALL PATIOS INCL.) = 3,916 S.F.
 IMPERVIOUS SURFACES (DRIVEWAY) = 2,177 S.F.
 TOTAL IMPERVIOUS = 6,094 S.F.
 % OF COVERAGE = 17.1% +/-

EXTERIOR PATIO AREAS / SQUARE FOOTAGES:

MAIN LEVEL ALL EXTERIOR PATIOS @ ALL COV'D & UN-COV'D S.F. = 274 S.F.

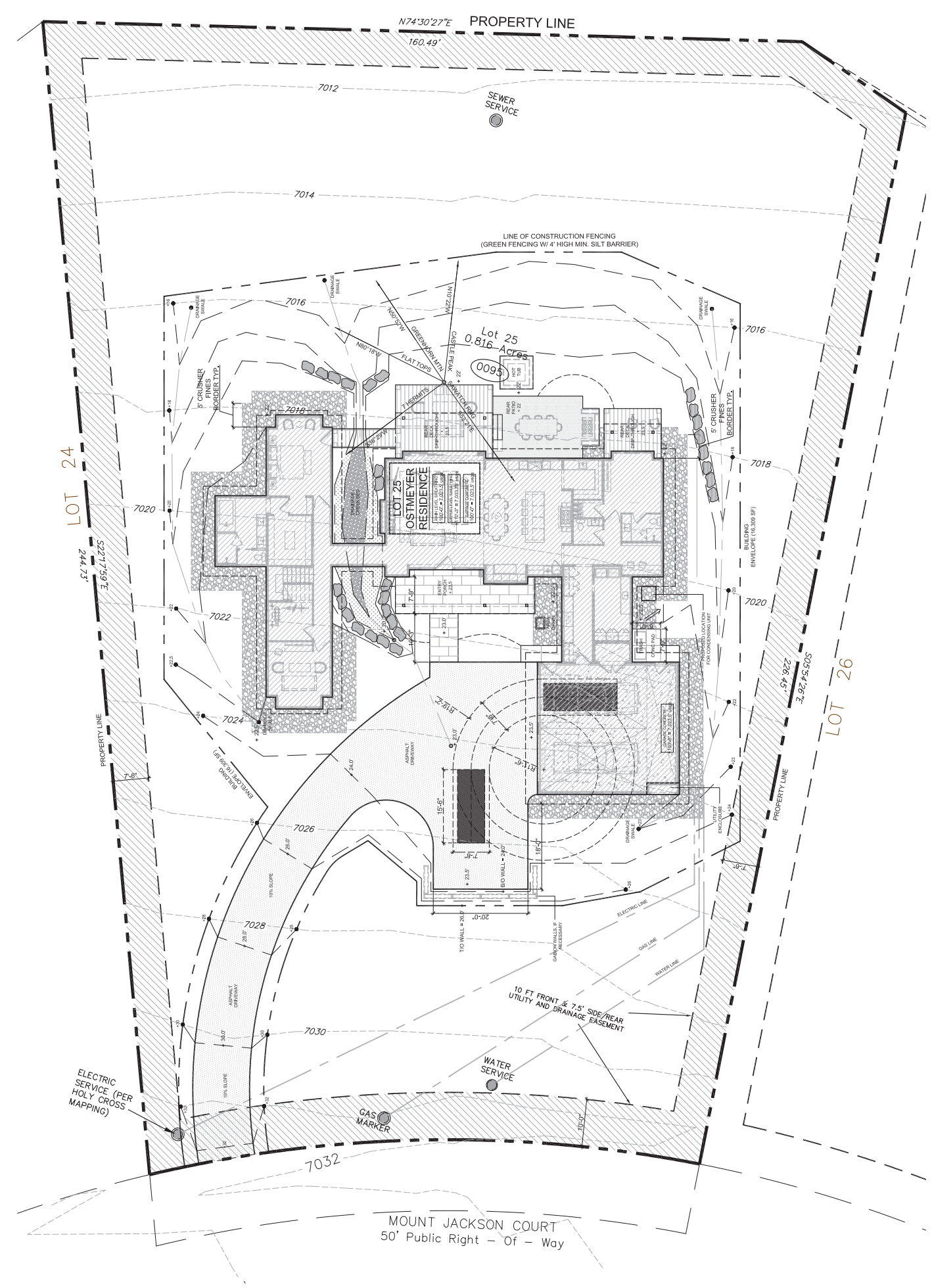
NOTES:

- MUD / DEBRIS MITIGATION:**
INSTALL MUD TRACKING PAD @ DRIVEWAY ENTRANCE
- WEED MITIGATION:**
PROVIDE WEED MITIGATION SPRAYING SERVICE, OR WEED PULLING PER DRB SPECS.
- DUST MITIGATION:**
PROVIDE WATER TANK TRUCK AT CRITICAL CONSTRUCTION STAGES TO MITIGATE DUST FROM SITE TO ADJACENT SITES. SOILS STORED ON SITE TO BE COVERED AND SECURED W/ PLASTIC.
- CONSTRUCTION FENCE:**
THE LIMIT OF WORK AND ALL EXISTING TREES / SHRUBS TO BE DESIGNATED TO REMAIN WILL BE SURROUNDED WITH POLY CONSTRUCTION FENCE INSTALLED AT THE DROP LINE. FENCING WILL REMAIN THROUGHOUT THE ENTIRE CONSTRUCTION PERIOD.

OSTMEYER RESIDENCE
 95 MOUNT JACKSON COURT
 LOT 25
 BUILDING PERMIT NUMBER:
 XXX-XXXX-XXXX
BUILDER:
 SCOTT S. TURNIPSEED
 ARCHITECTURE & CONSTRUCTION INC.
 970-328-3900
ARCHITECT:
 SCOTT S. TURNIPSEED
 ARCHITECTURE & CONSTRUCTION INC.
 970-328-3900

2 CONSTRUCTION SIGNAGE EXAMPLE
 A1.2 NTS

2 SITE PLAN
A2.0 FOR REFERENCE ONLY

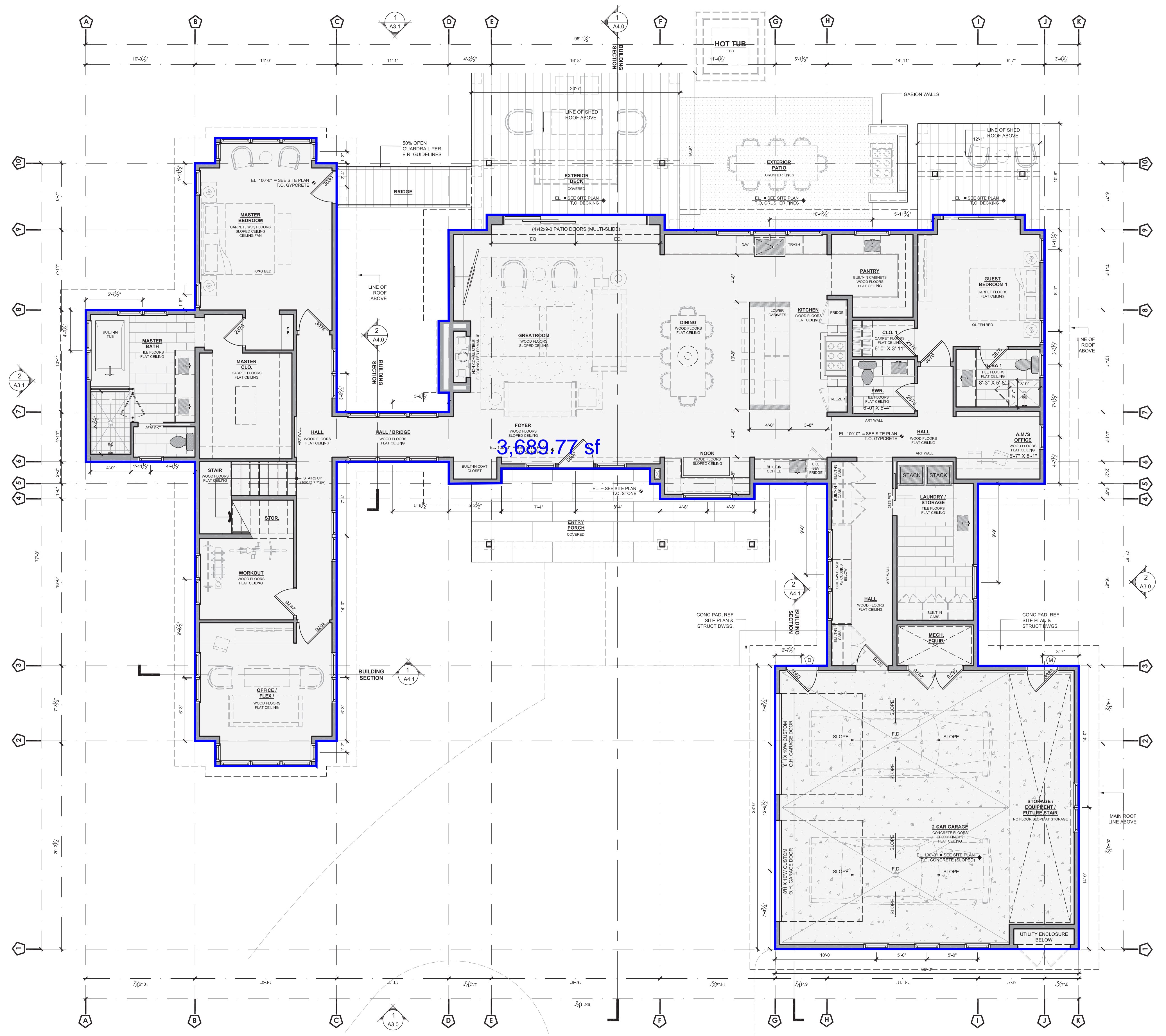


1 MAIN LEVEL FLOOR PLAN
A2.0 3/16" = 1'-0"

MAIN LEVEL:
 SQUARE FOOTAGES:
 MAIN LEVEL FINISHED S.F. = 2,809 S.F.
 MAIN LEVEL UN-FINISHED @ GARAGE = 961 S.F.

UPPER LEVEL:
 SQUARE FOOTAGES:
 UPPER LEVEL FINISHED S.F. = 872 S.F.
 UPPER LEVEL UN-FINISHED S.F. = 235 S.F.

TOTALS:
 ALL FINISHED TOTALS = 3,681 S.F.
 ALL UN-FINISHED TOTALS = 1,196 S.F.
 ALL FINISHED AND UN-FINISHED TOTALS = 4,877 S.F.



TURNIPSEED
 ARCHITECTURE
 CONSTRUCTION
 INTERIOR DESIGN
 SINCE 1995

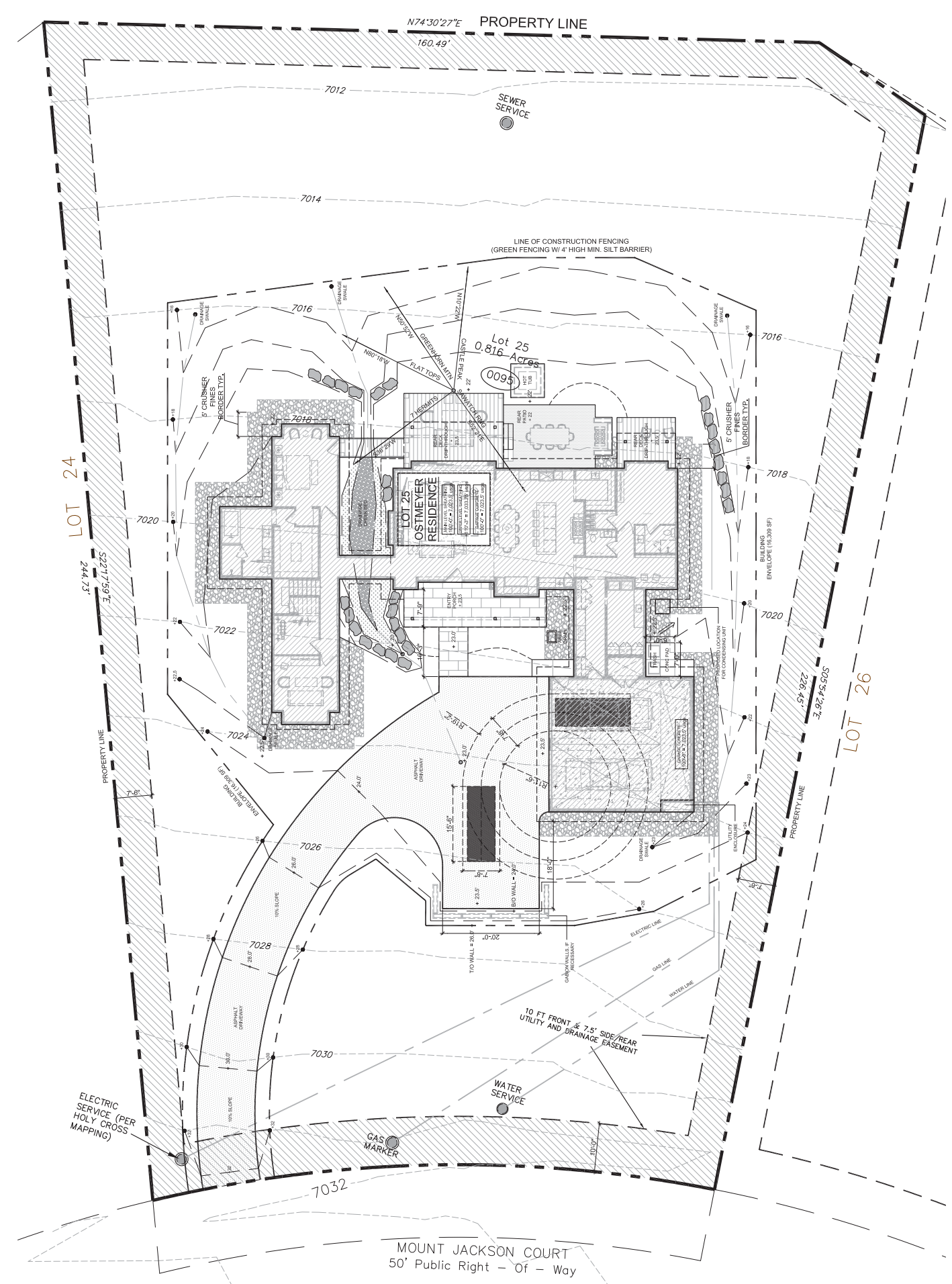
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A2.0
 MAIN LEVEL
 FLOOR PLAN

2 SITE PLAN
A2.1 FOR REFERENCE ONLY

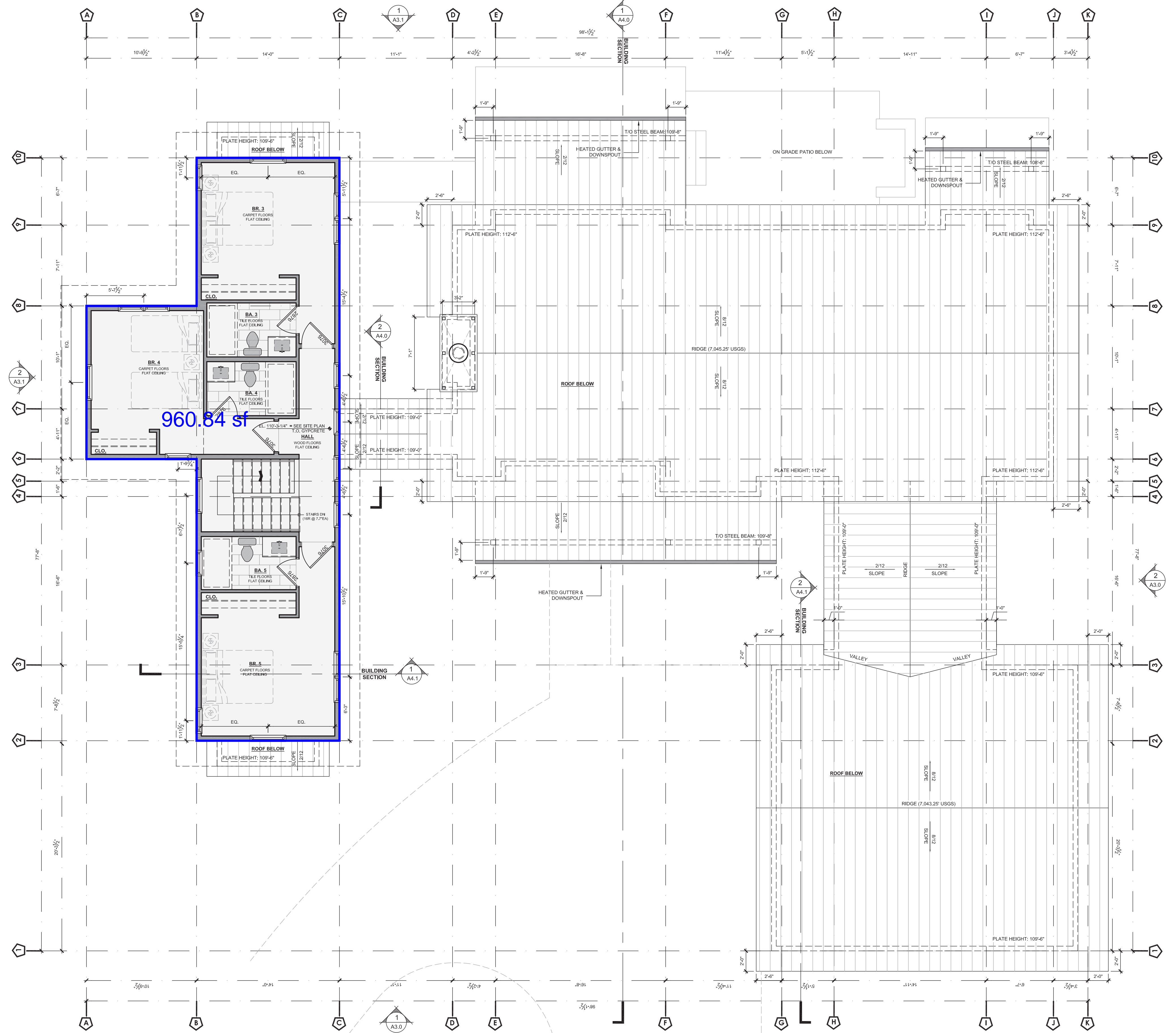


1 UPPER LEVEL FLOOR PLAN
A2.1 3/16" = 1'-0"

MAIN LEVEL:
 SQUARE FOOTAGES:
 MAIN LEVEL FINISHED S.F. = 2,809 S.F.
 MAIN LEVEL UN-FINISHED @ GARAGE = 961 S.F.

UPPER LEVEL:
 SQUARE FOOTAGES:
 UPPER LEVEL FINISHED S.F. = 872 S.F.
 UPPER LEVEL UN-FINISHED S.F. = 235 S.F.

TOTALS:
 ALL FINISHED TOTALS = 3,681 S.F.
 ALL UN-FINISHED TOTALS = 1,196 S.F.
 ALL FINISHED AND UN-FINISHED TOTALS = 4,877 S.F.



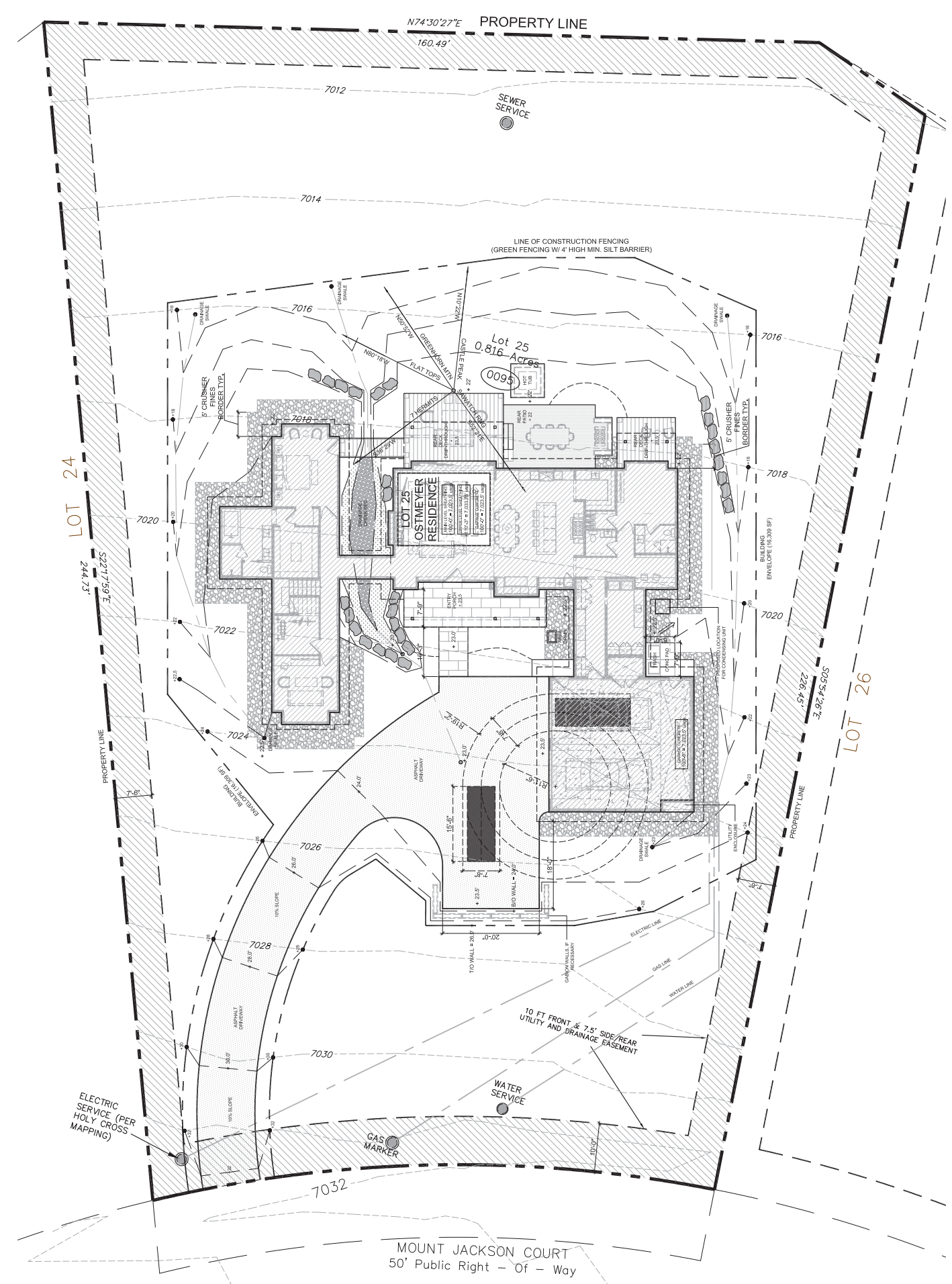
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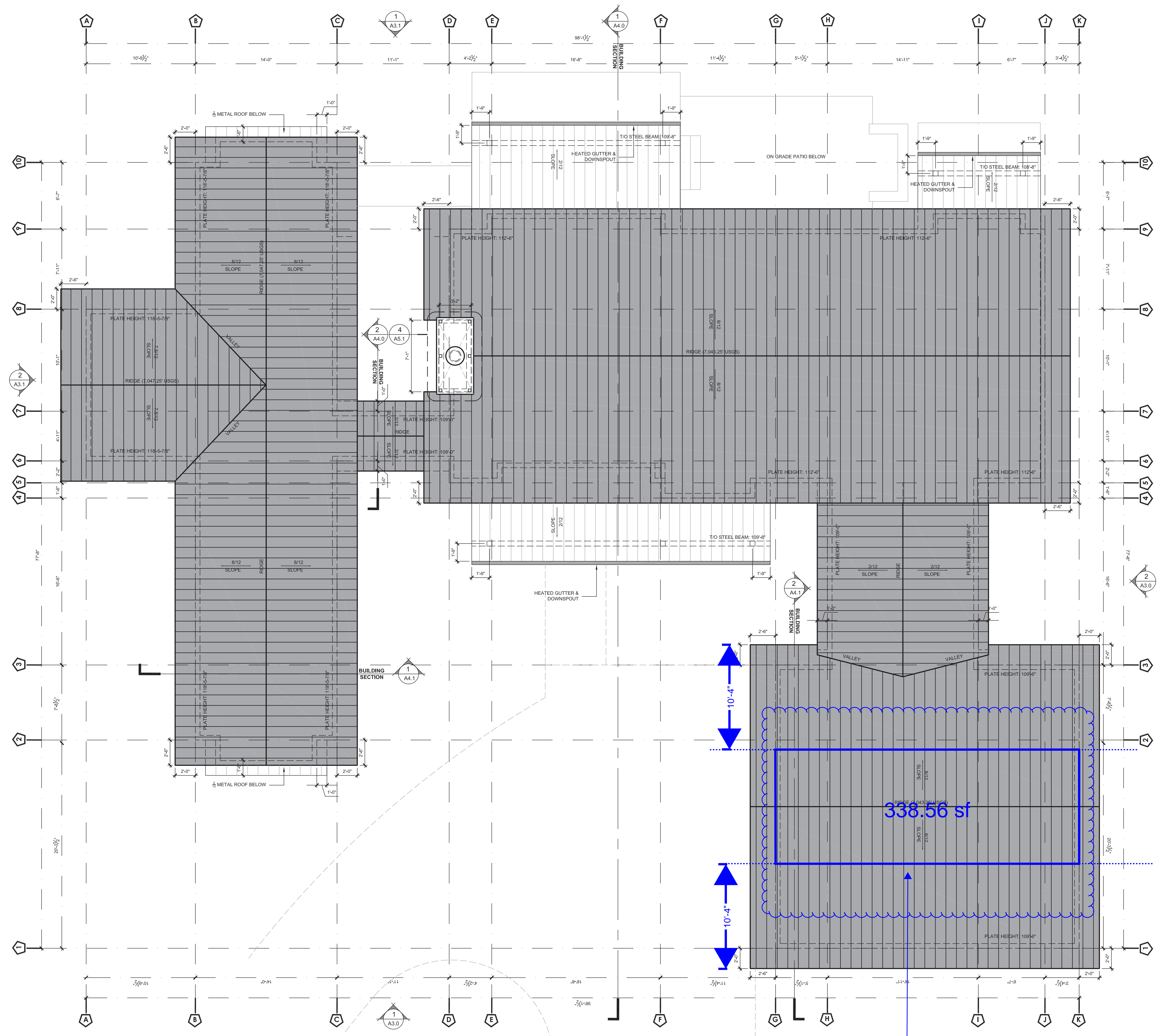
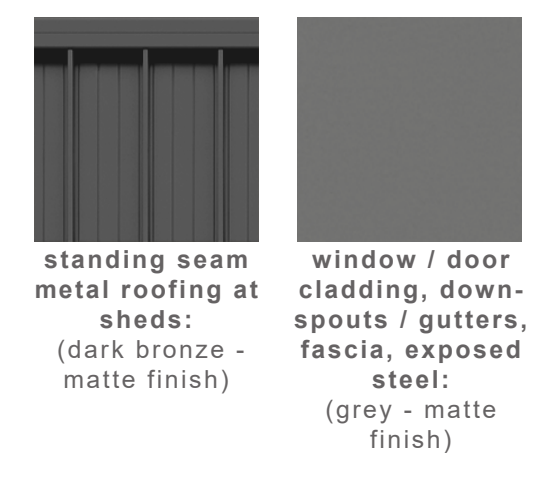
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A2.1
 UPPER LEVEL
 FLOOR PLAN

2 SITE PLAN
A2.2 FOR REFERENCE ONLY



1 ROOF PLAN
A2.2 3/16" = 1'-0"



Area above garage where ceiling height exceeds 5 feet must be indicated on plan(s) and included in floor area calculations.



