



Eagle Ranch Association
Regular Meeting
Design Review Board

Thursday, February 15, 2024
2:00 p.m. MDT

Eagle Ranch Office or
Zoom Conference

[Register to Attend the Meeting Here](#)

Agenda

- 1) Call to order, verify quorum.
- 2) Approval of board minutes
 - a) January 18, 2024
- 3) Special Presentations
 - a) Meeting Conduct and Etiquette
 - b) Eagle Valley Wildland – Tim Swaner
- 4) Meeting specific topics / New Business
 - a) 21-00-12_0153 Thresher Court – Davis-Maslan Residence – Final Review
 - b) 04-06-40_2023 Eagle Ranch Road – Birk Residence – Final Review
 - c) 21-00-33_0213 Harvester Court – Walker-Miller Residence – Final Review
 - d) 25-00-25_0095 Mountain Jackson - Ostmeyer Residence - Preliminary Review
- 5) Other Business
 - a)
- 6) Adjournment

MINUTES OF A MEETING OF
THE DESIGN REVIEW BOARD OF
EAGLE RANCH ASSOCIATION

A Meeting of the Design Review Board of the Eagle Ranch Association (the “Association”) was held on January 18, 2024, at the Eagle Ranch Office, 1143 Capitol Street, Eagle, CO 81631, or via Microsoft Teams video/teleconference*.

Directors Present:

Melanie Richmond, Chairperson
John Martin
Tom McCord
Rick Messmer, Alternate

Others Present:

Shelley Bellm, EWH Assistant Community Manager, Eagle Ranch
Jason Berghauer, EWH Design Review Board Administrator
Allison Kent, Mauriello Planning Group
Alicia Davis, Davis Architecture
Maggie Fitzgerald, Maggie Fitzgerald Architects
Ric Fields, Fieldscapes
Pavan Krueger*, Krueger Architects
Be Satrazemis
Kathy Alto, Ceres Landcare
Clint Granros, Ceres Landcare

The order of business was as follows:

1. Call to Order. The meeting was called to order at 2:05 p.m. MST. A quorum of members was present.
2. Approval of Agenda. Upon motion and second, the agenda was accepted as presented.
3. Election of Chairperson. Upon motion and second, Melanie Richmond was elected as chairperson of the Design Review Board for calendar year 2024. Motion by Tom McCord, Second by Rick Messmer. Motion carries 4-0.
4. Approval of Minutes. Upon motion and second, the minutes of the December 21, 2023 meeting were approved. Motion by Melanie Richmond, Second by John Martin. Motion carries 4-0.
5. Meeting specific topics / New Business.

a. 22-00-55 – 1074 Fourth of July Road – Cater Residence – Final Review

The DRB provided the following comments:

1. This project was previously approved in 2021 and the owner did not move forward. The only change made to the plans was the addition of the ADU above the garage.
2. Town regulations may not allow for the door connection into the main residence if this is considered an ADU.
3. Grade on berms have been brought into compliance with Design Guidelines.

Motion to approve with conditions:

Motion: Melanie Richmond
Second: Tom McCord
Vote: 3-0-1 (John Martin abstained)

Conditions:

1. Applicant must comply with all conditions set by staff in administrative notes.

b. 25-00-29 – 0203 Mount Jackson Court – Lennon Residence – Final Review

The DRB provided the following comments:

1. Eagle Valley Wildland has requested a change from the Pinion Pine to a Bristlecone Pine. May request additional thinning of sage outside limits of disturbance.
2. Verification that the use of Ecoloturf is not synthetic, and that it is a more efficient drought resistant mix.

Alicia Davis reviewed changes she is making to the plans and materials. Driveway will no longer be heated and they are looking at a trench drain to manage driveway drainage. Roof to be asphalt shingle. Color: Tamko Black Walnut. All changes will be provided for technical.

Motion to approve with conditions:

Motion: Melanie Richmond
Second: John Martin
Vote: 3-0

Conditions:

1. Applicant must comply with all conditions set by staff in administrative notes.

c. 21-00-12 – 0153 Thresher Court – Maslan Residence - Preliminary Review

The DRB provided the following comments:

1. This property may be subject to setback requirements and not limits of disturbance regulations. Show all grading on final set of plans.
2. Fence details should be included in final set of plans.
3. Windows require divided lights. Be sure the divided lights are consistent throughout the plan and provided for final review.
4. Exceeding 10' total height at sliding glassdoors and transom on the rear/North Elevation. . Bring into compliance for final review.
5. Roof plan & site grading, be sure to include ridge & eve heights.
6. Chimney height exceeds 3' above maximum height allowance. Show compliance with guidelines on drawings for final review.
7. Flat roofs are not approvable, especially when not required for a hardship.
8. Plant counts need to be corrected for final review. Only 25 perennials are currently showing on landscape plan, 40 are required.