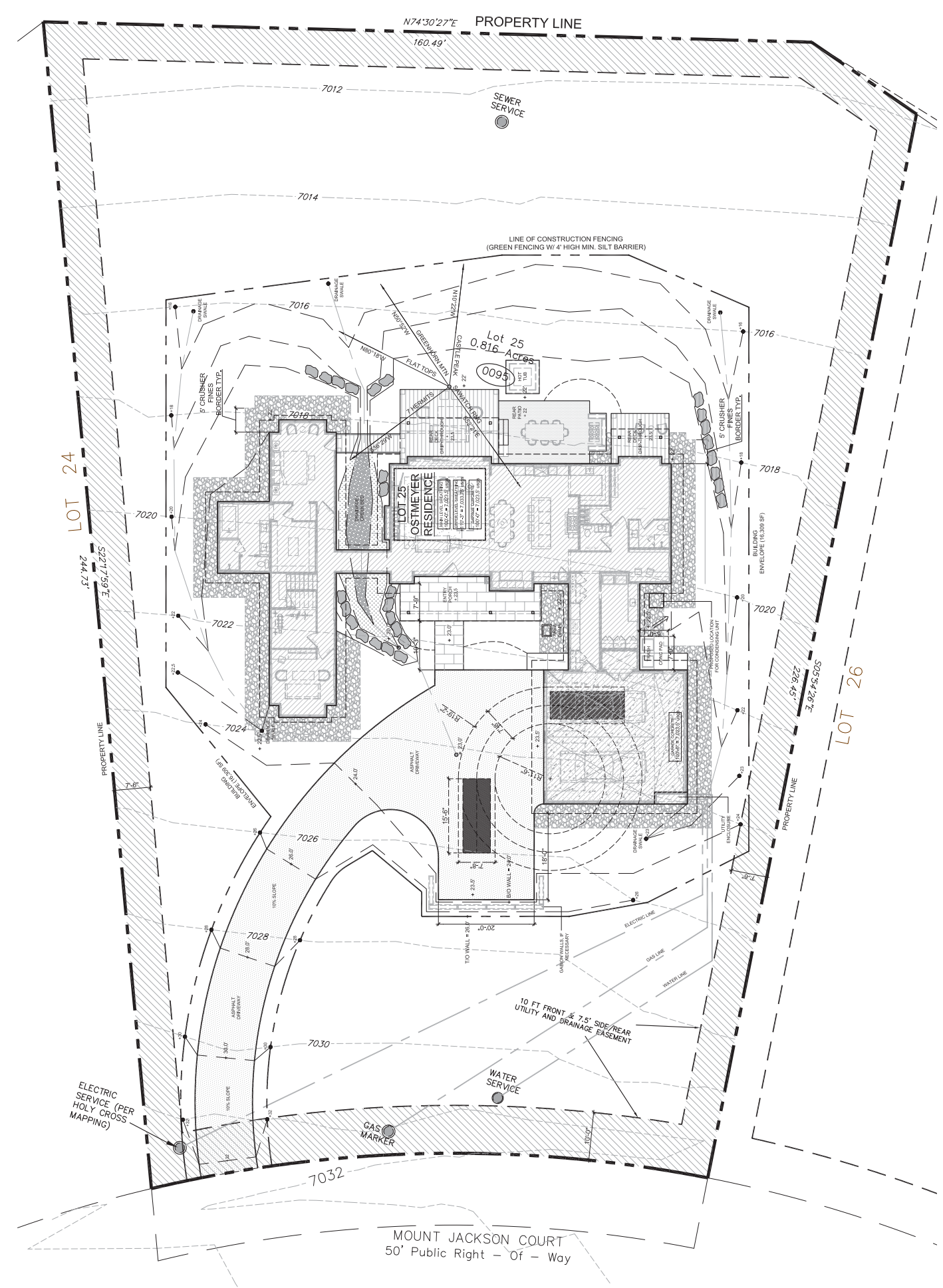
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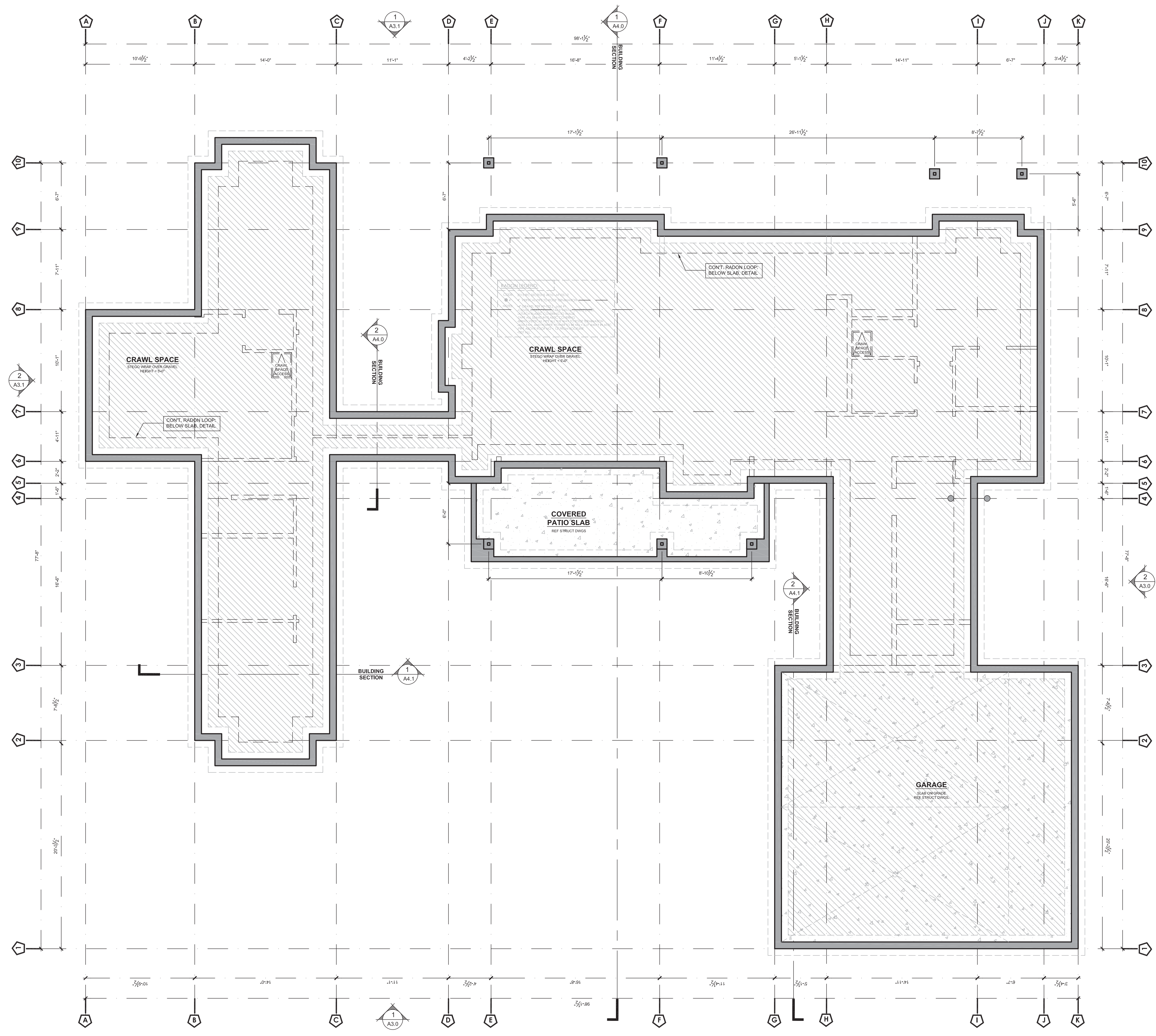
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A2.2
ROOF PLAN

2 SITE PLAN
A2.3 FOR REFERENCE ONLY



1 FOUNDATION PLAN
A2.3 3/16" = 1'-0"



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A2.3
FOUNDATION
PLAN



OSTMEYER RESIDENCE
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 LOT 25, EAGLE RANCH - HIGHLANDS
 EAGLE, COLORADO


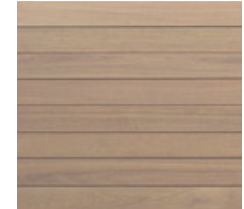

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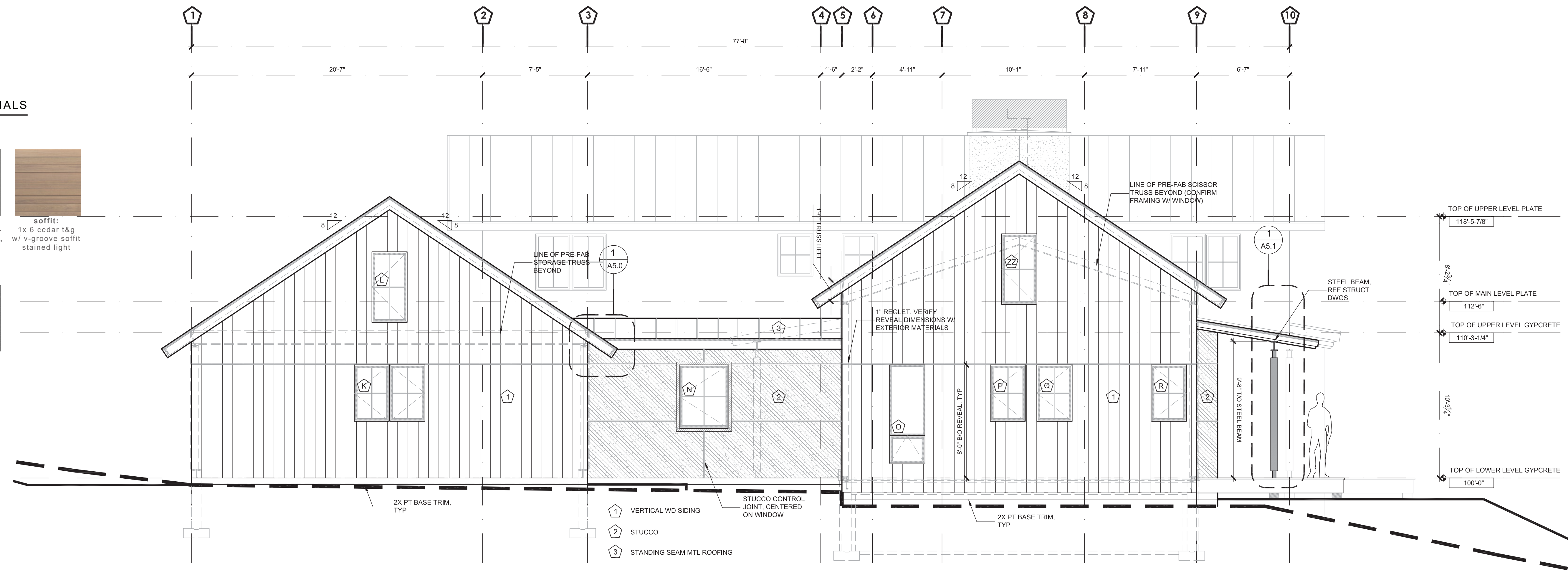
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A3.0
 EXTERIOR
 ELEVATIONS

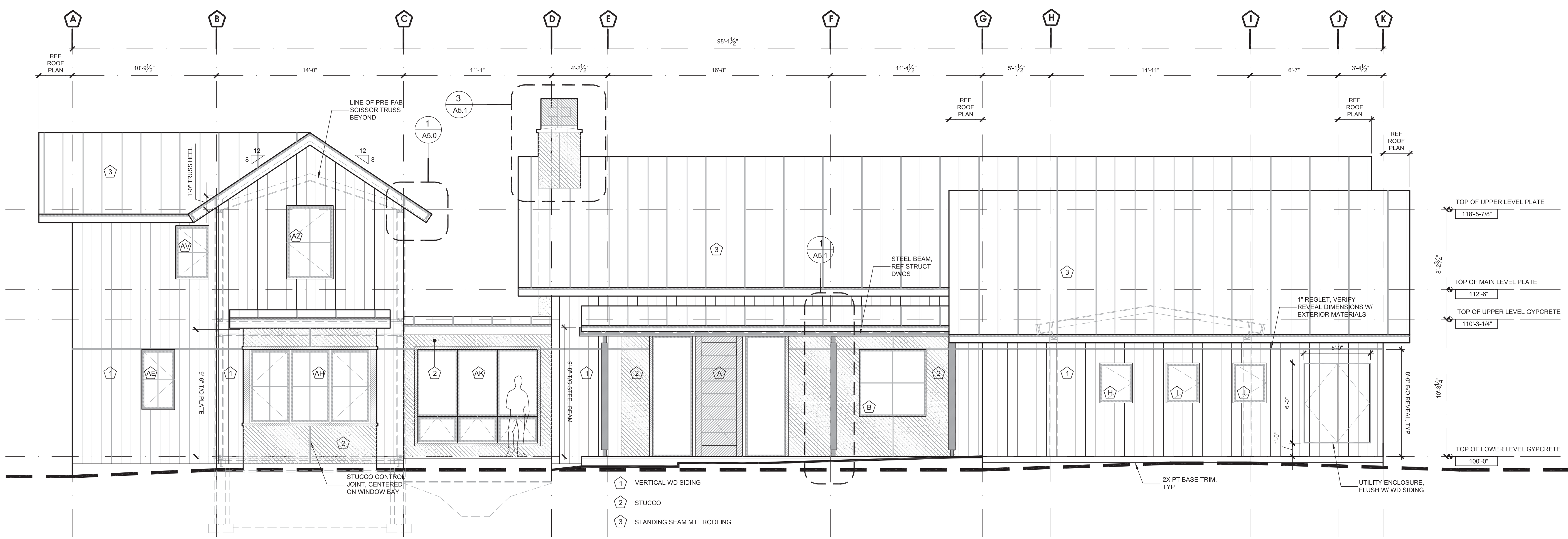
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3 EXTERIOR MATERIALS
 A3.0 NTS

-  standing seam metal roofing at sheds: (dark bronze - matte finish)
-  window / door cladding, downspouts / gutters, fascia, exposed steel: (grey - matte finish)
-  soffit: 1x 6 cedar t&g w/ v-groove soffit stained light
-  vertical shiplap wd siding w/ nickel gap: manuf / light natural cedar stain
-  chimney / bumpouts: cementitious stucco w/ expansion joints (light charcoal)



2 EAST EXTERIOR ELEVATION
 A3.0 1/4" = 1'-0"
 NOTE: REFERENCE SHEET A5.2 FOR WINDOW SCHEDULE



1 SOUTH EXTERIOR ELEVATION
 A3.0 1/4" = 1'-0"
 NOTE: REFERENCE SHEET A5.2 FOR WINDOW SCHEDULE



OSTMEYER RESIDENCE
 95 MOUNT JACKSON COURT
 LOT 25, EAGLE RANCH - HIGHLANDS
 EAGLE, COLORADO

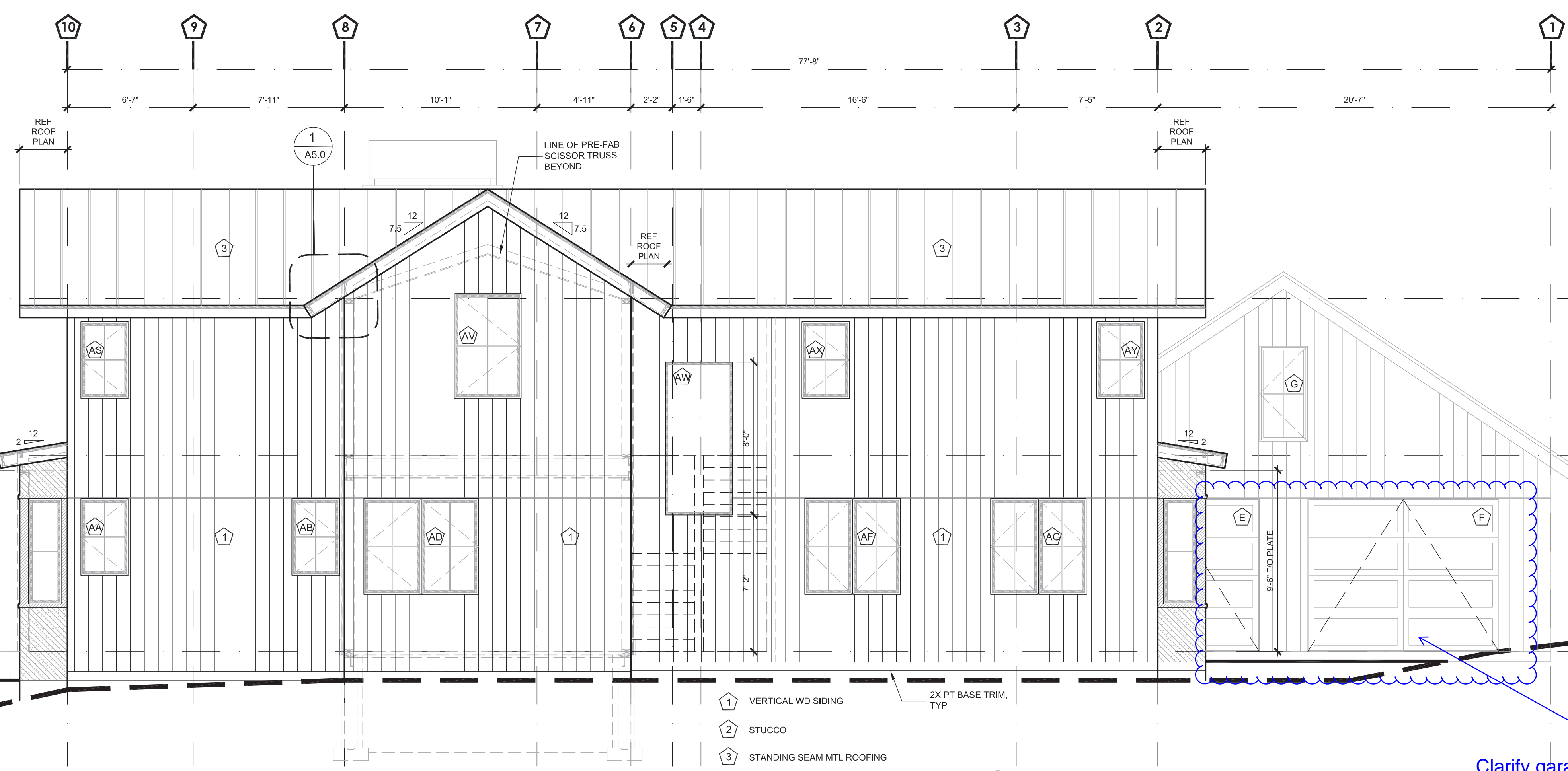
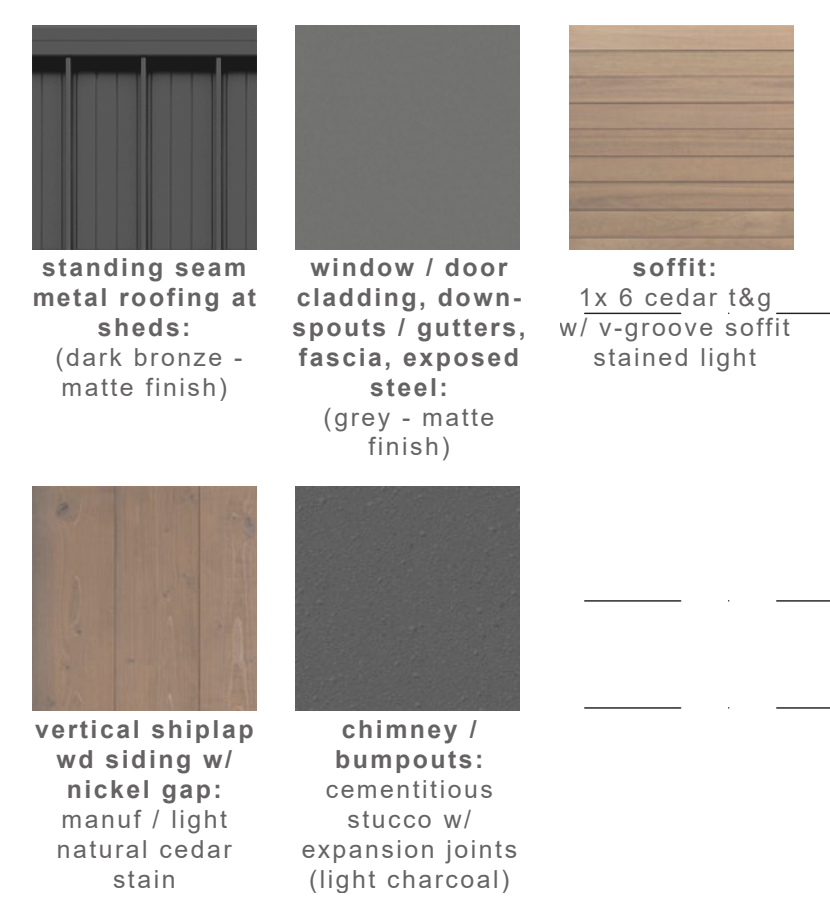
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A3.1
 EXTERIOR
 ELEVATIONS

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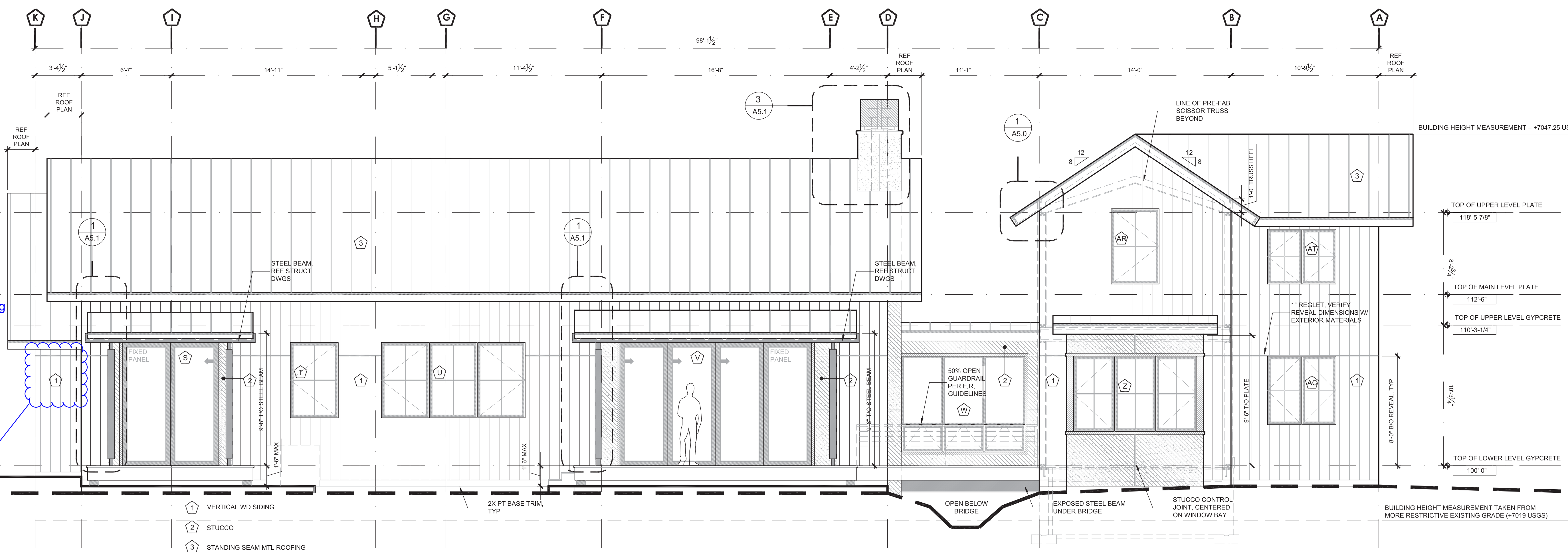
3 EXTERIOR MATERIALS
 A3.1 NTS



2 WEST EXTERIOR ELEVATION
 A3.1 1/4" = 1'-0"
 NOTE: REFERENCE SHEET A5.2 FOR WINDOW SCHEDULE

4.6 a. Exterior light sources facing Brush Creek Road shall be limited to code-required entrance wall mounted sconce luminaires. Fixtures in these locations shall be Fully Shielded or Dark Night Sky qualified luminaires mounted at not more than 6'-8" above the adjacent door threshold.

Show exterior lighting fixtures on elevations.



1 NORTH EXTERIOR ELEVATION
 A3.1 1/4" = 1'-0"
 NOTE: REFERENCE SHEET A5.2 FOR WINDOW SCHEDULE

- 1 VERTICAL WD SIDING
- 2 STUCCO
- 3 STANDING SEAM MTL ROOFING

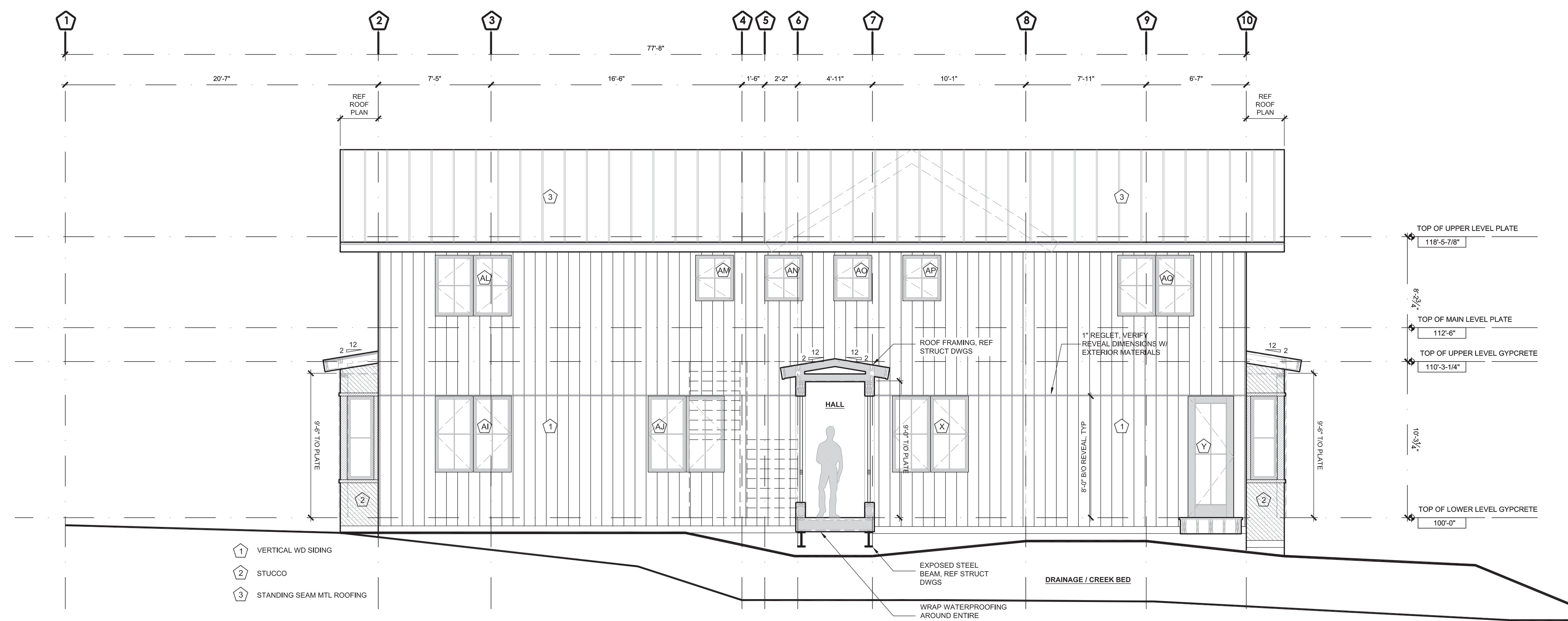


OSTMEYER RESIDENCE
 95 MOUNT JACKSON COURT
 LOT 25, EAGLE RANCH - HIGHLANDS
 EAGLE, COLORADO

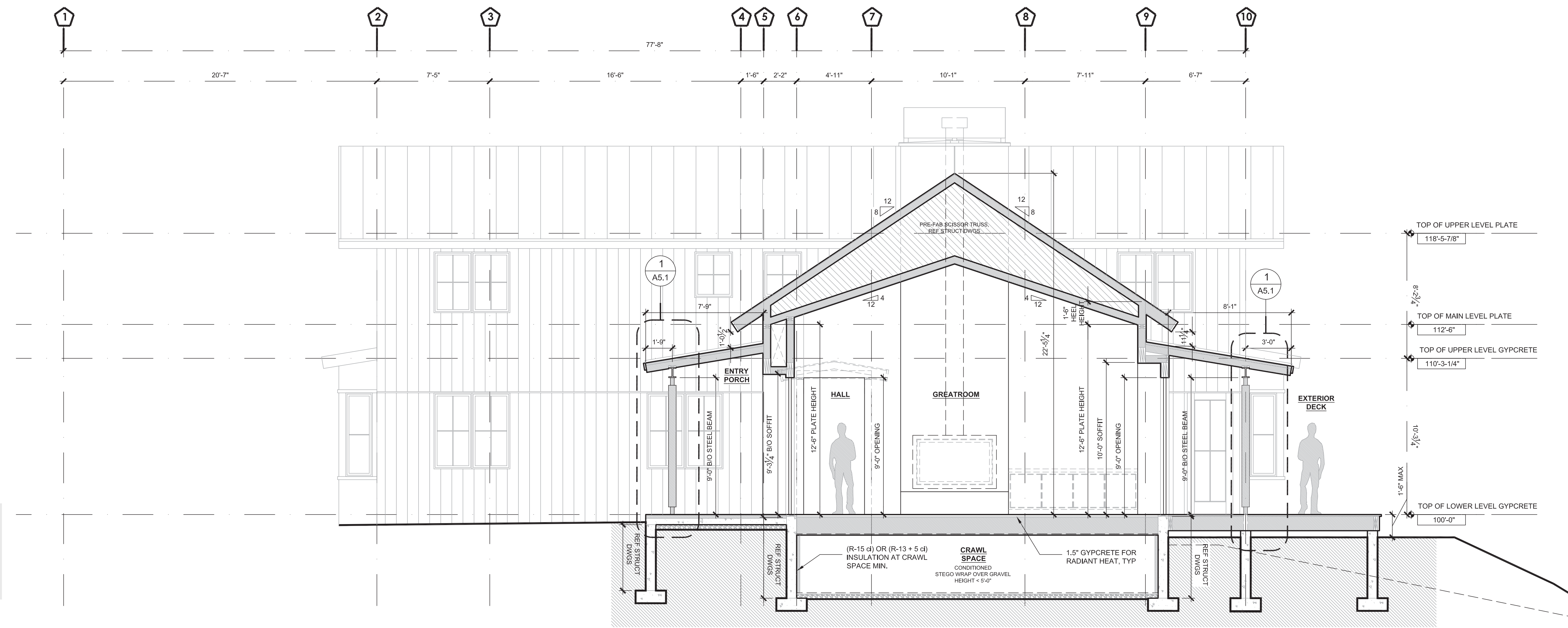
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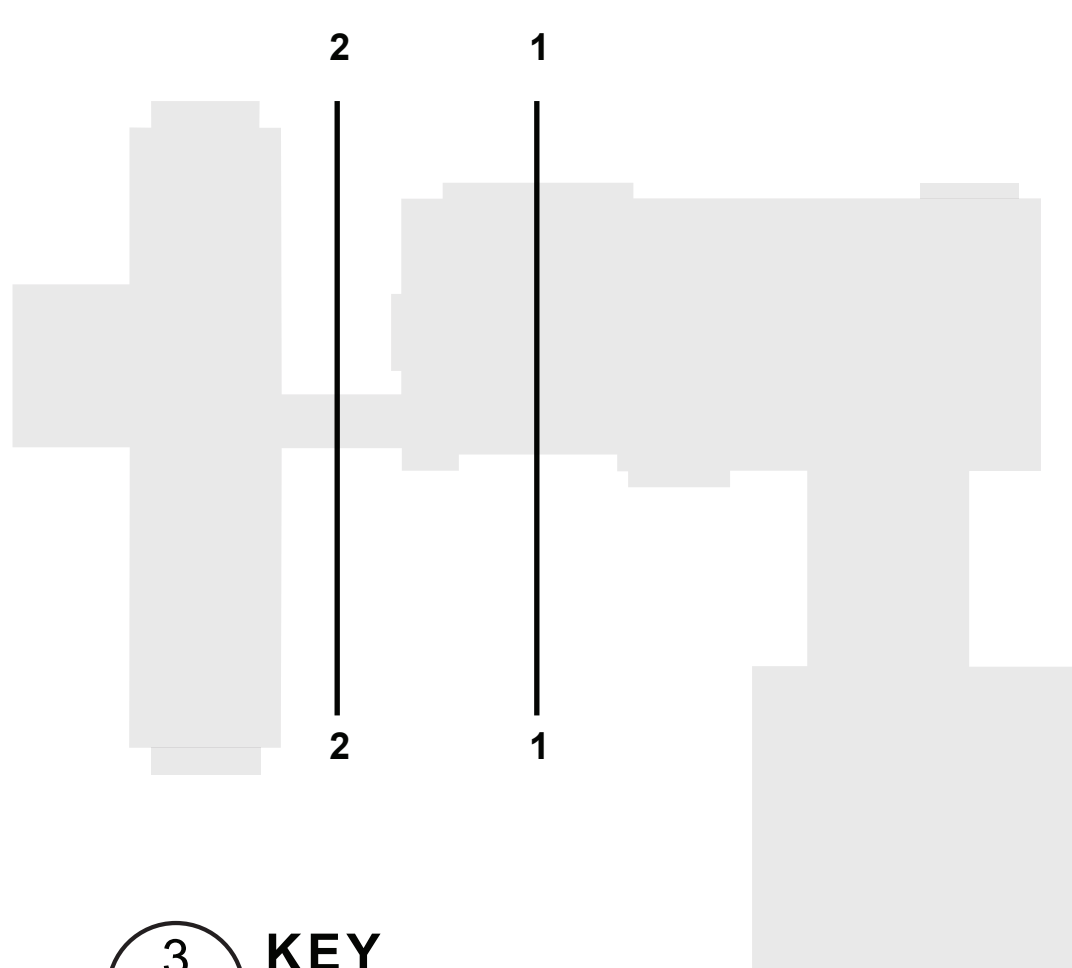
A4.0
 BUILDING
 SECTIONS



2 BUILDING SECTION
 A4.0 1/4" = 1'-0"



1 BUILDING SECTION
 A4.0 1/4" = 1'-0"



3 KEY
 A4.0 NTS

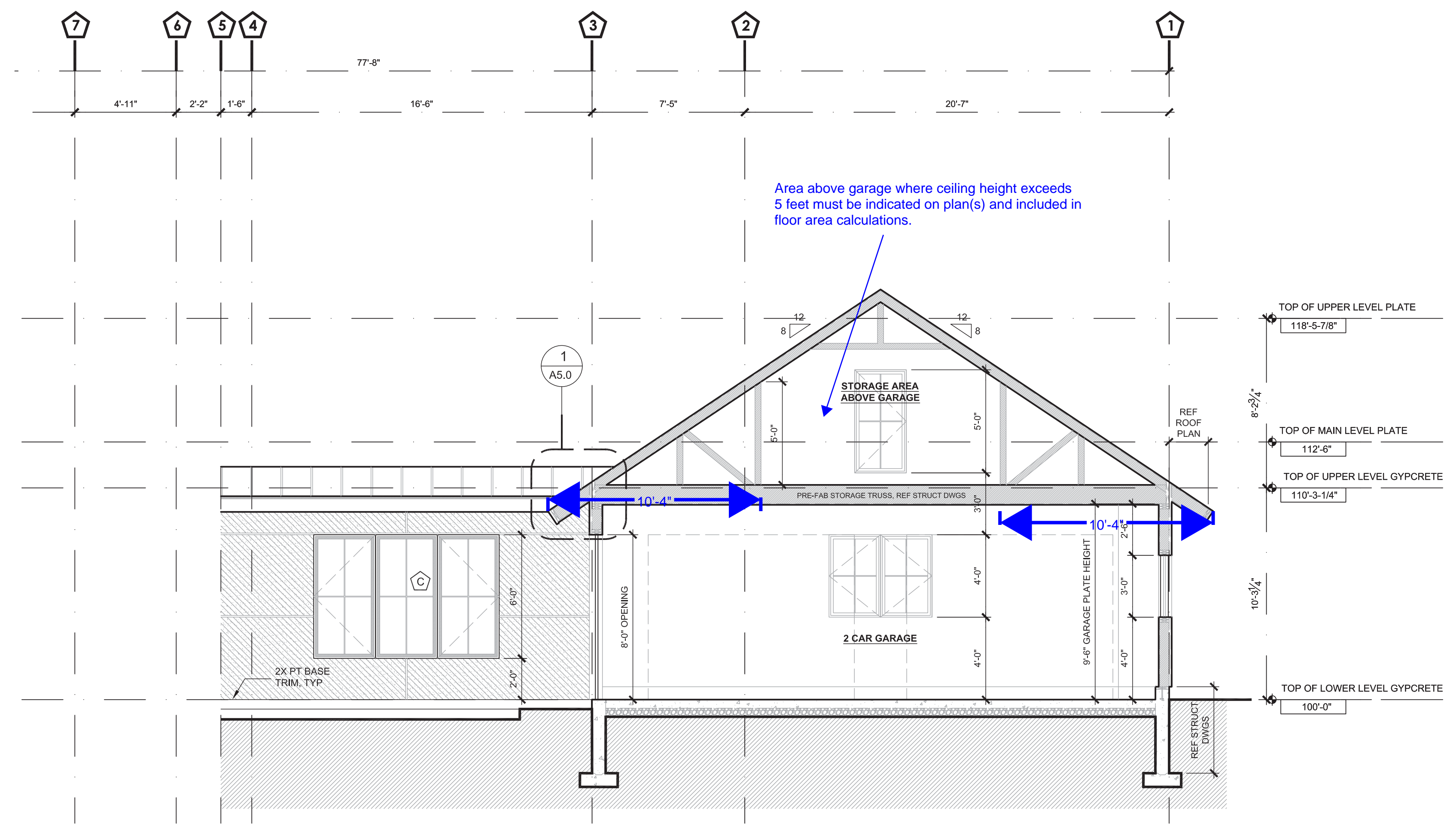


OSTMEYER RESIDENCE
 95 MOUNT JACKSON COURT
 LOT 25, EAGLE RANCH - HIGHLANDS
 EAGLE, COLORADO

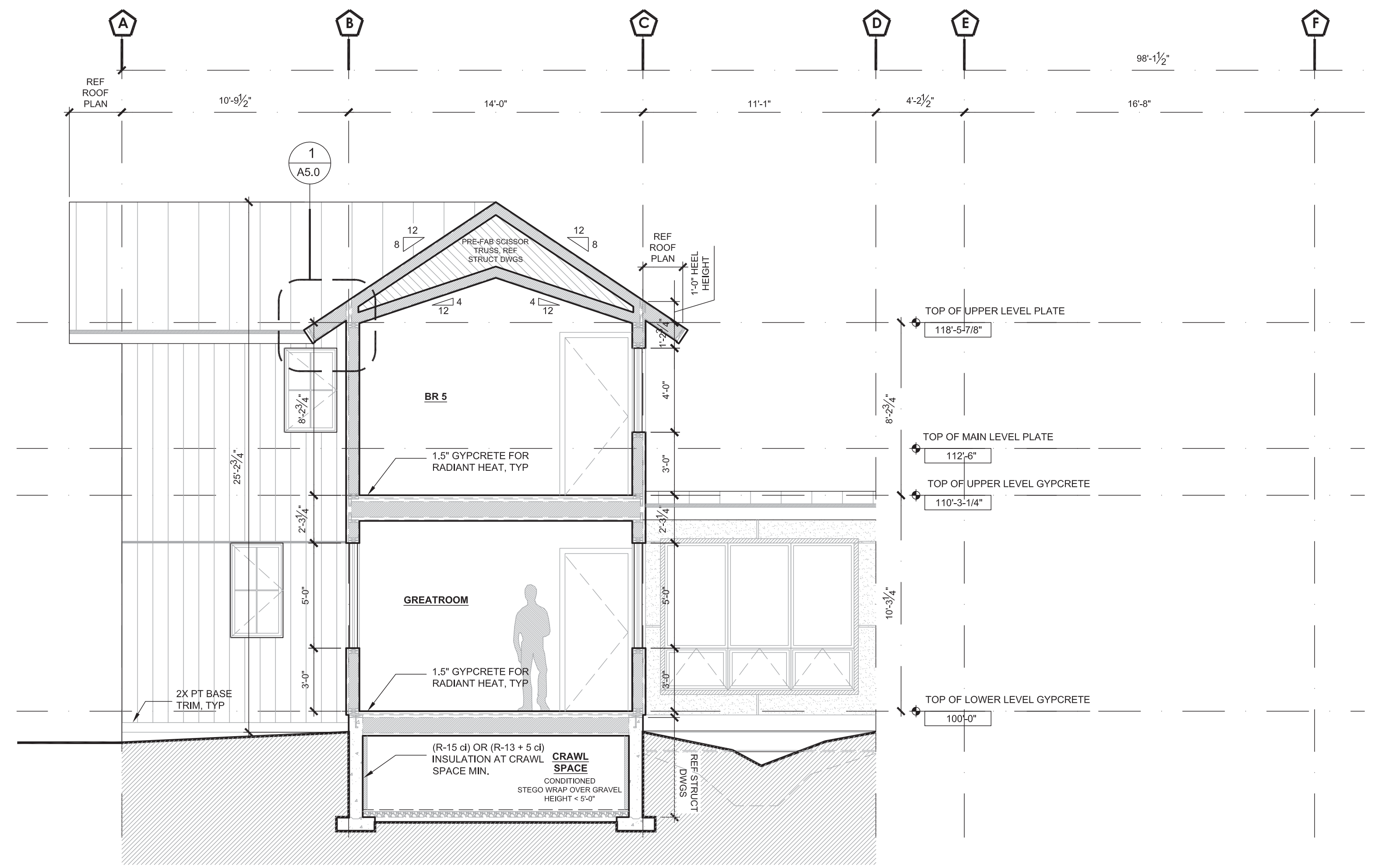
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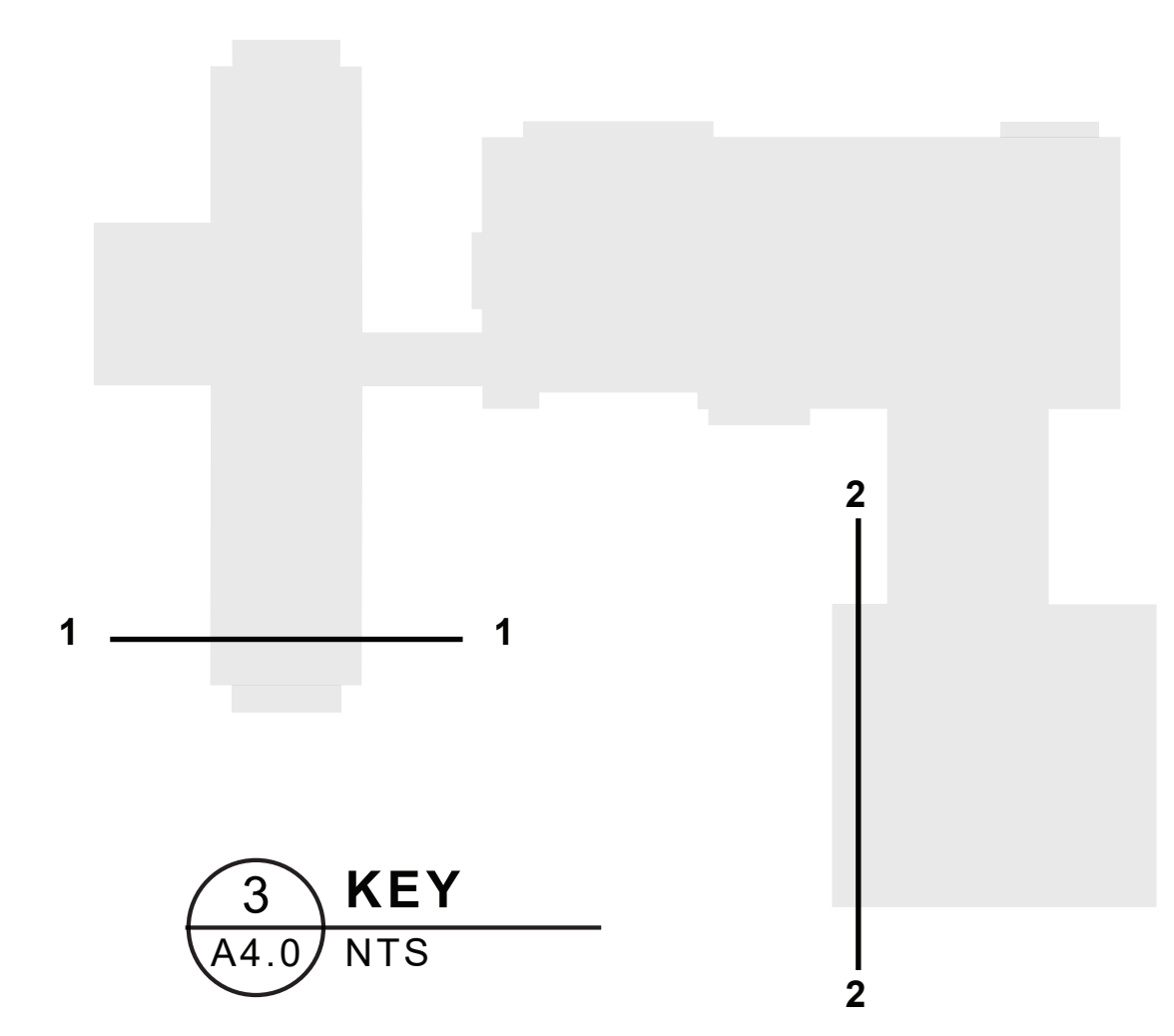
A4.1
 BUILDING
 SECTIONS