Motion to approve with conditions:

Motion: Melanie Richmond
Second: John Martin
Vote: 3-0

Conditions:

1. Applicant must comply with all conditions set by staff in administrative notes.

2. Landscaping requirements must meet minimum requirements of 40 #1-gallon perennials
3. Flat roof is not permissible and no variance will be granted
4. Structure at rear patio doors show on plans
5. Cut & fill on front elevation is acceptable and a variance is granted.

d. 25-00-85 – 1164 East Haystacker – Satrazemis Residence – 2nd Preliminary Review

Pavan Krueger reviewed changes she has made to the plans since last review. Wood elements and stone elements have been added to soften the structures architecture. The applicant is asking for a variance to the masonry limits on the south elevation. Garage doors to be frosted glass, similar to homes in neighboring properties. The pool will have a cover instead of fencing.

The DRB provided the following comments:

1. Limit of disturbance should not include Right of Way at street/driveway connection for area calculations. DRB expressed concerns about tight limit of disturbance.
2. Chimney material will be called out for Final Review
3. Volume of stucco is concerning on the South elevation. Maximum allowance is exceeded on this elevation.
4. Windows appear to be flush with stucco. Design Guidelines require they either be set back a minimum of 2" or trimmed with wood. Wood trim to be added to windows for final review.
5. Applicant is requesting a variance for the amount of stucco on south elevation. A suggestion to extend the stone on the lowest level would provide relief on this elevation. DRB will provide variance to overall masonry coverage on South elevation if stone material is added to the walkout level
6. Solid wall on patio above single garage adds to the massing of the structure. Consider utilizing the railing on all sides of the patio.
7. Metal roofs are acceptable. Minimum of 2:12 pitch required.
8. Pool cover will be utilized.
9. DRB requested staff to ask applicant if they are doing control joints in stucco.

Motion to approve with conditions:

Motion: John Martin

Second: Tom McCord

Vote: 2-1 (Richmond opposed)

Conditions:

1. Applicant must comply with all conditions set by staff in administrative notes.
2. Corner boards are required with horizontal siding to be shown for final review.
3. Stone to be added at the base of the walk out level on the south elevation. Board would grant a variance for exceeding allowed masonry
4. All metal roof okay with a minimum of 2:12 pitch.

There being no further business to come before the Board, the meeting was adjourned at 4:01 p.m. MST.

Respectfully submitted,

SBellm

Shelley Bellm, Recording Secretary

DRAFT



Design Review Memorandum Final

Project Number: 21-00-12
Owner Name: Kristy Maslan and Glee Ann Davis
Architect: Maggie Fitzgerald
Address: 153 Thresher Court
Legal: EAGLE RANCH FILING 21 Lot: 12
Preliminary DRB Meeting: January 18, 2024
Final DRB Meeting Date: February 15, 2024

PROJECT OVERVIEW

- Lot Size: 23,399 sf
- Accessory Dwelling Unit: No
- Slopes in Excess of 30%: No
- Design Guidelines: The Uplands
- Style: Craftsman
- Fire Suppression System: Refer to GERFPD and EVW for fire suppression requirements



LIMITATIONS

Standard	Allowed	Proposed
Floor Area Maximum	7,000 sf	6,551 sf
Floor Area Minimum	2,000 sf	Complies
Site Coverage	30% = 7,019 sf	4,278 sf
Impervious Area	50% = 11,699 sf	7,209 sf
Height	35 ft	Complies
Setbacks	35 ft front 25 ft rear 15 ft side	Complies
Driveway Setback	7.5 ft from side property line	Complies
Development Disturbance	Property Boundaries	complies

1. Site and Landscape Comments

- a. Generally, staff believes that the proposed site and landscape plan is consistent with the Uplands Design Guidelines.
- b. This property is subject to setback requirements and not limits of disturbance regulations (as assumed for Preliminary Review).
- c. Building corners on SE side of lot about the 15' side setback. Make sure building stays within setbacks.
- d. Correct scale on ILC.
- e. Additional site and landscape comments and issues raised at Preliminary Review have been addressed.
- f. Refer to Colorado State Forest Service guidelines for defensible zones: https://csfs.colostate.edu/wp-content/uploads/2021/04/2021_CSFS_HIZGuide_Web.pdf

2. Architecture Comments

- a. Generally, staff believes the proposed architecture is consistent with the Design Guidelines relative to the Uplands and specifically the Craftsman style. The main massing, roof forms, front porch, and exterior materials all appear to meet compliance.
- b. 3.3.2.2 (2) *The gable rake ends and eaves are open and have large overhangs of at least 30 inches but not more than 48 inches.* – Currently all gable ends are shown at 24" overhang.
- c. Flat roof area over rear porch shown at Preliminary Review has been replaced with 2:12 pitched standing seam metal roof for Final Review.