2 BUILDING SECTION
 A4.1 1/4" = 1'-0"



1 BUILDING SECTION
 A4.1 1/4" = 1'-0"



3 KEY
 A4.0 NTS



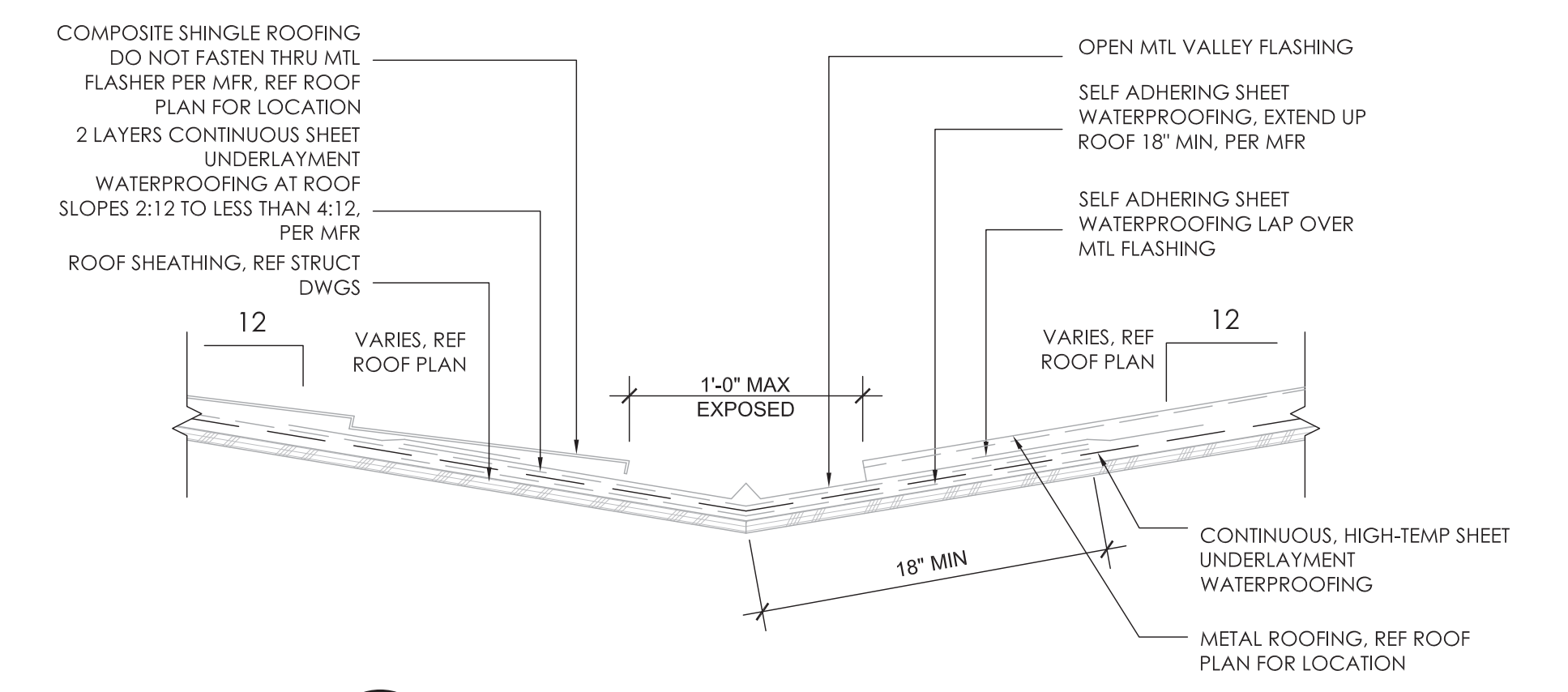
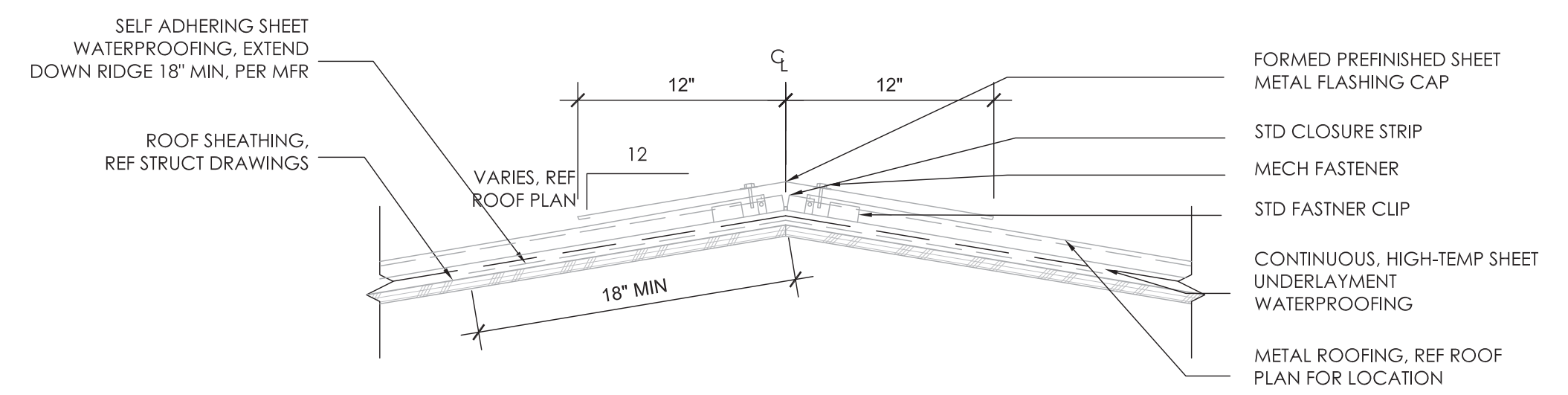
OSTMEYER RESIDENCE
 95 MOUNT JACKSON COURT
 LOT 25, EAGLE RANCH - HIGHLANDS
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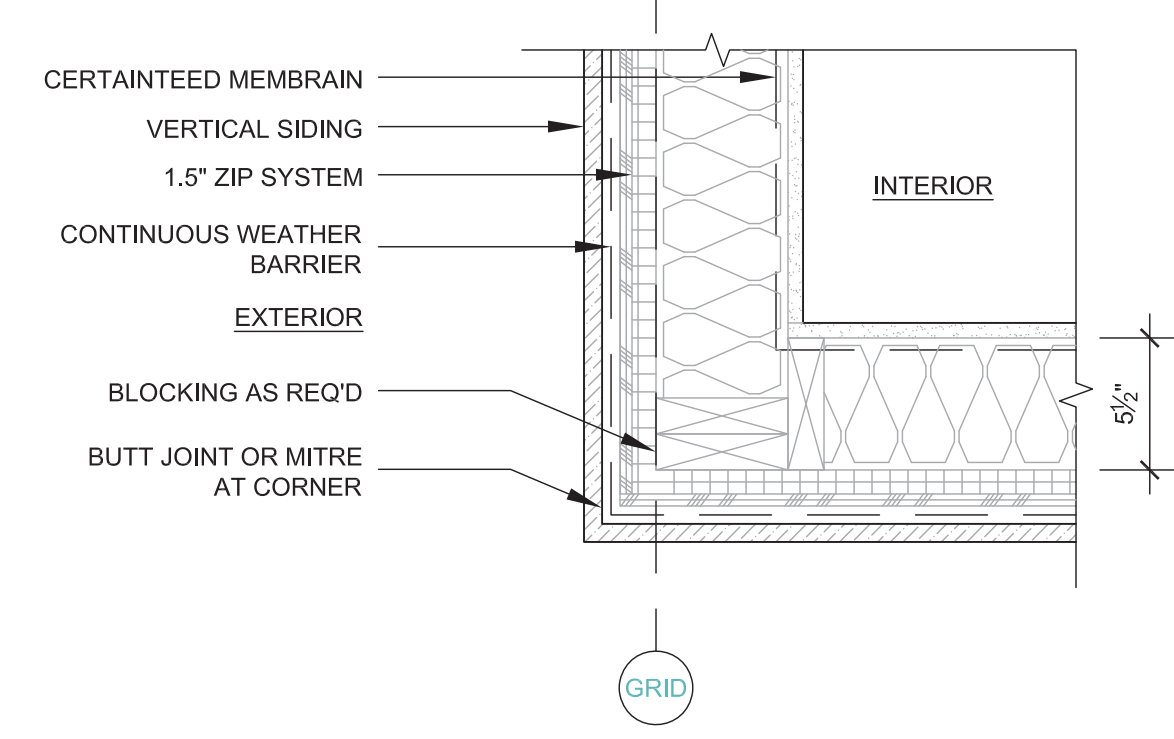
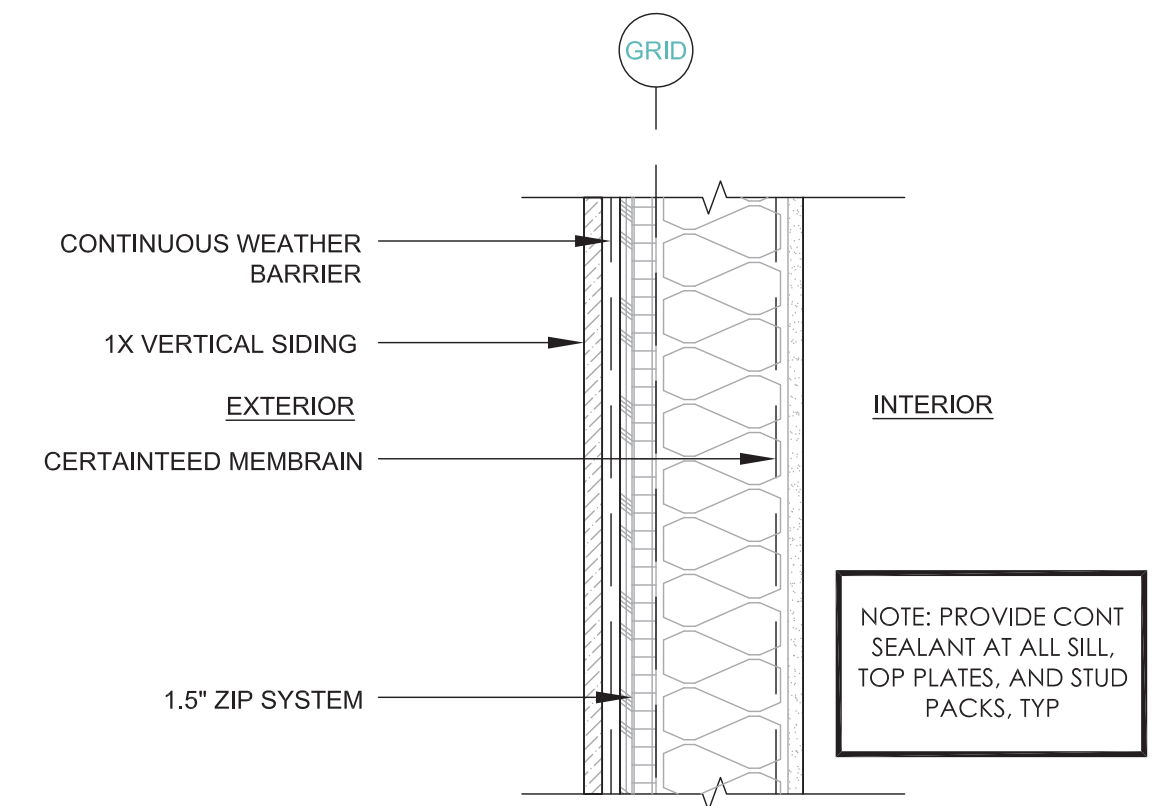
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A5.0
 DETAILS

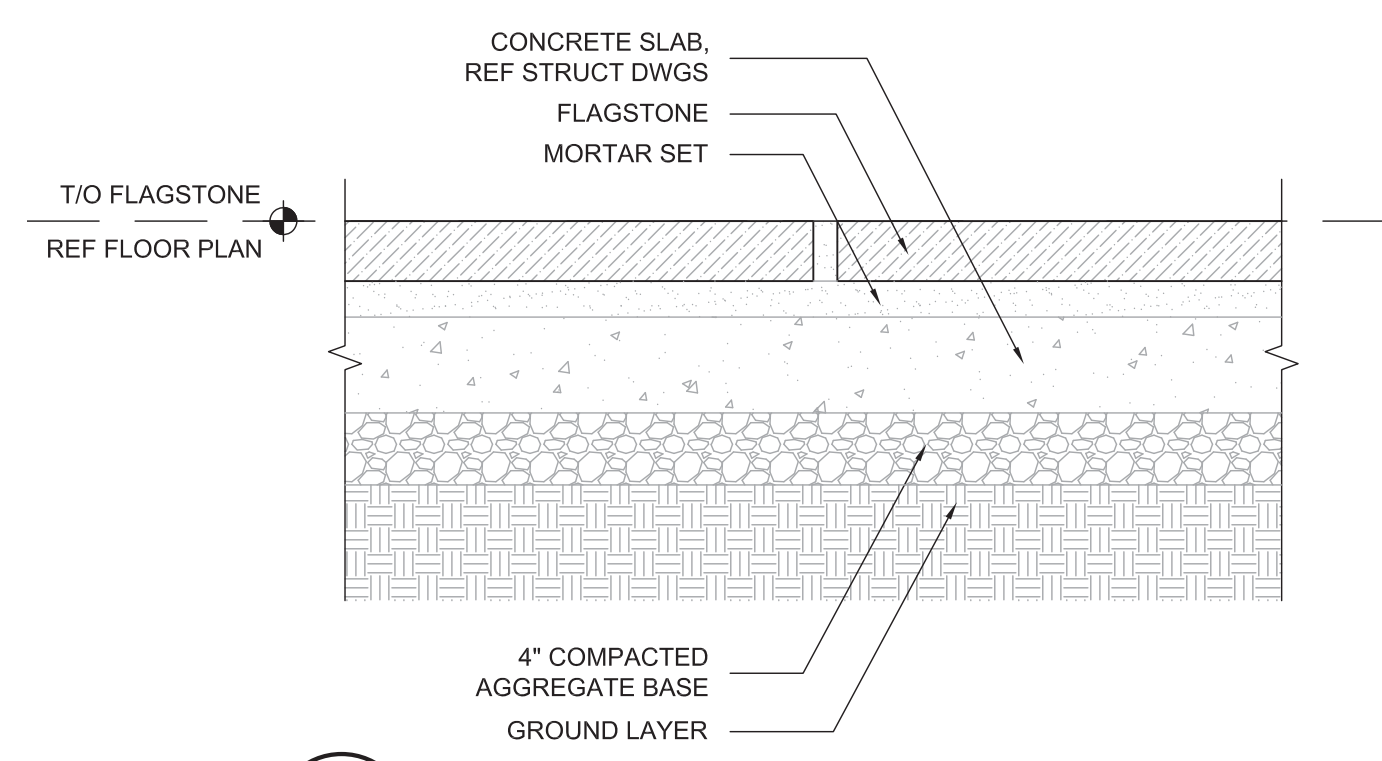
FINAL SUBMITTAL, APRIL 1ST, 2024



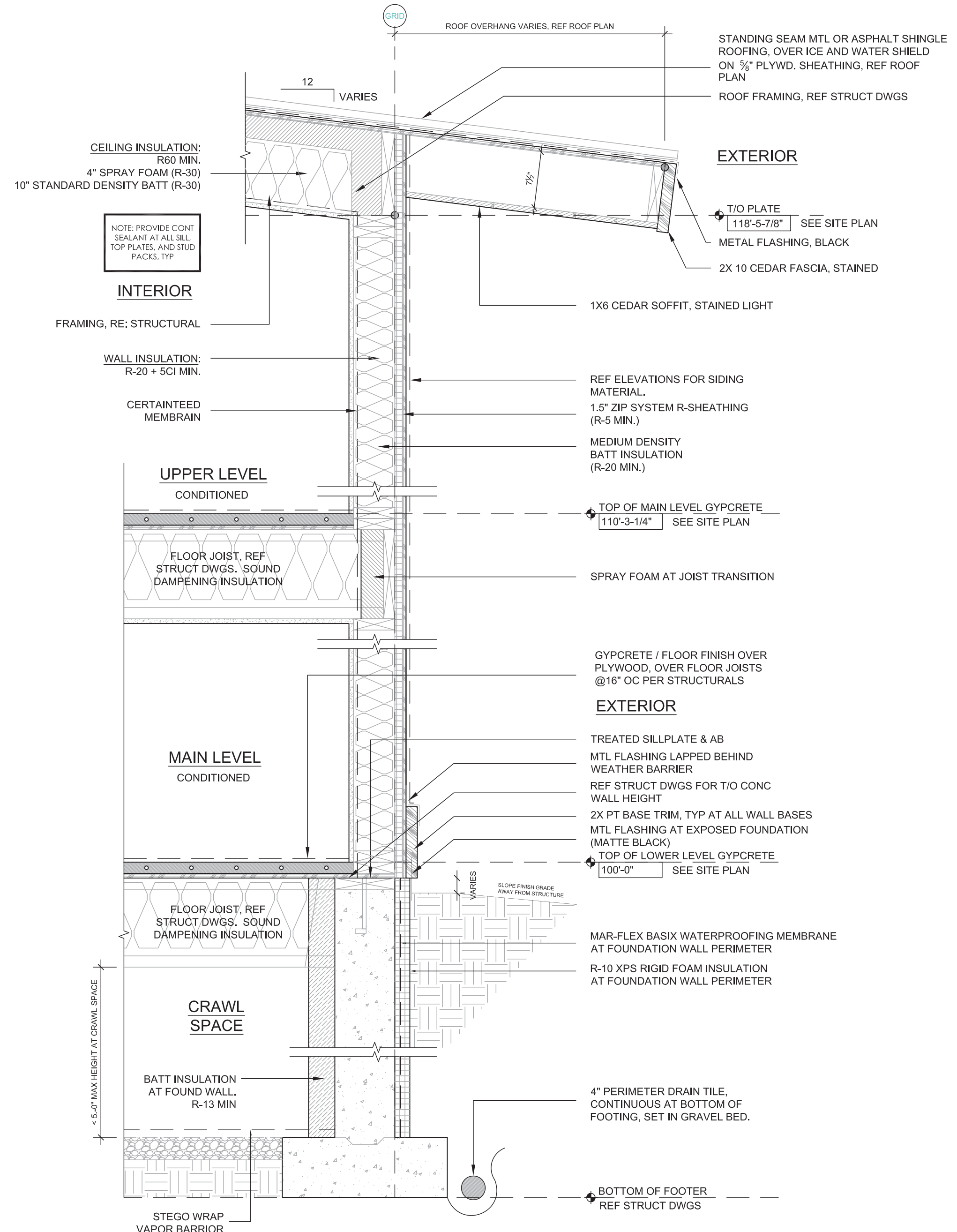
6 SECTION ROOF TRANSITIONS
 1-1/2" = 1'-0"



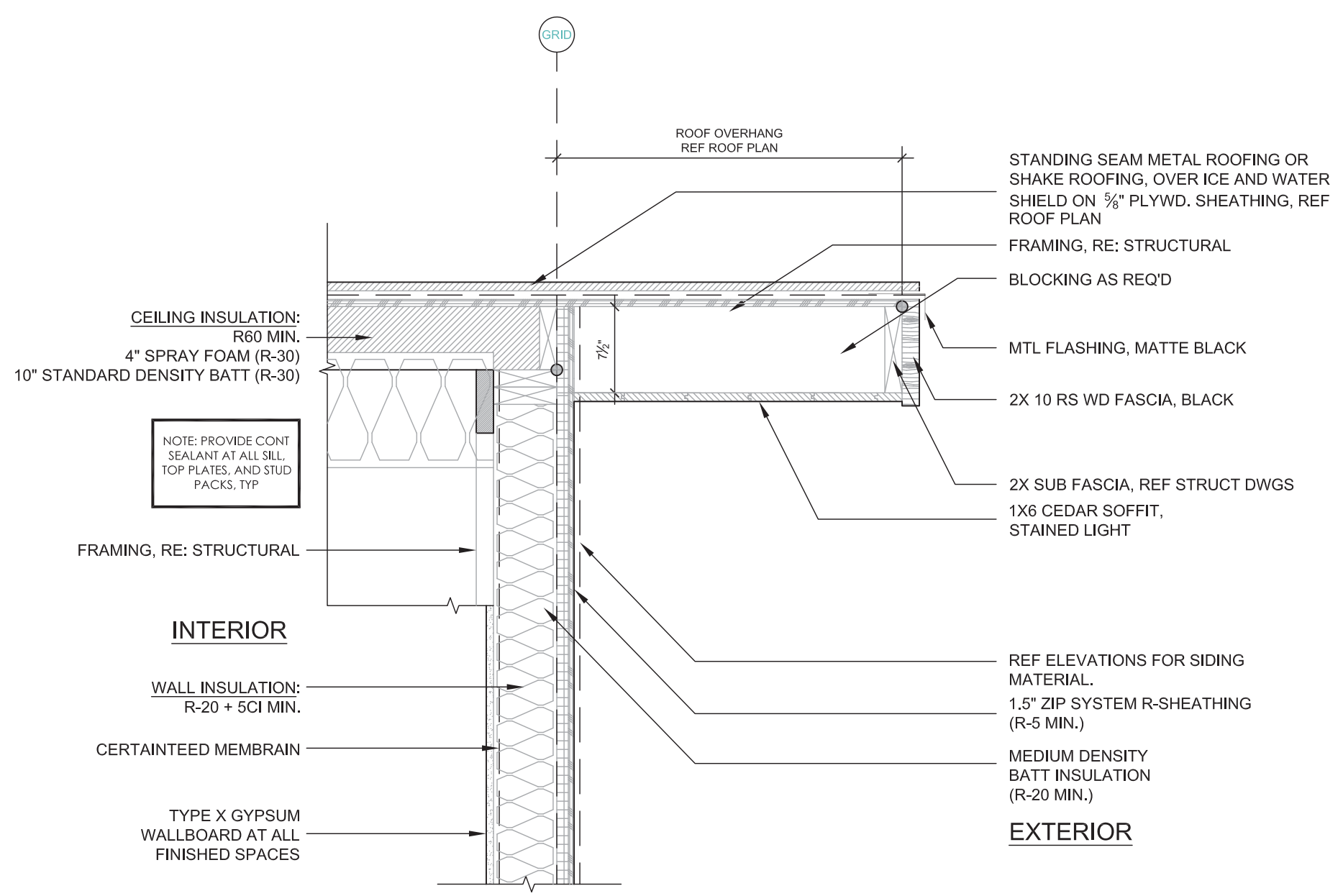
5 TYPICAL WALL DETAILS
 1-1/2" = 1'-0"



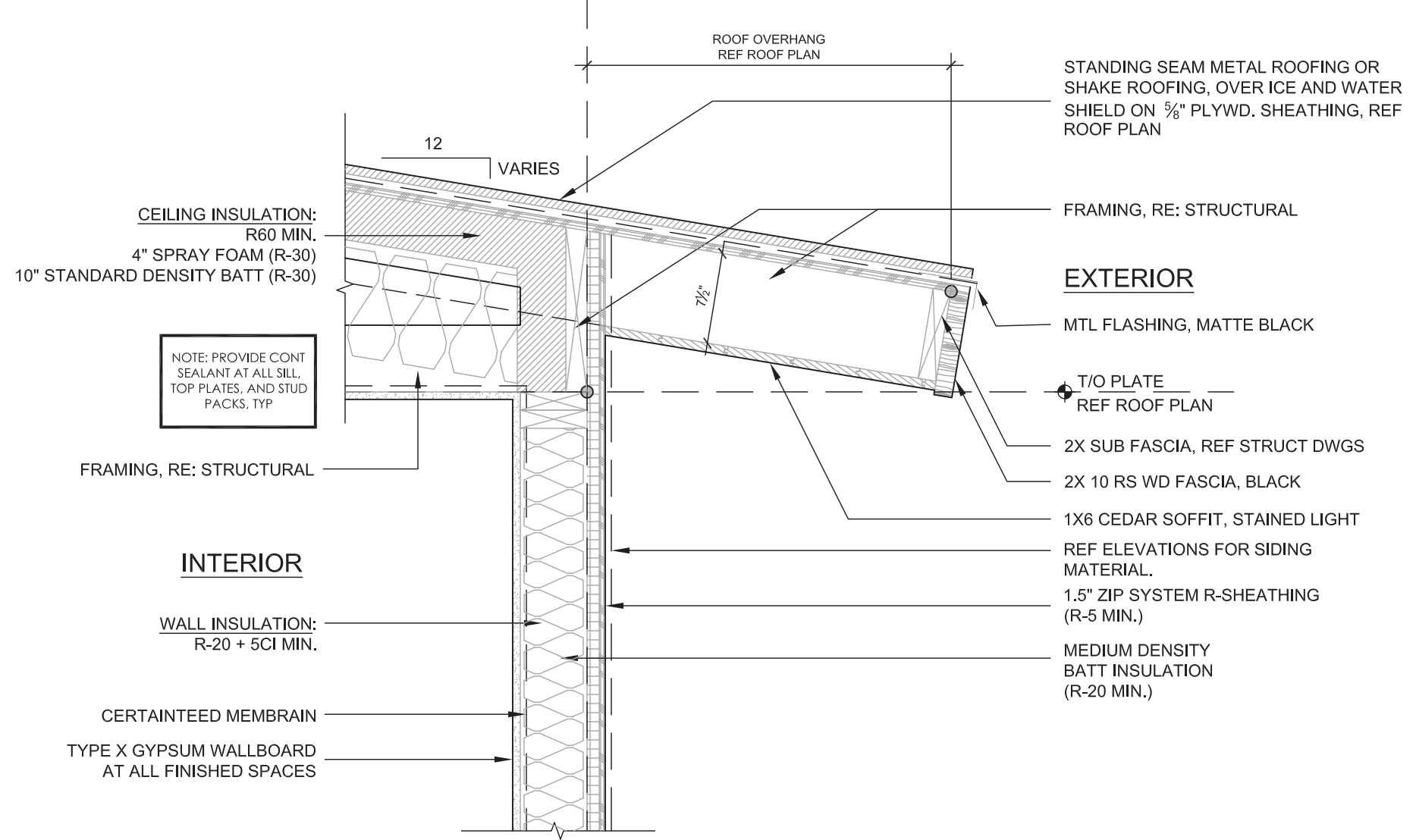
4 TYPICAL PATIO DETAIL
 1-1/2" = 1'-0"



3 SECTION TYPICAL WALL DETAIL
 1" = 1'-0"



2 SECTION RAKE DETAIL
 1" = 1'-0"



1 SECTION EAVE DETAIL
 1" = 1'-0"



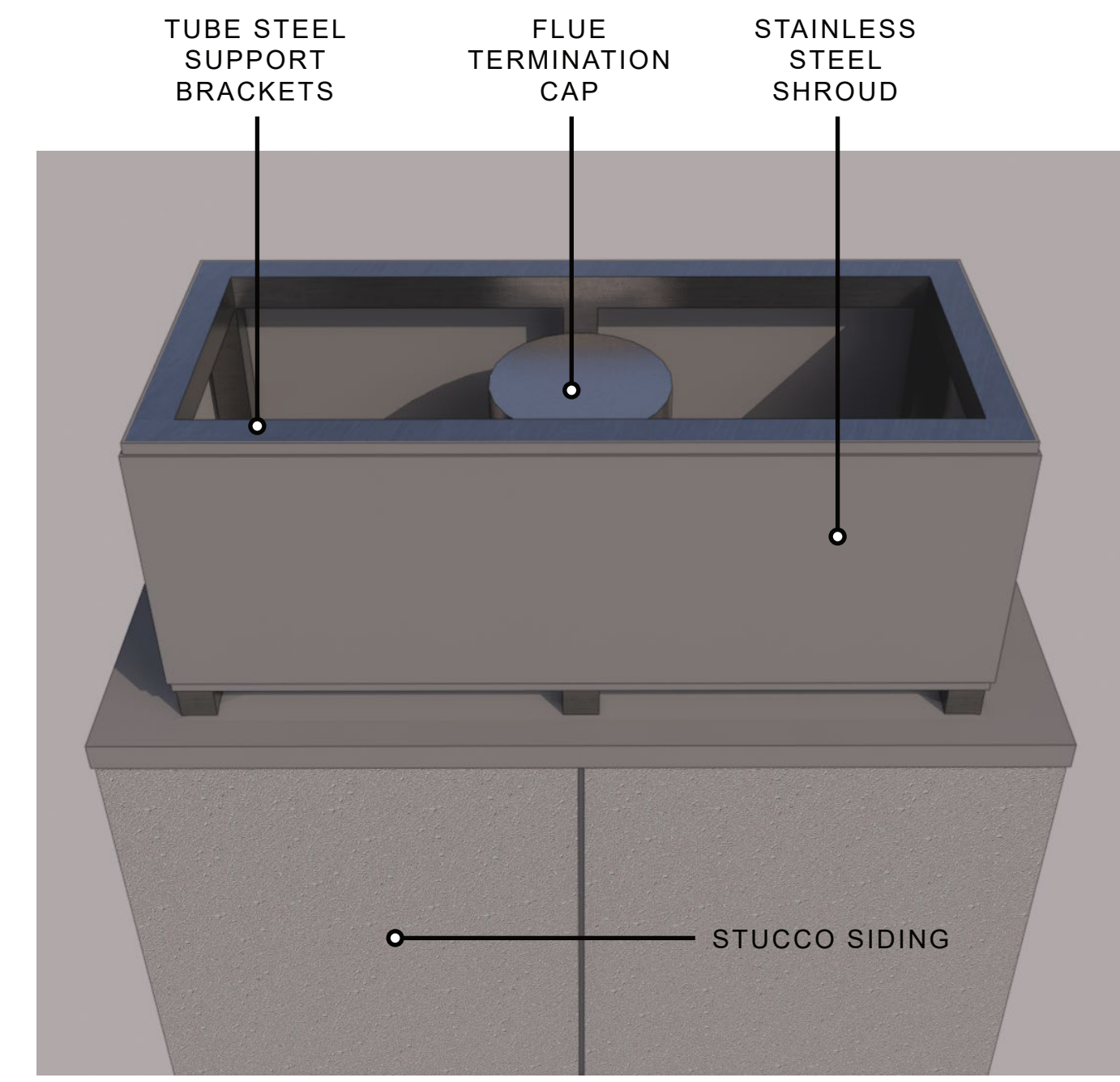
OSTMEYER RESIDENCE
 95 MOUNT JACKSON COURT
 LOT 25, EAGLE RANCH - HIGHLANDS
 EAGLE, COLORADO

ISSUE	DATE
PRE-DESIGN	231218
PRELIMINARY	240205
FINAL	240401

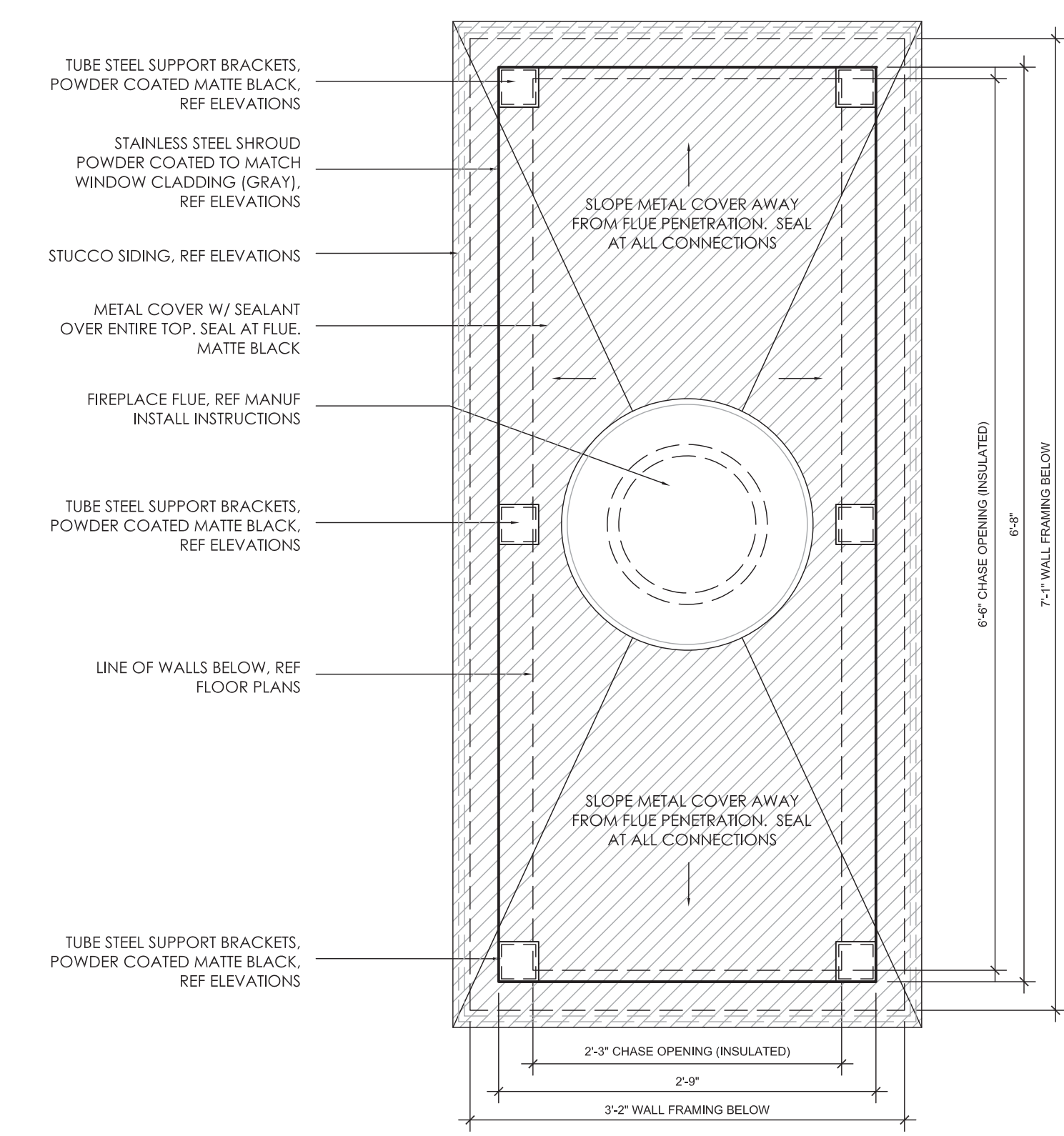
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 1143 CAPITOL STREET, SUITE 211
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A5.1
 DETAILS

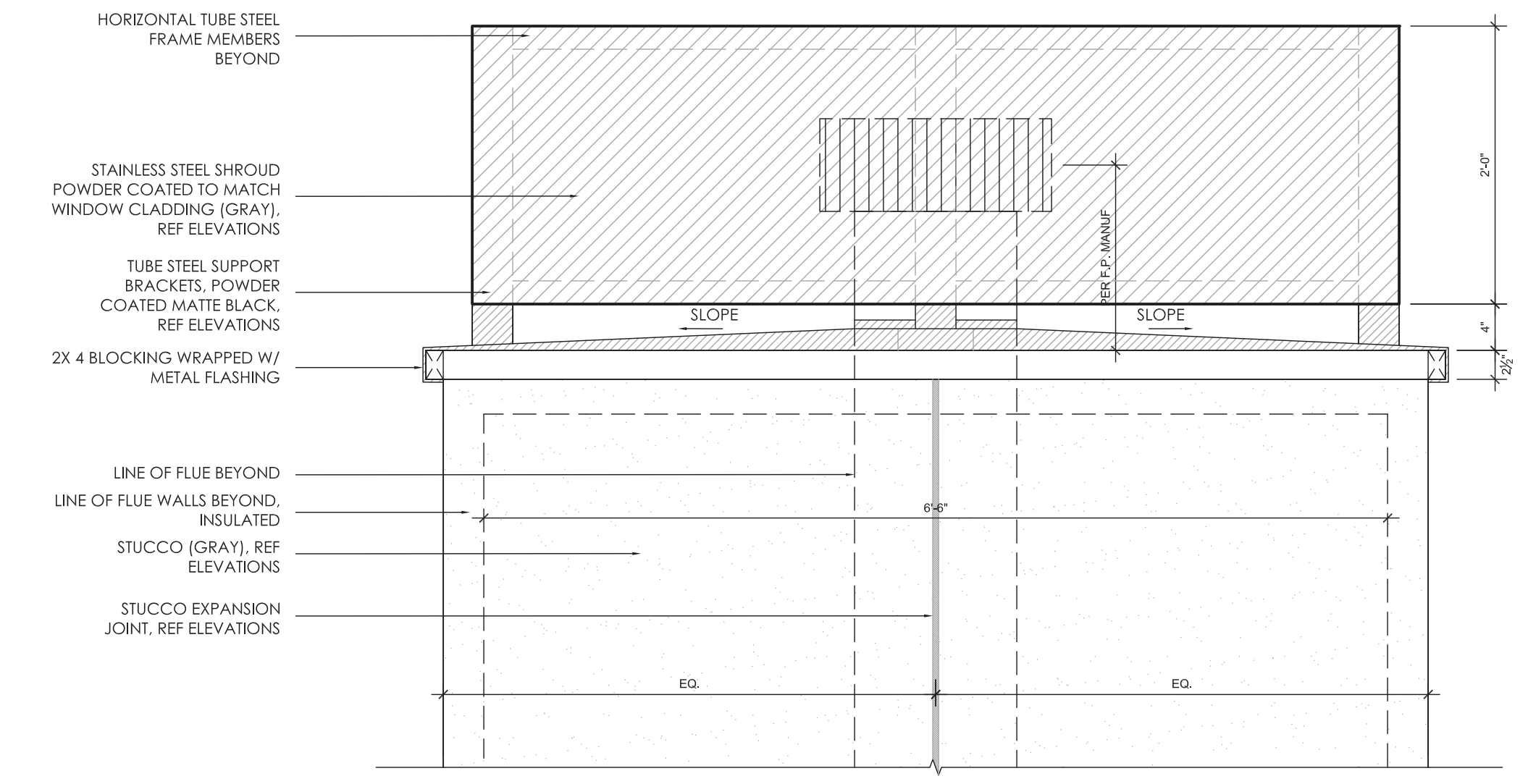
FINAL SUBMITTAL, APRIL 1ST, 2024



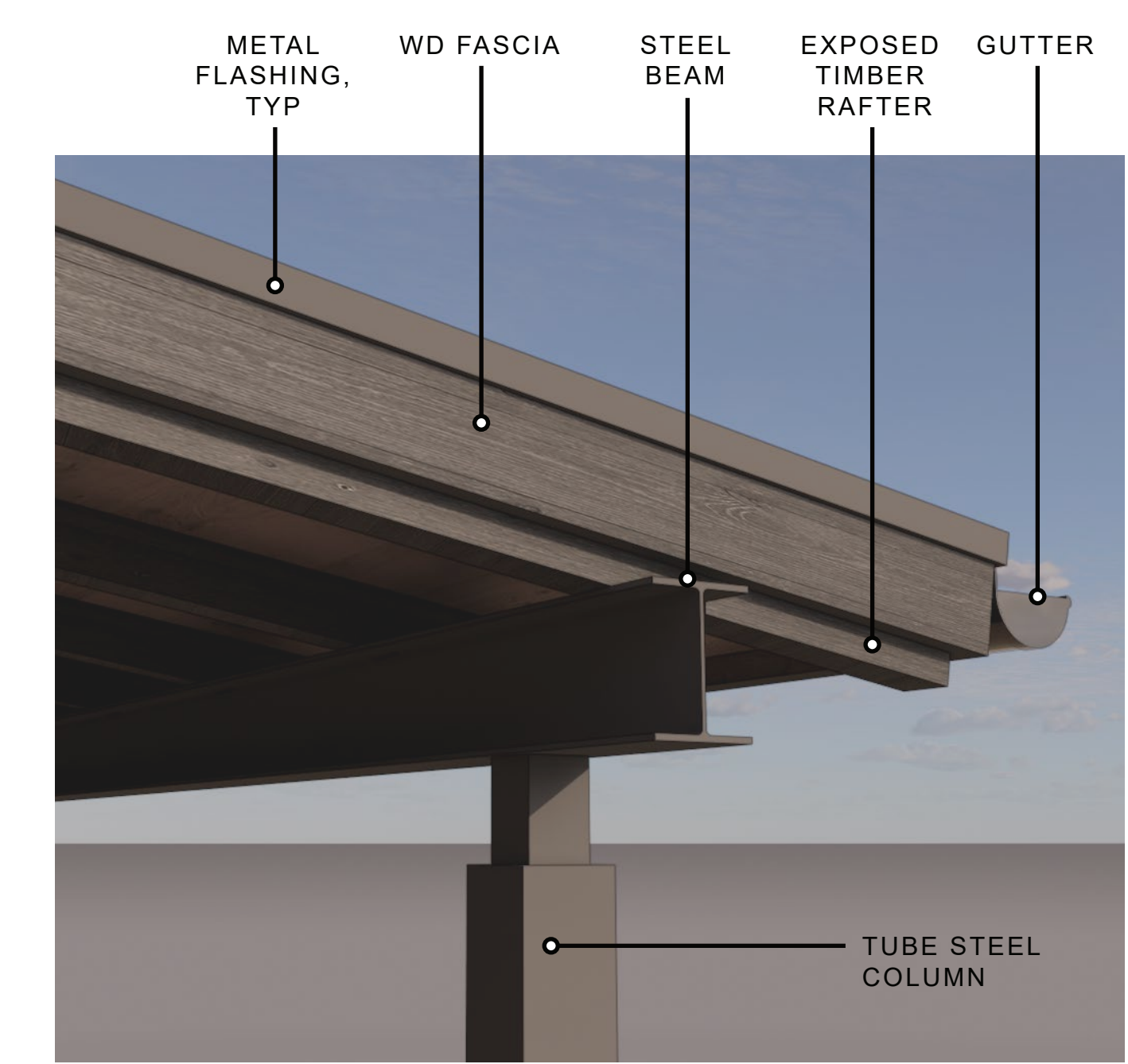
6 CHIMNEY PERSPECTIVE
 A5.1 FOR REFERENCE ONLY



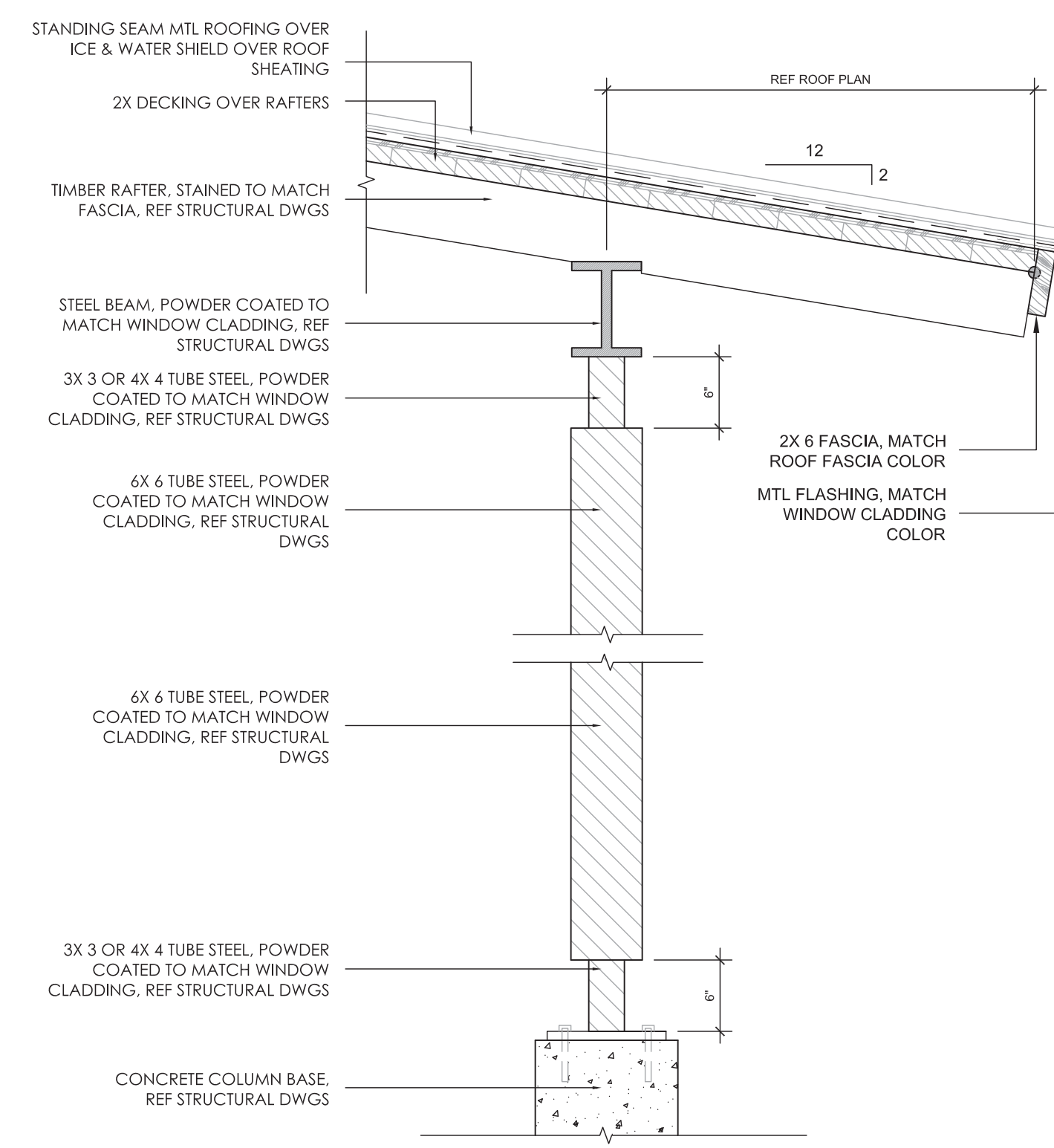
5 CHIMNEY ENLARGED PLAN
 A5.1 1" = 1'-0"



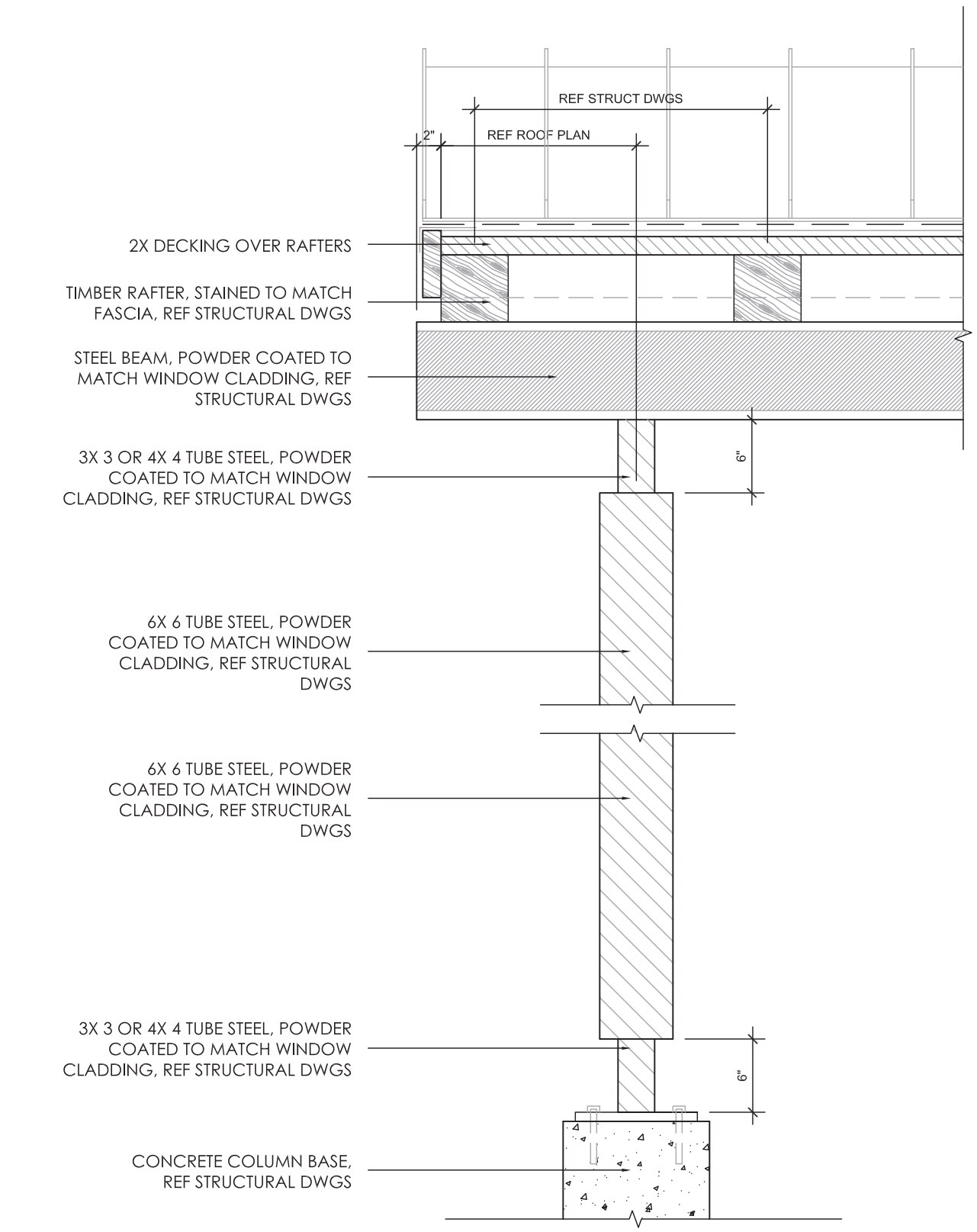
4 CHIMNEY ENLARGED ELEVATION
 A5.1 1" = 1'-0"



3 COLUMN PERSPECTIVE
 A5.1 FOR REFERENCE ONLY



2 SIDE SECTION TYPICAL COLUMN
 A5.1 1" = 1'-0"



1 FRONT SECTION TYPICAL COLUMN
 A5.1 1" = 1'-0"



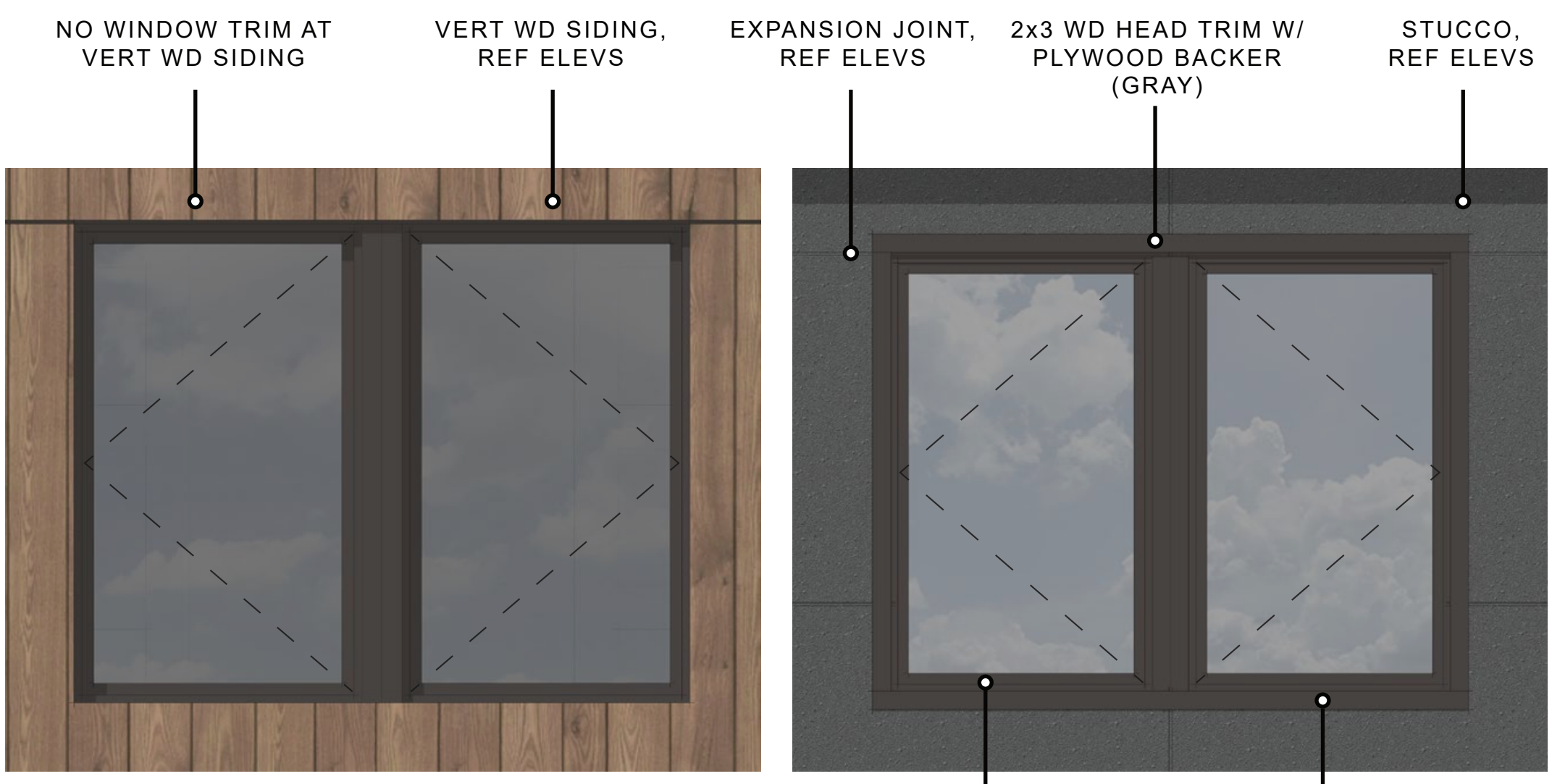
OSTMEYER RESIDENCE
 95 MOUNT JACKSON COURT
 LOT 25, EAGLE RANCH - HIGHLANDS
 EAGLE, COLORADO