- d. Architectural comments and issues raised at Preliminary Review appear to have been addressed.

3. Staff Recommendation

Staff recommends approval of the Final Plan Review for the Maslan Residence with the following conditions:

1. General Condition: Compliance with the Eagle Ranch Design Guidelines and process is not a substitute for compliance with Town of Eagle regulations, State regulations, or Federal regulations. Additional permits and approvals may be required by these agencies prior to commencing any work on the property. The property owner and its agents are responsible for ensuring compliance with all local, state, and federal regulations.
2. The applicant shall address the comments provided in this staff memorandum and any DRB comments prior to submittal for Final Plan Review.
3. Provide Construction Sign Details for Technical Review.

DRB Deliberation January 18, 2024

The DRB provided the following comments:

1. This property may be subject to setback requirements and not limits of disturbance regulations. Show all grading on final set of plans.
2. Fence details should be included in final set of plans.
3. Windows require divided lights. Be sure the divided lights are consistent throughout the plan and provided for final review.
4. Exceeding 10' total height at sliding glassdoors and transom on the rear/North Elevation. . Bring into compliance for final review.
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8. Plant counts need to be corrected for final review. Only 25 perennials are currently showing on landscape plan, 40 are required.

Motion to approve with conditions:

Motion: Melanie Richmond

Second: John Martin

Vote: 3-0

Conditions:

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2. Landscaping requirements must meet minimum requirements of 40 #1-gallon perennials
3. Flat roof is not permissible and no variance will be granted
4. Structure at rear patio doors show on plans
5. Cut & fill on front elevation is acceptable and a variance is granted.

MASLAN / DAVIS RESIDENCE - 153 THRESHER CT.



GENERAL NOTES:

1. DETAILS AND NOTES INDICATE TYPICAL CONDITIONS. MINOR DEVIATIONS FROM TYPICAL ARE TO BE ANTICIPATED AND ARE INFERRED. DETAILS AND NOTES PROVIDE DIRECTION AND OUTLINE THE DESIGN INTENT. THE CONTRACTOR SHALL USE PROFESSIONAL JUDGEMENT WHEN DEALING WITH SIMILAR CONDITIONS.
2. THE CONTRACTOR SHALL INVOLVE THE ARCHITECT IN PRE-CONSTRUCTION MEETINGS WITH SUB CONTRACTORS AND TRADESMEN. THE CONTRACTOR SHALL RELY UPON THE ARCHITECT TO COMMUNICATE THE DESIGN INTENT AND EXPECTED RESULTS.
3. DIMENSIONS ARE TO FACE OF STUD, CONCRETE OR MASONRY UNLESS NOTED OTHERWISE.. DIMENSIONS AT COLUMNS ARE TO CENTERLINE. VERTICAL DIMENSION ARE TO SUBFLOOR.
4. DO NOT SCALE DRAWINGS. TYPICAL AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION IS THE SAME OR REPRESENTATIVE FOR ALL SIMILAR CONDITIONS, UNLESS NOTED OTHERWISE.
5. NOTIFY ARCHITECT OF ANY DISCREPANCIES WITHIN DRAWINGS, BETWEEN ENGINEERING, SPECIFICATIONS OR TRADES
6. ALL PENETRATIONS OF FIRE RESISTIVE FLOORS WALLS, AND OTHER ASSEMBLIES SHALL BE PROTECTED WITH MATERIALS CONFORMING TO UNDERWRITERS LABORATORIES (UL) LISTINGS FOR "THROUGH PENETRATION FIRE STOP SYSTEMS" THE CONTRACTOR SHALL OBTAIN APPROVAL FROM THE BUILDING INSPECTOR PRIOR TO APPLICATION
7. ALL UL LISTED ASSEMBLIES SHALL BE CONSTRUCTED IN COMPLIANCE WITH THE MOST RECENT EDITION OF THE UNDERWRITERS LABORATORIES FIRE RESISTANCE MANUALS.
8. CONTRACTOR TO PROVIDE ADEQUATE BLOCKING IN WALLS TO RECEIVE ATTACHED EQUIPMENT, PLUMBING FIXTURES, MILLWORK, AND CASEWORK.
9. USE METAL EDGE AT ALL GYPSUM WALL BOARD AND CHANGES OF MATERIAL.
10. PROVIDE SEALANT AROUND ALL PLUMBING FIXTURES WHERE THEY ABUT AN ADJACENT SURFACE.
11. PROVIDE RADON MITIGATION THROUGH VENTILATION BELOW CONCRETE SLAB PER INDUSTRY STANDARDS.
12. NOTIFY ARCHITECT OF FLOOR THRESHOLD CONFLICTS FOLLOWING FINAL FINISH SELECTIONS.