ISSUE	DATE
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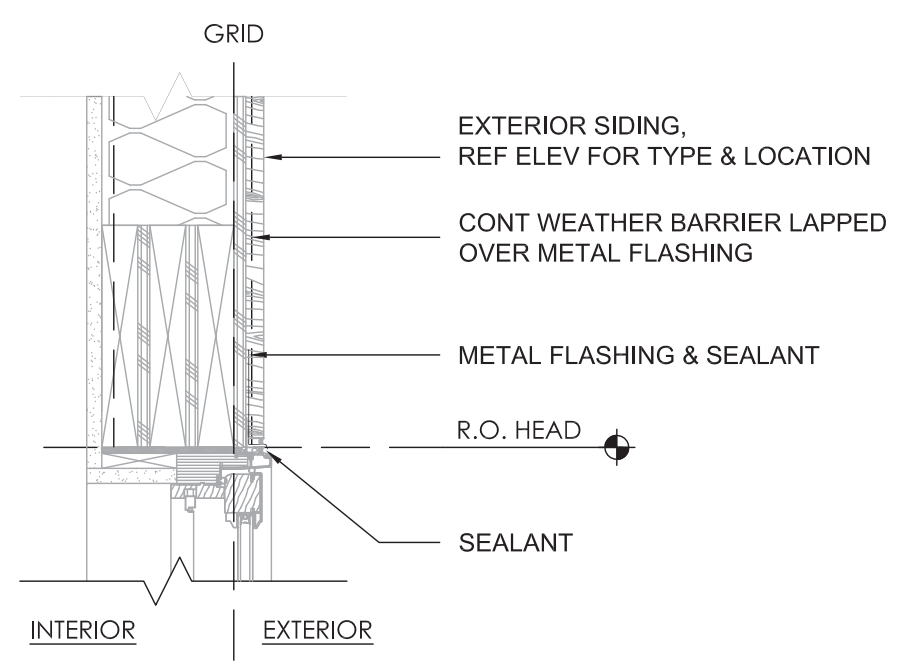
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A5.2
 WINDOW
 DETAILS /
 ELEVATIONS

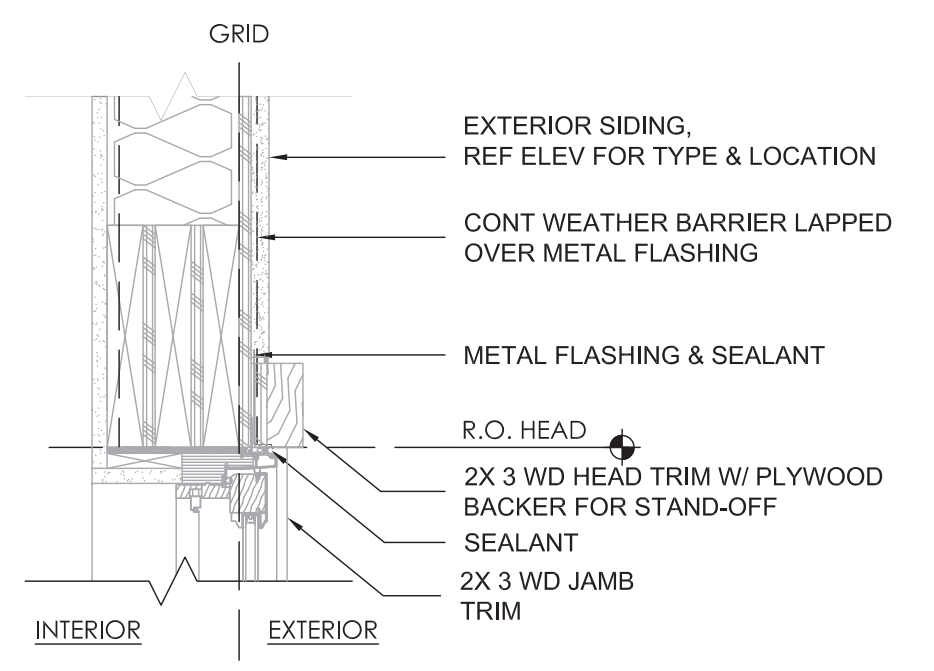
FINAL SUBMITTAL, APRIL 1ST, 2024



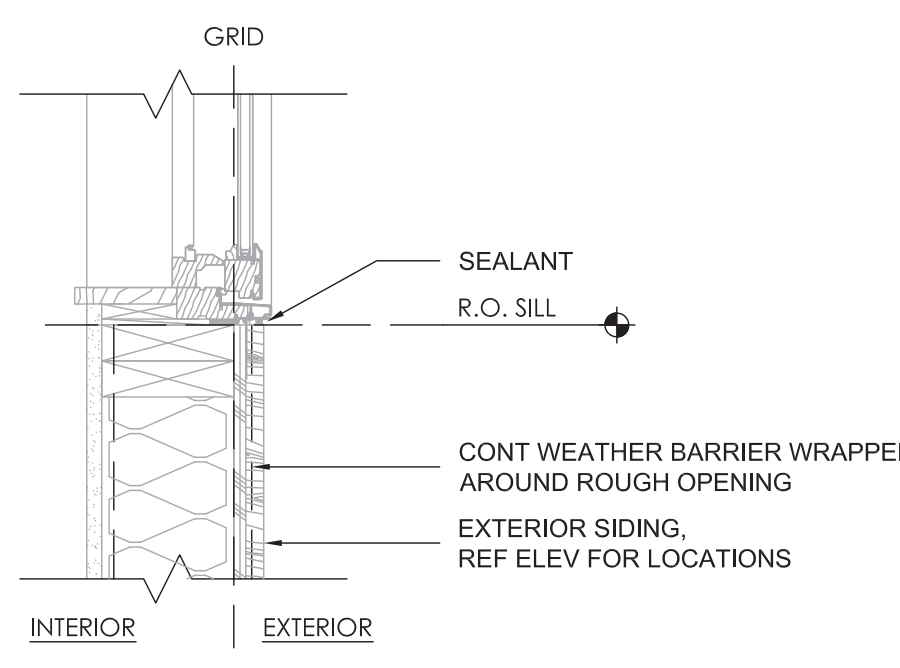
3 WINDOW PERSPECTIVE
 A5.2 FOR REFERENCE ONLY



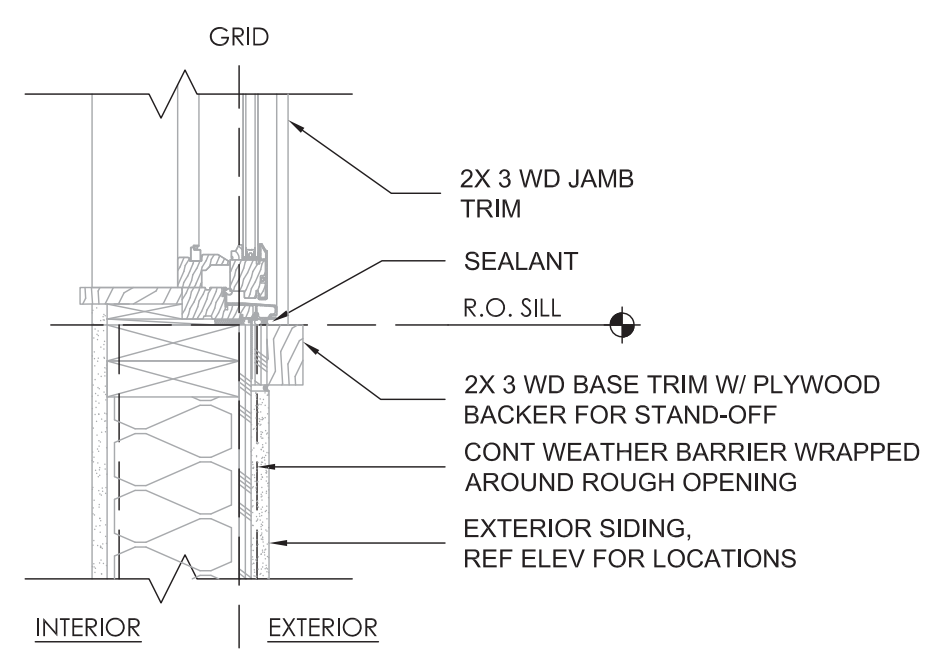
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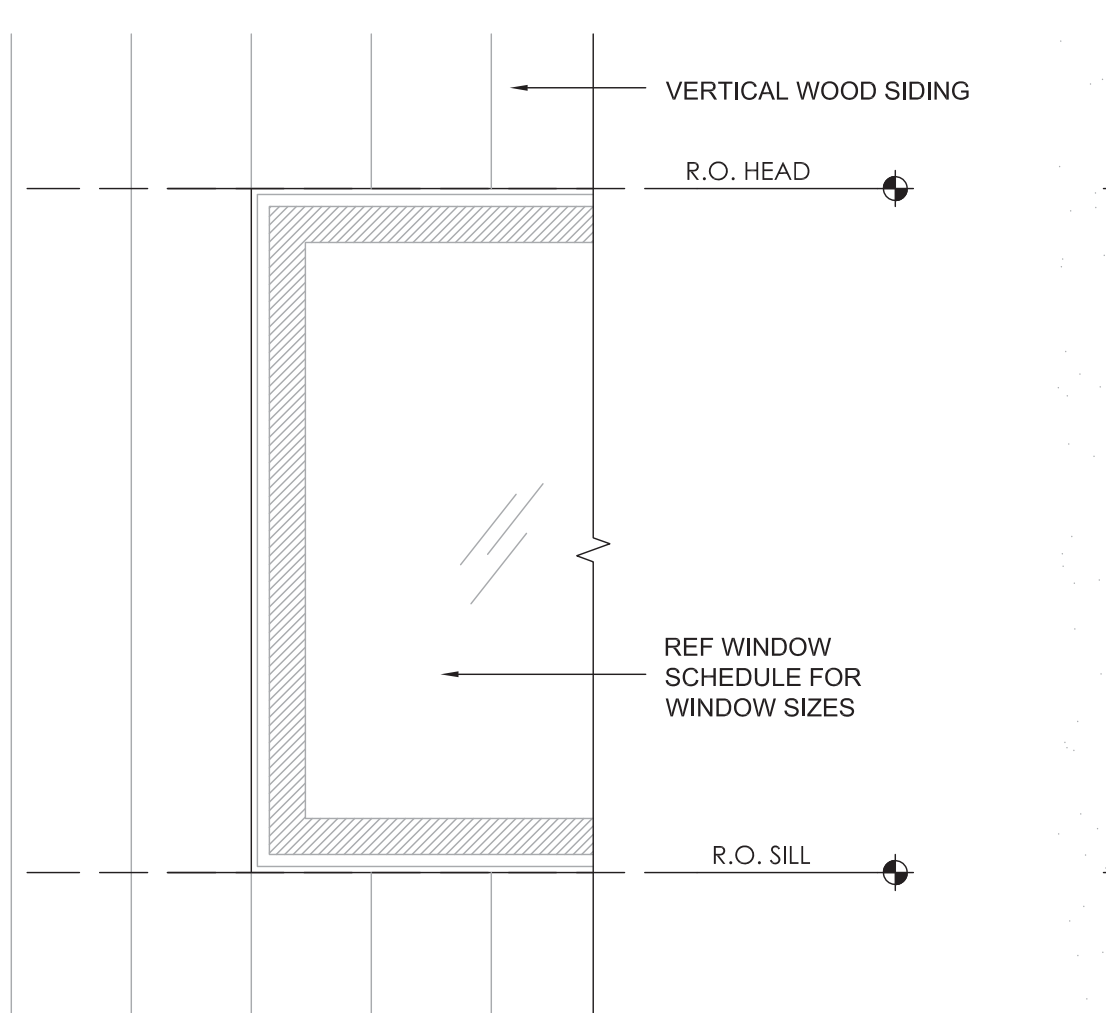
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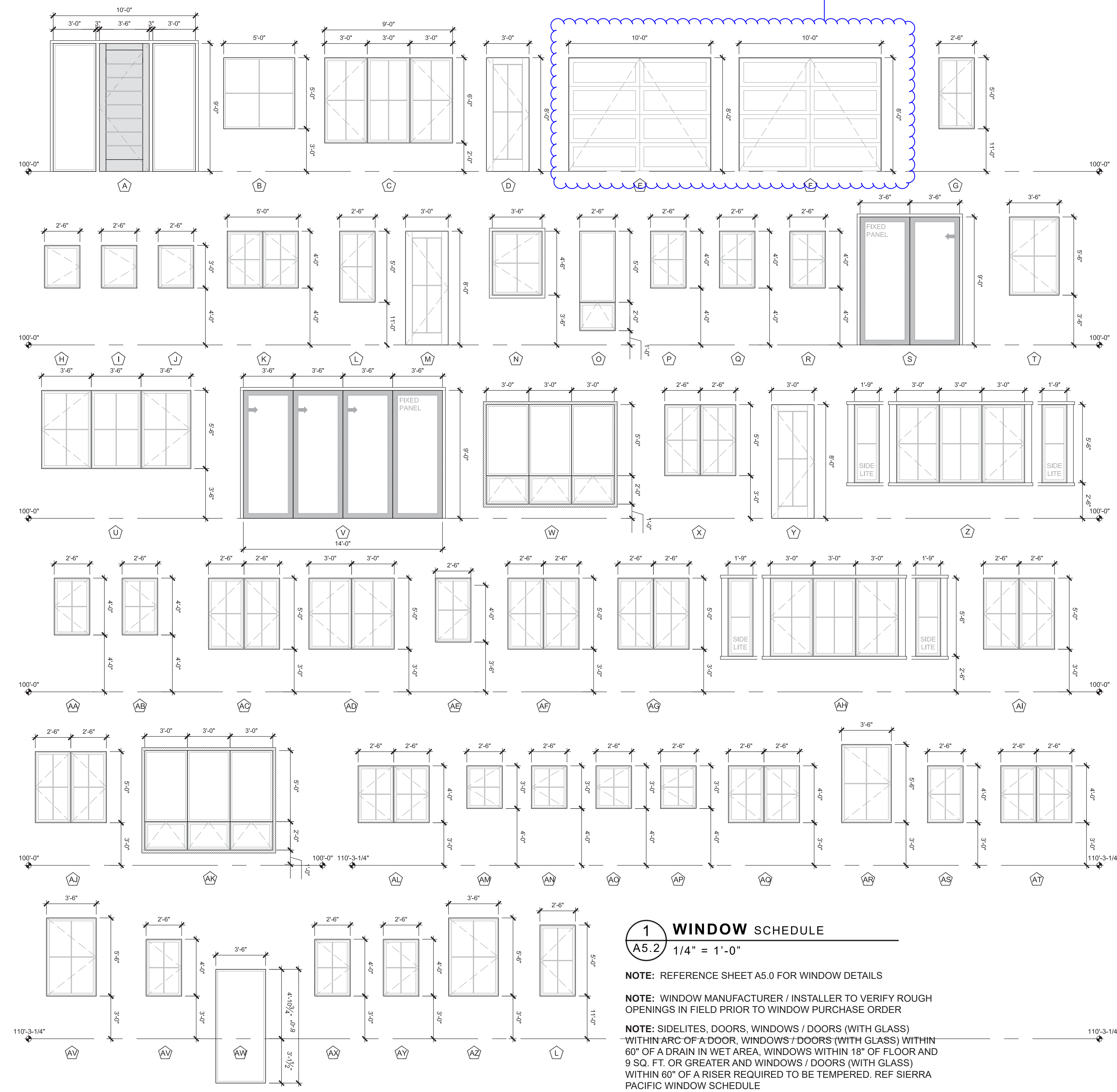
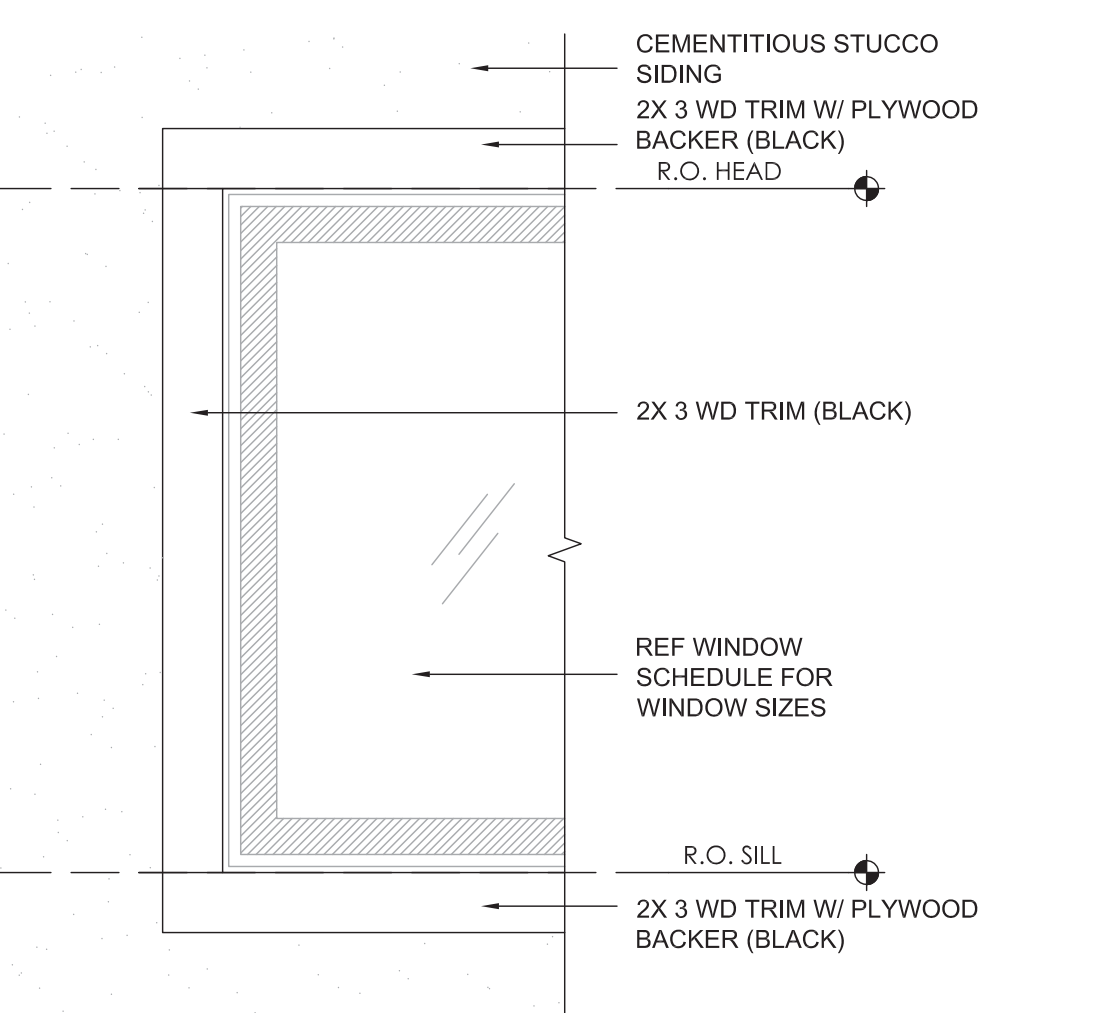
SILL



SILL



2 TYPICAL WINDOW DETAILS
 A5.2 1-1/2" = 1'-0"

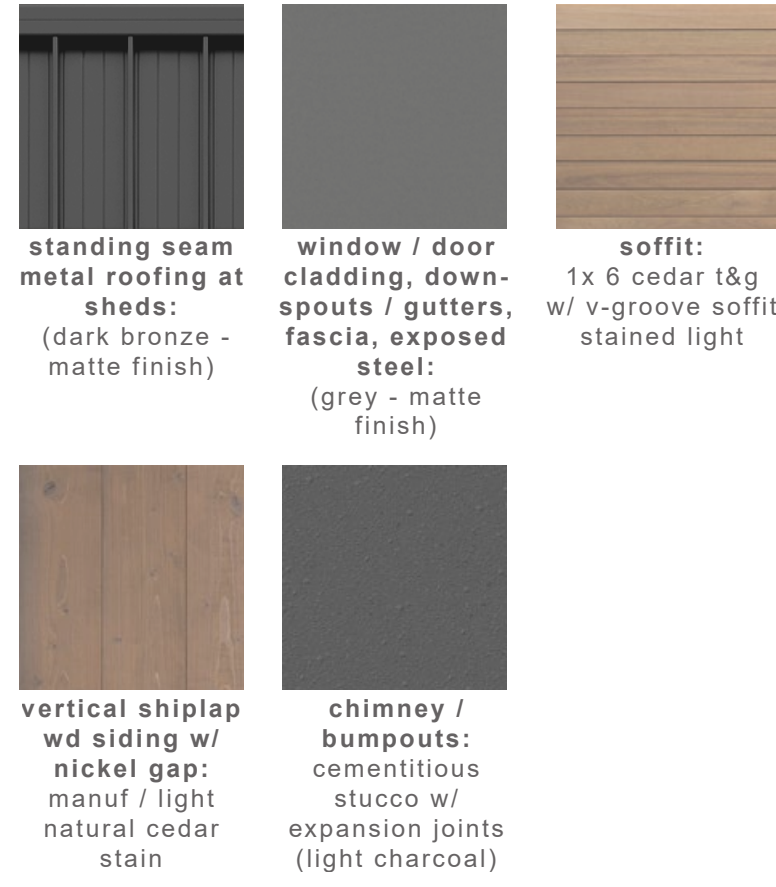


1 WINDOW SCHEDULE
 A5.2 1/4" = 1'-0"

NOTE: REFERENCE SHEET A5.0 FOR WINDOW DETAILS
 NOTE: WINDOW MANUFACTURER / INSTALLER TO VERIFY ROUGH OPENINGS IN FIELD PRIOR TO WINDOW PURCHASE ORDER
 NOTE: SIDELITES, DOORS, WINDOWS / DOORS (WITH GLASS) WITHIN ARC OF A DOOR, WINDOWS / DOORS (WITH GLASS) WITHIN 60" OF A DRAIN IN WET AREA, WINDOWS WITHIN 18" OF FLOOR AND 9 SQ. FT. OR GREATER AND WINDOWS / DOORS (WITH GLASS) WITHIN 60" OF A RISER REQUIRED TO BE TEMPERED. REF SIERRA PACIFIC WINDOW SCHEDULE

Specify garage door materials

7 EXTERIOR MATERIALS
A8.0 NOTE: RENDERINGS ARE FOR REFERENCE ONLY AND NOT INTENDED FOR CONSTRUCTION PURPOSES



GUEST OUTDOOR BR 1 GRILL STATION KITCHEN GREATROOM CONNECTOR MASTER BEDROOM

6 PERSPECTIVE VIEW 6
A8.0 NTS



OFFICE/FLEX CONNECTOR FRONT ENTRY PORCH NOOK GARAGE

3 PERSPECTIVE VIEW 3
A8.0 NTS



8 PERSPECTIVE VIEW 8
A8.0 NTS



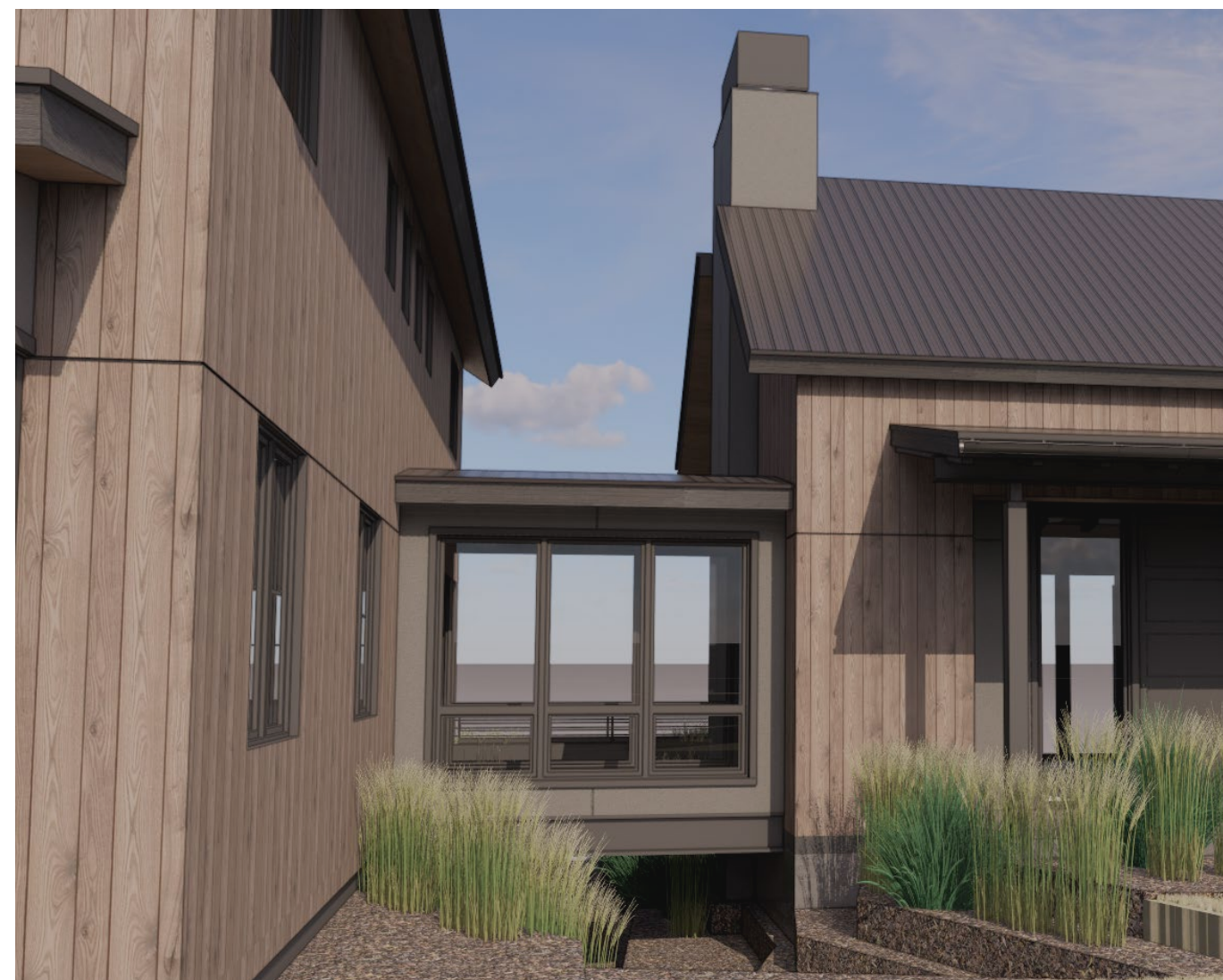
MASTER BEDROOM MASTER BATH STAIR OFFICE / FLEX BR 4 BR 5

5 PERSPECTIVE VIEW 5
A8.0 NTS



GARAGE LAUNDRY/STORAGE OFFICE BR 1 BATH BR 1

2 PERSPECTIVE VIEW 2
A8.0 NTS



7 PERSPECTIVE VIEW 7
A8.0 NTS



REAR GARAGE BR 1 DINING / KITCHEN GREATROOM OUTDOOR PATIO

4 PERSPECTIVE VIEW 4
A8.0 NTS



OUTDOOR PATIO MASTER BEDROOM BR 4 MASTER BATH

1 PERSPECTIVE VIEW 1
A8.0 NTS



OSTMEYER RESIDENCE
 95 MOUNT JACKSON COURT
 LOT 25, EAGLE RANCH - HIGHLANDS
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A8.0
 EXTERIOR
 PERSPECTIVES



Design Review Memorandum

Project Number: 03-06-15
Owner Name: Robins Egg, LLC
Architect: Scott S. Turnipseed, AIA
Address: 333 Robins Egg Lane
Legal: EAGLE RANCH FILING 3 Block: 6 Lot: 15
Preliminary DRB Meeting Date: April 18, 2024

PROJECT OVERVIEW

- Lot Size: 26,053 sf
- Accessory Dwelling Unit: No
- Slopes in Excess of 30%: No
- Design Guidelines: Meadows
- Style: Craftsman
- Fire Suppression System: Refer to GERFPD and EVW for fire suppression requirements



LIMITATIONS

Standard	Allowed	Proposed
Floor Area Maximum	6,000 sf	4,653 sf
Floor Area Minimum	1,500 sf	Complies
House Footprint Maximum	5,000 sf	4,653 sf
Maximum Lot Coverage	30% = 7,815 sf	4,653 sf
Impervious Area	50% = 13,026 sf	6,616 sf
Height	35 ft	Complies
Setbacks	Front: 25 feet Sides: 15 feet Rear: 25 feet	Complies
Driveway Setback	7.5 ft from side property line	>7.5 ft

PRELIMINARY PLAN REVIEW – April 18, 2024

1. Site and Landscape Comments

- a. 2.2.3 (2-3) *On curved streets, the front of the house should be tangent to the curve in front of the house. Where side property lines are skewed more than 5 degrees from perpendicular to the street frontage or on cul-de-sac lots where such a skew creates a hardship upon the placement of a reasonable house, the DRB may grant a variance. Currently, house is rotated approx. 15 degrees from tangent.*
Staff request DRB input.
- b. 2.2.1.1 (3) *For narrow frontage and cul-de-sac lots, the preferred minimum façade zone/front setback is 40 feet, and the preferred maximum is 50 feet. However, certain homesites with a very narrow frontage may require a greater maximum front setback to accommodate a reasonable house width. This will be determined on a homesite by homesite basis by the Design Review Board.*
 Facade zone as shown is between 35' and 45' from property line.
Staff requests DRB input.
- c. 2.2.8 (1) *The width of the main mass of the house built in the façade zone may not exceed 50 feet. As drawn, the width of the house at the widest part of the façade zone exceeds 50'. However, only portions of the building mass protrude into the façade zone, each of which is less than 50'.*
Staff requests DRB input.
- d. 2.2.10 (1-2) *Provide a walkway from the public sidewalk to the front porch that, if elevated, must have steps leading up to it.*
On lots with less than 75 feet of street frontage, a walkway from driveway to porch may be provided in lieu of that described in item 2.2.10 a. (above).
 Current drawings show a walkway from the front porch to the driveway, but no pathway from the front porch to the sidewalk even though street frontage exceeds 75'.
Staff request DRB input.
- e. 2.2.5 (3) *From the lot line to the front of the façade zone the width of the driveway cannot exceed 12 feet.*
 Driveway width is currently shown at 12' from road edge to lot line but exceeds 12' wide from lot line to the front line of the facade zone.
Staff requests DRB input.
- f. Regarding the berm at the rear of the property:

- i. 2.4.2.4 (3) *Side slope gradients must vary in steepness with no slope exceeding 2:1 gradient.* There is a note on the landscape plan acknowledging this guideline, but site grading plan shows slope exceeding 2:1 gradient.
- ii. 2.4.2.4 (5) *The crest of any berm must vary in height by at least 1 foot in each 15 feet of berm length.* Top of berm shown is approximately 36' long with no indicated variation in height.

2. Architecture Comments

- a. 3.3.5 (3) *Front Porch Columns should spring from capped piers that extend at least 3 ½ feet above the porch deck level. The piers may be clad in any approved masonry or siding product.*
Front porch columns are shown with no base piers.
- b. 3.3.5 (7) *Either railings or parapet walls are provided to enclose the porch.*
Porch is not enclosed with either parapet walls or railings.
- c. 2.3.1.3 (1) *Corner boards should be provided with shingle, wood (or simulated wood) siding.*
Specify corner detailing for Final Review.
- d. 2.3.2.3 (5): *Except for selected large fixed glass picture windows, all casement and fixed glass windows require one of the following divided light patterns:*
 - a. *A widened horizontal mullion at the mid-line of the glazing giving the appearance of a double hung window;*
 - b. *A course of divided light mullions across the top of the glazing; or*
 - c. *A multi-light transom window mullied directly above the subject window.*Currently there are no divided light patterns shown on the windows.
Staff requests DRB input.

3. Staff Recommendation

Staff recommends approval of the Preliminary Plan Review for the Residence with the following conditions:

1. General Condition: Compliance with the Eagle Ranch Design Guidelines and process is not a substitute for compliance with Town of Eagle regulations, State regulations, or Federal regulations. Additional permits and approvals may be required by these agencies prior to commencing any work on the property. The property owner and its agents are responsible for ensuring compliance with all local, state, and federal regulations.
2. The applicant shall address the comments provided in this staff memorandum and any DRB comments prior to submittal for Final Review.
 - a) For Final Review, include roof plan with ridge heights on grading plan.
 - b) For Final Review, include AC and mechanical units on landscape plan to ensure appropriate screening.
 - c) For Final Review, include landscape cost estimate and approximate completion date.
 - d) For Final Review, show all utility connections.
 - e) For Final Review, show address marker location and detail.
 - f) For Final Review, show construction sign detail on construction management plan.
 - g) For Final Review, show exterior lighting location on elevations.

OWNER:

ROBINS EGG, LLC
PO BOX 3388
EAGLE, COLORADO 81631-3388

ARCHITECT:

SCOTT S. TURNIPSEED, AIA
ARCHITECTURE AND CONSTRUCTION, INC.
PO BOX 3388
1143 CAPITOL STREET, STE 211
EAGLE, CO 81631
970-328-3900
GLENN HAKAKAL, ARCHITECT
glenn@sstaia.com



333 ROBINS EGG LANE

LIST OF DRAWINGS:

- CS.1 COVER SHEET
- CS.2 MODEL VIEWS
- A0.1 SITE PLAN / EXTERIOR LIGHTING
- A0.2 SURVEY / GIS IMAGE
- A0.3 SITE SECTIONS
- L1.1 LANDSCAPE PLAN
- A1.1 FIRST FLOOR PLAN
- A1.2 ROOF PLAN
- A2.1 FRONT & RIGHT ELEVATIONS
- A2.2 REAR & LEFT ELEVATIONS

TURNIPSEED

ARCHITECTURE
CONSTRUCTION
INTERIOR DESIGN

SINCE 1995

333 ROBINS EGG LANE
LOT 15, BLOCK 6, FILING 3
EAGLE, COLORADO

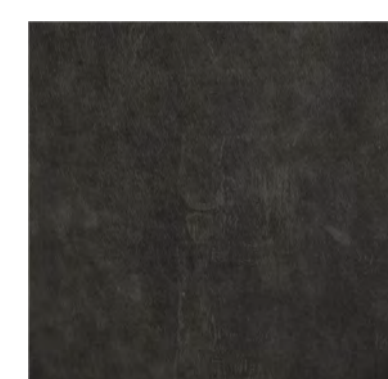


ISSUE:	DATE:
PRE-DESIGN	03.11.2024
OWNER REVIEW	03.12.2024
PRELIMINARY DRB	03.27.2024

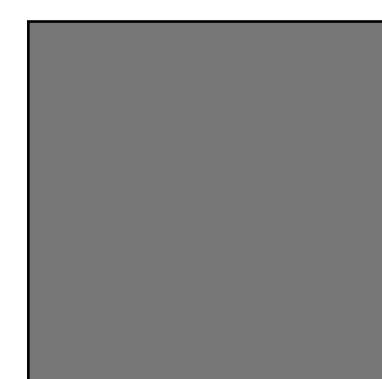
MATERIALS PALETTE:



ROOF
STANDING SEAM
CHARCOAL



WINDOWS
DARK BRONZE



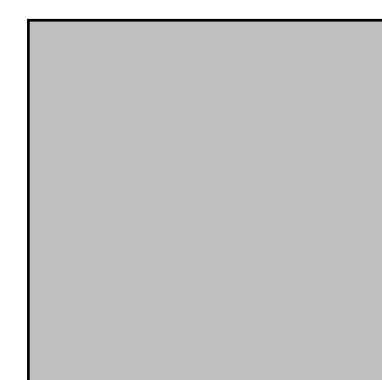
TRIM
DARK GRAY



ROOF
ASPHALT SHINGLE - GAF
TIMBERLINE - CHARCOAL



VERTICAL HEMLOCK SIDING
VINTAGE WOODS - 107 DRIFTWOOD



GUTTERS, SNOW GUARDS
GALVALUME

SITE COVERAGE:

PARCEL NO.	2109-092-05-002
SITE	0.599 ACRES (26,092 SF)
FOUNDATION FOOTPRINT	4,621 SF (17.7% < 30.0%)
DRIVEWAY	948 SF
WALKWAYS	399 SF
PORCHES (COVERED)	861 SF
TOTAL IMPERVIOUS	6,829 SF (26.2% < 50%)

RADON MITIGATION:

REQUIRED PER APPENDIX F OF THE IRC;
METHOD AS CHOSEN BY GENERAL CONTRACTOR

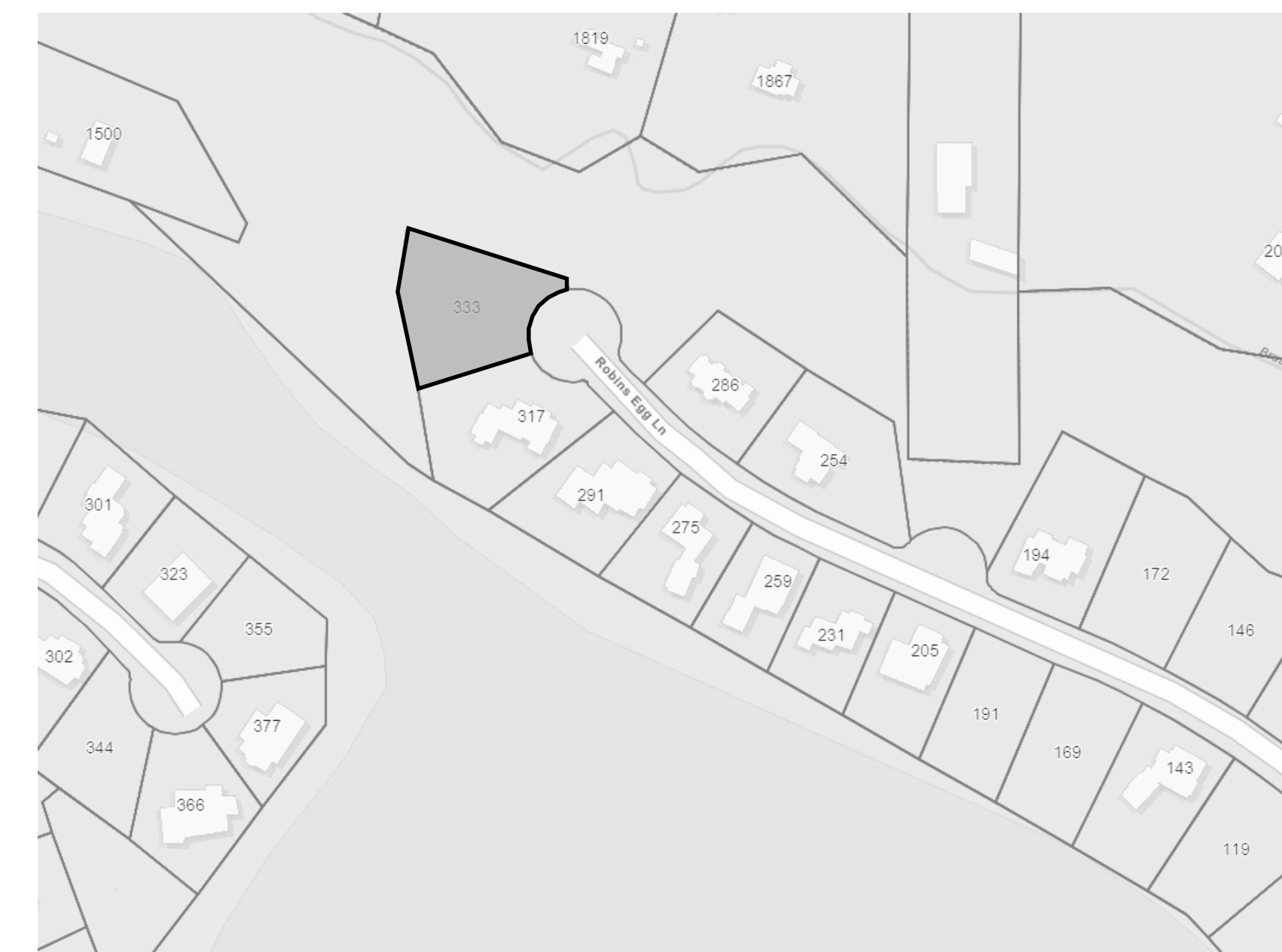
HEATING / COOLING:

NATURAL GAS; INFLOOR RADIANT;
CENTRAL AIR CONDITIONING

PROJECT SUMMARY:

NEW CONSTRUCTION:	SINGLE FAMILY
NUMBER OF STORIES:	1
PARKING (INSIDE):	4
PARKING (OUTSIDE):	2
BEDROOMS:	4
BATHROOMS:	4.5
FLOOR AREA:	
FIRST FLOOR FINISHED	3,425 SF
TOTAL FINISHED	3,425 SF
CRAWL SPACE (<5')	
GARAGE / MECHANICAL	1,196 SF
GARAGE ATTIC STORAGE (>5')	192 SF
GROSS SQUARE FOOTAGE	4,813 SF < 6,000 SF

LOCATION MAP:



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CS.1
COVER SHEET

Exterior Lighting Worksheet – Eagle Ranch Design Review

Filing/Block/Lot: 15 / 6 / 03 Address: 333 ROBINS EGG LANE

Luminaire (Fixture) Location	Luminaire (Fixture) Data		Lamp (Bulb) Data			Lumens by Luminaire Type			
	Brand/Model # - Attach Manufacturer Cut Sheet(s)	Qty	Lamp Type	Lamps per Luminaire	Watts per Lamp	Lumens per Lamp	Unshielded Luminaire ²	IDA Certified Luminaire ³	Switch Type ⁶
A porches	James Allen - pws97680 - blk	1	LED	1	9	624		✓	
B master / garage	James Allen - pws44456 - blk	3	LED	1	9	624		✓	
C porches	NSLIC-401AT/10 with NL410 or NL412	6	LED	1	5	500		✓	
Subtotal Lumens by Luminaire Shielding Category (Unshielded or IDA Certified ⁴)							1,752 Lumens		
Total Lumens all Luminaire Categories (not to exceed 5,500 Lumens)							5,496		

Prepared by: Glenn Harakal Date: 03/27/2024
 Owner Signature: _____ Date: _____
 Print Name: _____

- Notes:
- Lamp (Bulb) Type = Incandescent (I), Compact Fluorescent (CFL), Low-voltage Halogen (LV), Light Emitting Diode (LED), etc.
 - Watts as marked on lamp.
 - Lumen comparisons for lamp types. General retail outlets (i.e. grocery, hardware store, etc.) may not carry all wattages. Consider specialty stores or internet sources.

Typical Lumens/Lamp ⁵ :					
Incandescent		Compact Fluorescent		Lo-Voltage Halogen	
Watts	Lumens	Watts	Lumens	Lamp Base	Watts Lumens
25	200	5	200	G4	5 55
40	500	8-10	450	G4	10 140
60	800-890	13-18	890	G4	20 320
75	1080-1200	18-22	1210	G8Y 35	35 600
100	1420-1750	23-28	1750	G8Y 35	50 950

- The International Dark-Sky Association (<http://www.darksky.org>) certifies luminaires that minimize glare, reduce light trespass, and don't pollute the night sky.
- Luminaire Shielding Category is Unshielded unless specifically certified with International Dark-Sky Association Fixture Seal of Approval.
- Switch Type = manual (M), motion detector (MD), photocell (P), rheostat (R), timer (T)

P:\DRB forms\ExtLght\Wksht2017.docx

2.4.2.4 (5) The crest of any berm must vary in height by at least 1 foot in each 15 feet of berm length.

2.4.2.4 (3) Side slope gradients must vary in steepness with no slope exceeding 2:1 gradient.

Is this a 1' contour line?



EXTERIOR LIGHT FIXTURE
 BRAND: NORA LIGHTING
 MODEL: 5" RECESSED LED CAN
 FINISH: WHITE WITH WHITE BAFFLE
 WIDTH: 5" HEIGHT: 1.8"
 CODE: NL410
 DARK SKY COMPLIANT
 5W LED



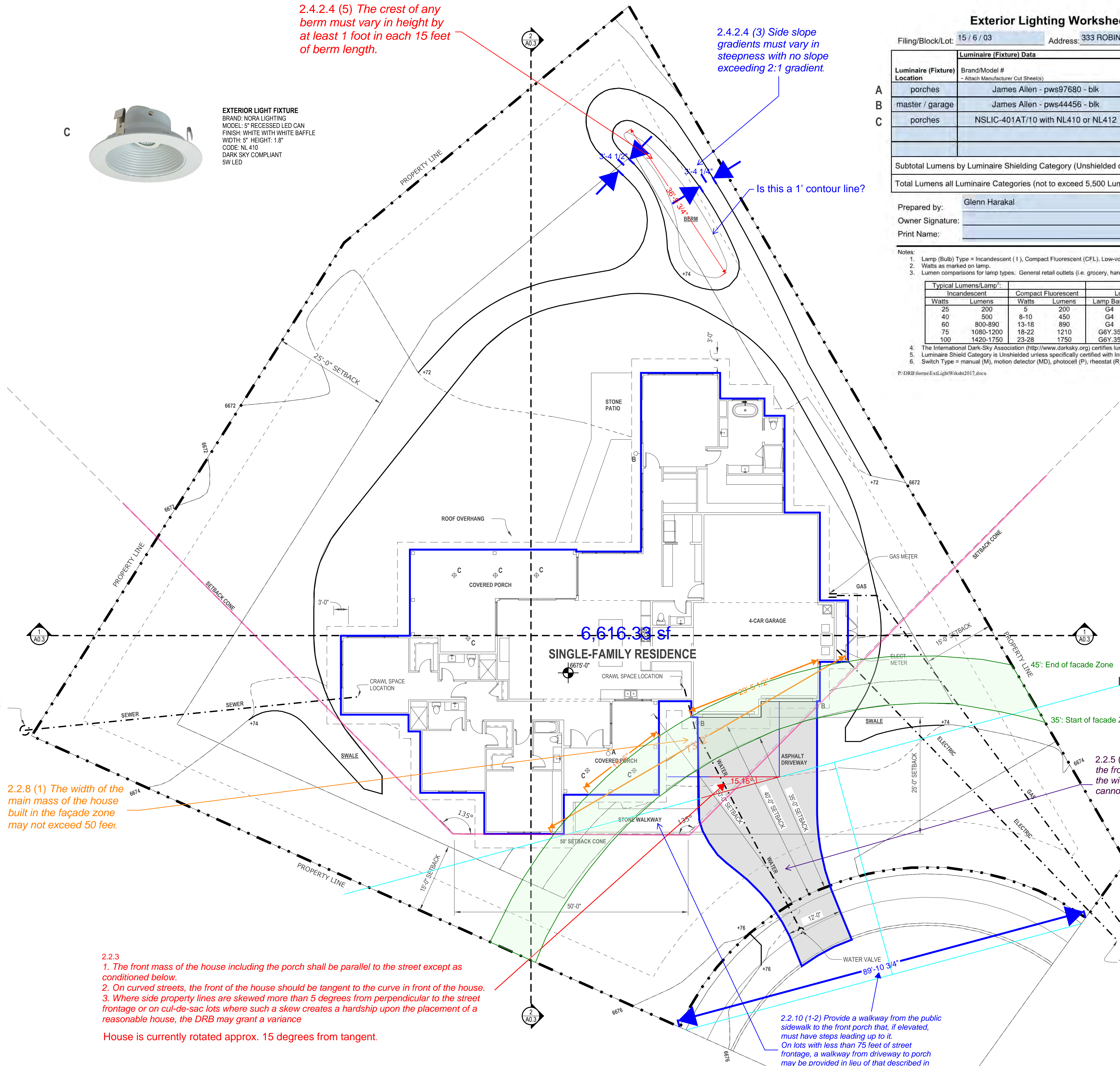
EXTERIOR LIGHT FIXTURE
 BRAND: JAMES-ALLEN
 MODEL: PATTON 20" TALL
 FINISH: BLACK WITH CLEAR GLASS
 WIDTH: 5 1/8" HEIGHT: 20"
 CODE: PWS97680BK
 DARK SKY COMPLIANT
 9W LED



EXTERIOR LIGHT FIXTURE
 BRAND: JAMES-ALLEN
 MODEL: PATTON 12" TALL
 FINISH: BLACK WITH CLEAR GLASS
 WIDTH: 5 1/8" HEIGHT: 12"
 CODE: PWS44456BK
 DARK SKY COMPLIANT
 9W LED



HARD HAT WITH UNSHIELDED HEAD LAMP
 ENERGIZER NO. S-21093
 NOT DARK SKY COMPLIANT
 300 LUMENS X QTY. 4 = 1,200 LUMENS



2.2.8 (1) The width of the main mass of the house built in the facade zone may not exceed 50 feet.

2.2.3
 1. The front mass of the house including the porch shall be parallel to the street except as conditioned below.
 2. On curved streets, the front of the house should be tangent to the curve in front of the house.
 3. Where side property lines are skewed more than 5 degrees from perpendicular to the street frontage or on cul-de-sac lots where such a skew creates a hardship upon the placement of a reasonable house, the DRB may grant a variance

House is currently rotated approx. 15 degrees from tangent.

2.2.5 (3) From the lot line to the front of the facade zone the width of the driveway cannot exceed 12 feet.

SUPPLEMENTAL EXTERIOR LIGHTING (INCLUDES FALL PROTECTION):

2.2.10 (1-2) Provide a walkway from the public sidewalk to the front porch that, if elevated, must have steps leading up to it. On lots with less than 75 feet of street frontage, a walkway from driveway to porch may be provided in lieu of that described in item 2.2.10 a. (above).

1 SITE PLAN
 A0.1 SCALE: 1" = 10'-0"



333 ROBINS EGG LANE
 LOT 15, BLOCK 6, FILING 3
 EAGLE, COLORADO

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A0.1
 SITE PLAN /
 EXTERIOR
 LIGHTING

March 27, 2024



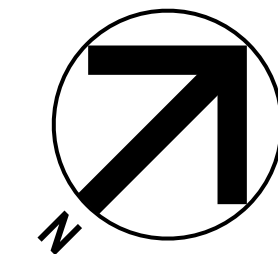
3 STREET VIEW PHOTO
A0.2



2 GIS IMAGE
A0.2 SCALE: 1" = 60'-0"



1 SURVEY
A0.2 SCALE: 1" = 10'-0"



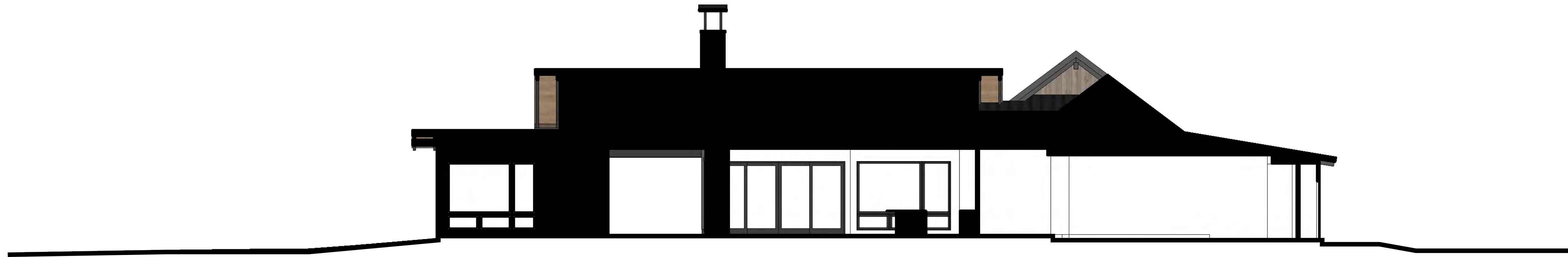
TURNPISEED
ARCHITECTURE
CONSTRUCTION
INTERIOR DESIGN
SINCE 1995

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LOT 15, BLOCK 6, FILING 3
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A0.2
SURVEY / GIS
IMAGE



1 SITE SECTION
A0.3 SCALE: 1/8" = 1'-0"



2 SITE SECTION
A0.3 SCALE: 1/8" = 1'-0"

ISSUE:	DATE:
PRE-DESIGN	03.11.2024
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PLANT MATERIAL LIST:

MARK	QTY	BOTANICAL NAME	COMMON NAME	SIZE / CALIPER
EVERGREEN TREES				
PP	2	PICEA PUNGENS	COLORADO SPRUCE	12'
PF	2	PINUS FLEXILIS	LIMBER PINE	8'
PE	2	PICEA ENGELMANNII	ENGELMANN SPRUCE	12'
DECIDUOUS TREES				
AF	1	ACER GINNALA 'FLAME'	AMUR MAPLE	2.5"
MR	1	MALUS SPECIES	FLOWERING CRABAPPLE- RADIANT	2.5"
MS	1	MALUS SPECIES	FLOWERING CRABAPPLE- SPRING SNOW	2.5"
PT	7	POPULUS TREMULOIDES (EXISTING)	QUAKING ASPEN (EXISTING STREET TREE)	2.5"
EX	3			EXG.
SHRUBS				
AA	2	AMELANCHIER ALNIFOLIA	SERVICEBERRY	#5
CM	2	CERCOCARPUS MONTANUS	MOUNTAIN MAHOGANY	#5
CS	3	CORNUS STOLONIFERA	REDTIG DOGWOOD	#5
JC	5	JUNIPERUS COMMUNIS	JUNIPER	#5
RC	1	RIBES CEREUM	WAX CURRRANT	#5
RW	4	ROSA 'WOODSII'	WOOD'S ROSE	#5
SO	2	SYMPHORICARPOS OROEPHILUS	MOUNTAIN SNOWBERRY	#5
CA	4	CORNUS ALBA 'ARGENTEOMARGINATA'	VARIEGATED DOGWOOD	#5
CL	2	COTONEASTER LUCIDUS	PEKING COTONEASTER	#5
JB	8	JUNIPERUM HORIZONTALIS 'BLUE CHIP'	BLUE CHIP JUNIPER	#5
LI	2	LONICERA INVOLUCRATA	TWINBERRY HONEYSUCKLE	#5
PO	4	POTENTILLA SPECIES	POTENTILLA	#5
PA	2	PEROVSKIA ATRIPLICIFOLIA	RUSSIAN SAGE	#5
RA	2	RIBES ALPINUM	ALPINE CURRRANT	#5
RF	2	ROSA FOETIDA 'BICOLOR'	AUSTRIAN COPPER ROSE	#5
SP	2	SALIX PURPUREA 'NANA'	SNOWMOUND SPIREA	#5
SV	4	SYRINGA VULGARIS	COMMON PURPLE LILAC	#5
SM	1	SALIX MONTICOLA	MOUNTAIN WILLOW	#5
PH	4	PICEA PUNGENS 'HOOPSII'	HOOPSII SPRUCE	#5
PM	4	PINUS MUGO MUGUS	DWARF MUGO PINE	#5
CONTAINER GRASSES				
FG	3	FESTUCA GLAUCA 'ELIJAH BLUE'	ELIJAH BLUE FESCUE	#5
MG	2	MISCANTHUS SINENSIS 'GRACILLIMUS'	MAIDEN GRASS	#5
CK	5	CALAMAGROSTIS ACUTIFLORA 'K.F.'	FEATHER REED GRASS	#5

NOTE: ALL PERIMETER BEDS TO BE PLANTED WITH A MIX OF PERENNIALS AND GROUND COVERS; MINIMUM QUANTITY OF 40 PER EAGLE RANCH DESIGN GUIDELINES; PROVIDE METAL EDGING, WEED BARRIER FABRIC AND MULCH.

IRRIGATION:

TYPE OF WATER IRRIGATION	AREA	REMARKS
SPRINKLER SYSTEM (ON TIMER)	3,190 SF	LAWNS
DRIP IRRIGATION (ON TIMER)	2,682 SF	PERIMETER BEDS / BERM
NON-IRRIGATED (NATIVE GRASSES AND VEGETATION)		PROVIDE TEMPORARY SURFACE IRRIGATION FOR A MINIMUM OF 2 YEARS TO ESTABLISH

LOCATE SPRINKLER CONTROLS AT UTILITY ENCLOSURE

3' HIGH BERM WITH SIDE SLOPES NOT TO EXCEED 2:1 GRADIENT.
As shown exceeds 2:1 gradient. Verify for Final Review.



333 ROBINS EGG LANE
LOT 15, BLOCK 6, FILING 3
EAGLE, COLORADO

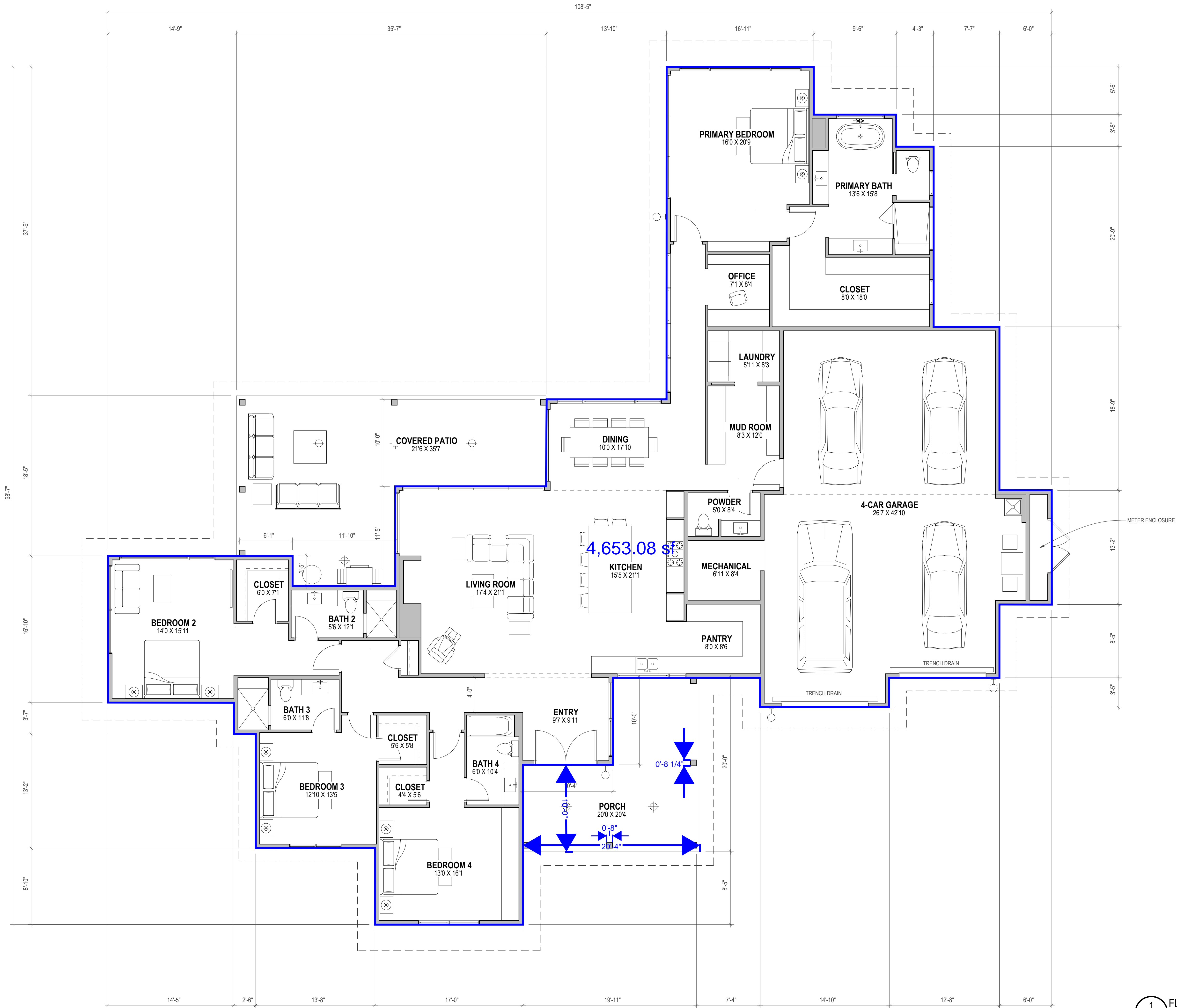
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EAGLE, COLORADO 81631
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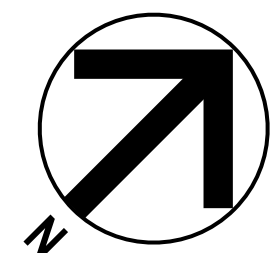
1 LANDSCAPE PLAN
L1.1 SCALE: 1" = 10'-0"

L1.1
LANDSCAPE PLAN

March 27, 2024



4,653.08 \$



1 FLOOR PLAN
A1.1 SCALE: 3/16" = 1'-0"



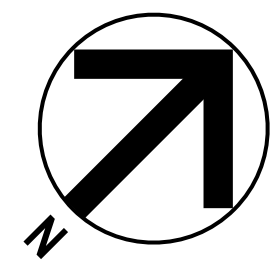
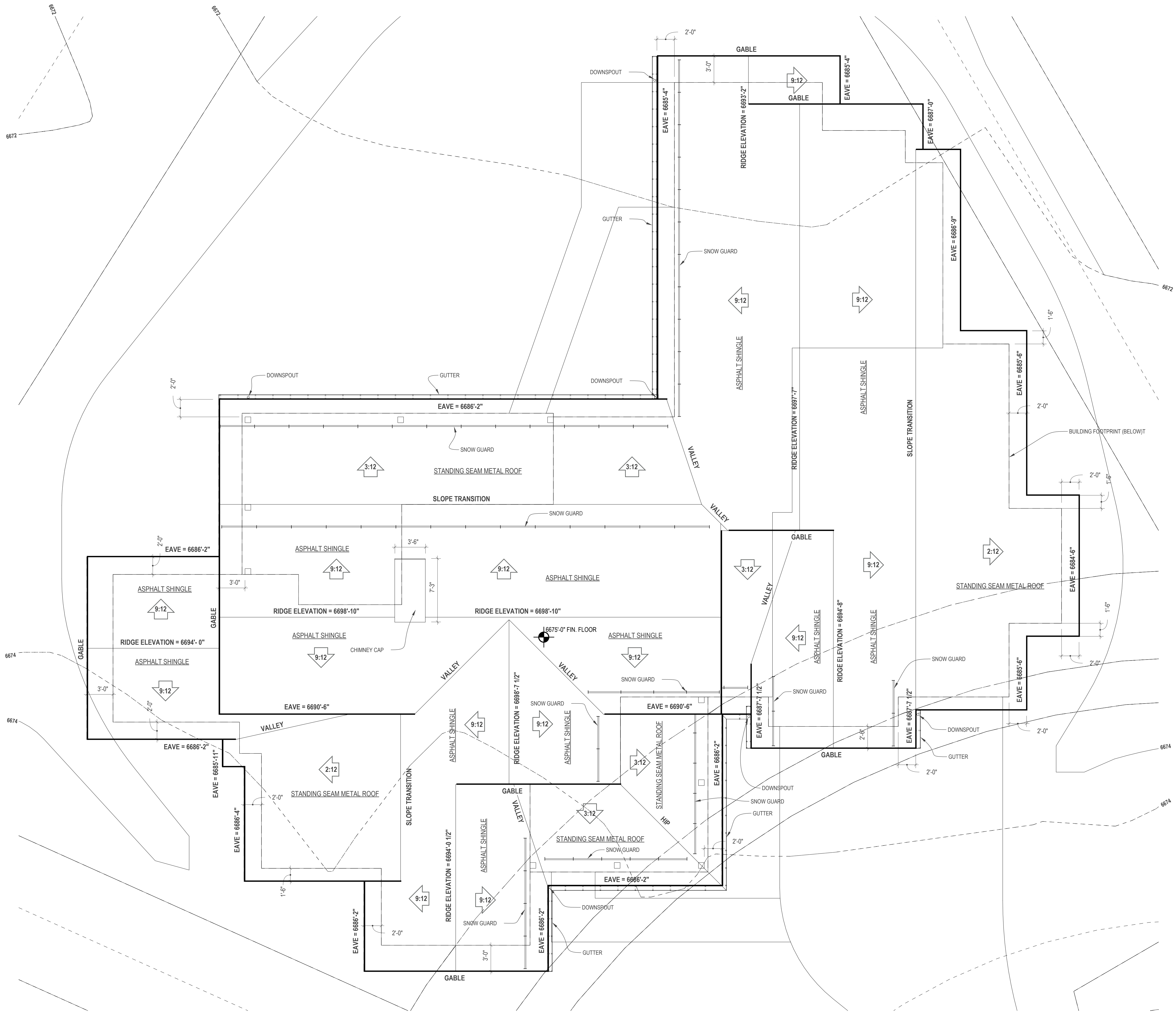
333 ROBINS EGG LANE
LOT 15, BLOCK 6, FILING 3
EAGLE, COLORADO

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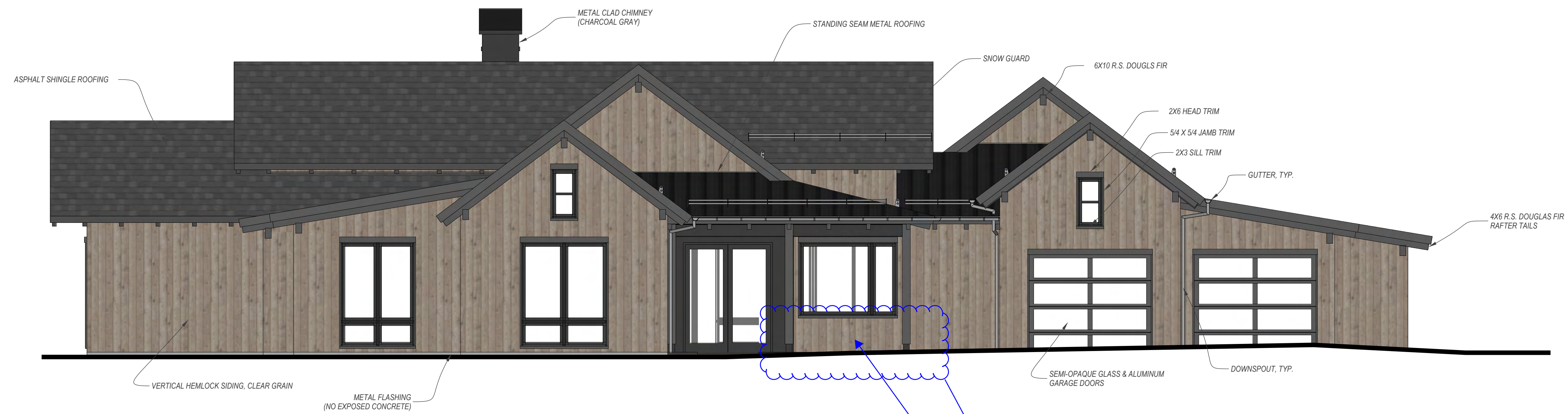
A1.1
FIRST FLOOR
PLAN

March 27, 2024



1 ROOF PLAN
A1.2 SCALE: 3/16" = 1'-0"

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2.3.2.3 (5): Except for selected large fixed glass picture windows, all casement and fixed glass windows require one of the following divided light patterns:

- a. A widened horizontal mullion at the mid-line of the glazing giving the appearance of a double hung window;
- b. A course of divided light mullions across the top of the glazing; or
- c. A multi-light transom window mullied directly above the subject window.

1 FRONT ELEVATION
A2.1 SCALE: 3/16" = 1'-0"

3.3.5 (3) Columns should spring from capped piers that extend at least 3 1/2 feet above the porch deck level. The piers may be clad in any approved masonry or siding product.

3.3.5 (7) Either railings or parapet walls are provided to enclose the porch.



2.3.1.3 (1) Corner boards should be provided with shingle, wood (or simulated wood) siding.

2 RIGHT ELEVATION
A2.1 SCALE: 3/16" = 1'-0"

TURNIPSEED

ARCHITECTURE
CONSTRUCTION
INTERIOR DESIGN

SINCE 1995

333 ROBINS EGG LANE
LOT 15, BLOCK 6, FILING 3
EAGLE, COLORADO

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A2.1

FRONT AND RIGHT
ELEVATIONS

March 27, 2024



1 REAR ELEVATION
A2.2 SCALE: 3/16" = 1'-0"

2.3.2.3 (5): Except for selected large fixed glass picture windows, all casement and fixed glass windows require one of the following divided light patterns:
 a. A widened horizontal mullion at the mid-line of the glazing giving the appearance of a double hung window;
 b. A course of divided light mullions across the top of the glazing; or
 c. A multi-light transom window mullied directly above the subject window.



2 LEFT ELEVATION
A2.2 SCALE: 3/16" = 1'-0"

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Design Review Memorandum

Project Number: 01-01-32
Owner Name: David Houser
Architect: Jeff Manley
Address: 53 Seven Hermits Drive
Legal: EAGLE RANCH FILING 1 Block: 1 Lot: 32
Pre-Design DRB Meeting Date: April 18, 2024

PROJECT OVERVIEW

- Lot Size: 17,543 sf
- Accessory Dwelling Unit: No
- Slopes in Excess of 30%: No
- Design Guidelines: The Meadows
- Style: Prairie
- Fire Suppression System: Refer to GERFPD and EVW for fire suppression requirements



LIMITATIONS

Standard	Allowed	Proposed
Floor Area Maximum	7,000 sf	5040 sf
Floor Area Minimum	2,000 sf	Complies
Site Coverage	30% = 5,262 sf	3,302 sf
Impervious Area	50% = 8,771 sf	6,645 sf
Height	35 ft	Complies
Setbacks	Front: 25 feet Sides: 15 feet Rear: 25 feet	Complies
Driveway Setback	7.5 ft from side property line	>7.5 ft
Development Disturbance	Setback governed lot	
Fenced Area	15% = sf	sf

Pre-Design PLAN REVIEW – April 18, 2024

1. Site and Landscape Comments

- a. 2.2.3 (2-3) *On curved streets, the front of the house should be tangent to the curve in front of the house.
Where side property lines are skewed more than 5 degrees from perpendicular to the street frontage or on cul-de-sac lots where such a skew creates a hardship upon the placement of a reasonable house, the DRB may grant a variance.*

Applicant is requesting a variance regarding house orientation to the street. The proposed position is approximately 8.25 degrees from tangent to the line created between the front property corners. The proposed position places the home parallel to the side property lines.

The applicant feels this alignment offers several advantages including: better sun exposure and orientation for potential solar roof, less exposure to existing neighboring home and better protection from golf balls.

Staff requests DRB input.

2. Architecture Comments

- a. At this pre-design stage, there are no current architecture comments to be considered.

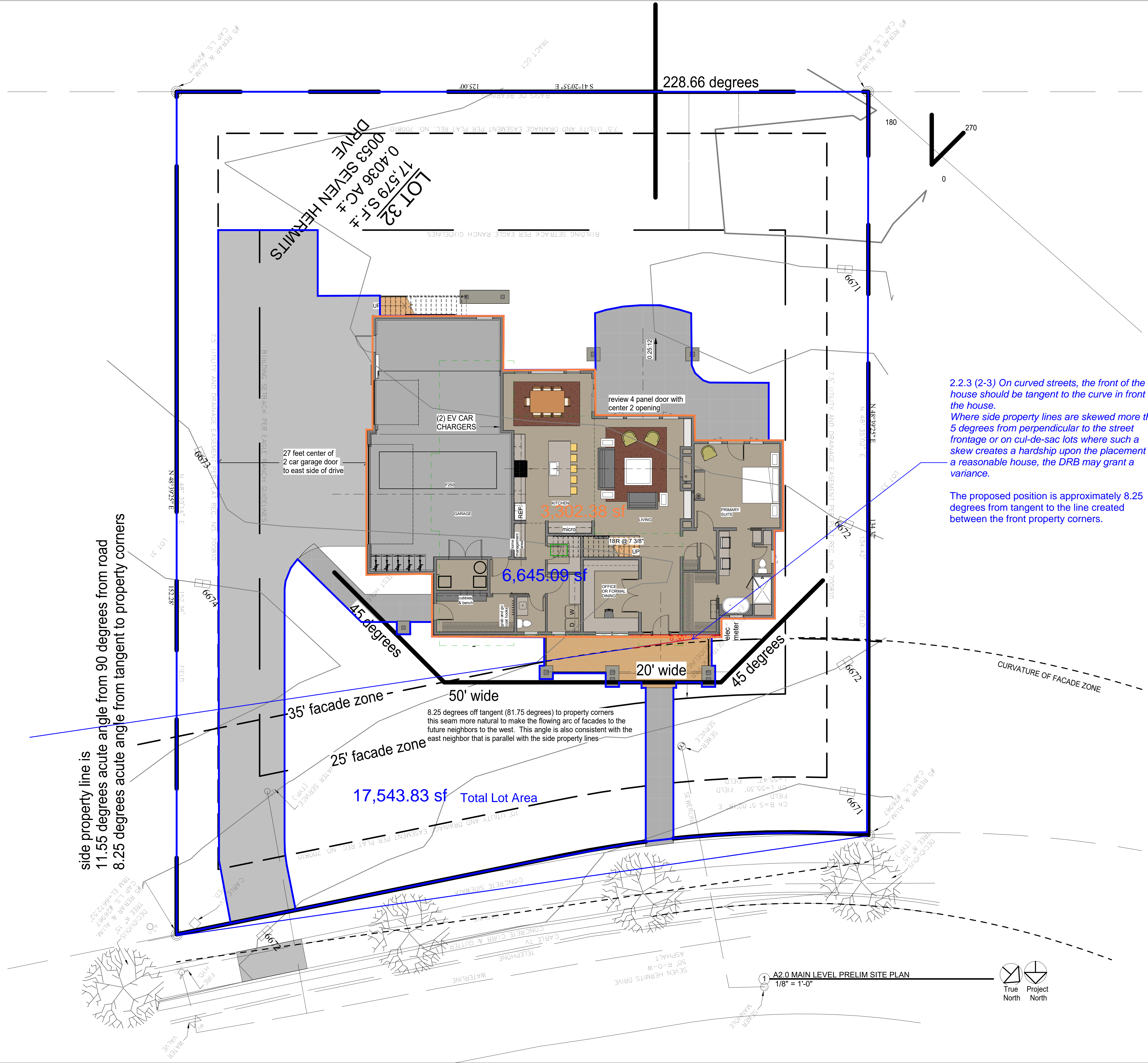
3. Staff Recommendation

Staff recommends approval of the Pre-Design Plan Review for the Residence with the following conditions:

1. General Condition: Compliance with the Eagle Ranch Design Guidelines and process is not a substitute for compliance with Town of Eagle regulations, State regulations, or Federal regulations. Additional permits and approvals may be required by these agencies prior to

commencing any work on the property. The property owner and its agents are responsible for ensuring compliance with all local, state, and federal regulations.

2. The applicant shall address the comments provided in this staff memorandum and any DRB comments prior to submittal for Preliminary Review.



No.	Description	Date

NEW SINGLE FAMILY
HOUSER RESIDENCE
 53 Seven Hermits
 Eagle Ranch, Eagle Colorado
 PREDESIGN VARIANCE REQUEST

not for construction

Date	04-15-24
Project number	2410
SITE PLAN Copy 1	
A1.3	

1 A2.0 MAIN LEVEL PRELIM SITE PLAN
 1/8" = 1'-0"
 True North Project North



4/15/2024 2:23:00 PM

Site plan of neighborhood

Date 04-15-24

Project number 2410

NEIGHBORHOOD SITE IMAGE

A1.0.0

not for construction

**NEW SINGLE FAMILY
HOUSER RESIDENCE**

53 Seven Hermits
Eagle Ranch, Eagle Colorado
PRELIMINARY PLAN REVIEW

No.	REVISIONS Description	Date

MARTIN MANLEY ARCHITECTS
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 www.martinmanleyarchitects.com