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GLEEPERS2@YAHOO.COM

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BUILDER NORTHSTAR CONSTRUCTION
SCOTT BENNETT
SCOTT@NSCMLLC.COM

SURVEYOR ARCHIBEQUE LAND CONSULTING LTC
EAGLE, CO 81631
PHONE: (970) 328-6020
INFOPROLANDSURVEY.COM

STRUCTURAL ENGINEER NEWKIRK ENGINEERING
PAUL NEWKIRK
PO BOX 681
ORIENTAL, NC 28671
(210) 612-0477

SOILS REPORT KUMAR & ASSOCIATES
5020 COUNTY ROAD 154
GLENWOOD SPRINGS, CO 81601
PHONE: (970) 945-7988
DYOUND@KUMARUSA.COM

GENERAL PROJECT INFO :

PROJECT SUMMARY:
NEW CONSTRUCTION - SINGLE FAMILY RESIDENCE

FLOOR AREAS SUMMARY:

PRIMARY RESIDENCE:	
MAIN LEVEL HABITABLE	3,279 S.F.
UPPER LEVEL HABITABLE	1,535 S.F.
FINISHED SF	4,814 S.F.
UNFINISHED BONUS RM	594 S.F.
GARAGE	864 S.F.
TOTAL	6,272 S.F.

SITE AREAS SUMMARY:

MAIN LEVEL / GARAGE FOOTPRINT	4,137 S.F.
DRIVEWAY	1,698 S.F.
PATIOS, WALKS, DECK	1,350 S.F.
TOTAL ALL IMPERVIOUS	7,185 S.F.

SITE SUMMARY:

TOTAL BUILDING SITE COVERAGE	4,137 SF/.536 ACRES OR 23,348 SF = 17.7%
TOTAL IMPERVIOUS VS. LOT SIZE	7,185 SF/.536 ACRES OR 23,348 SF = 30.1%

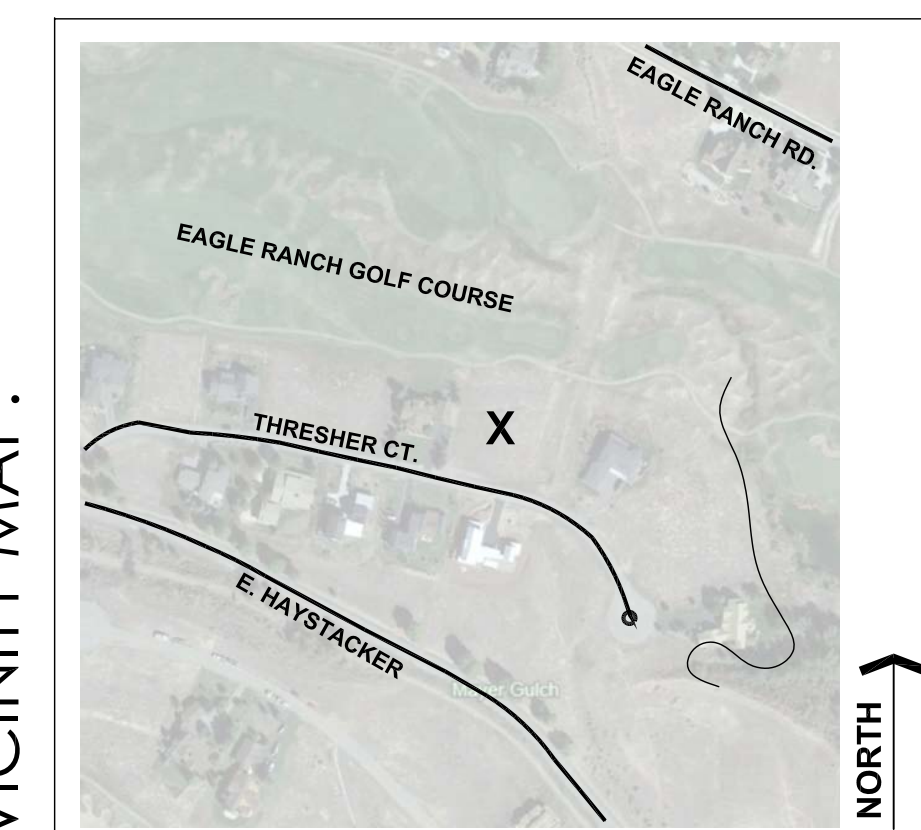
BUILDING HEIGHT:

MAXIMUM BUILDING HEIGHT = 32'-2"
(6774'-4" USGS - 6742'-2" USGS = 32'-2")

DRAWING INDEX

- A0.0 COVER SHEET
- A1.0 ORIGINAL TOPO
- A1.1 SITE PLAN/ EXTERIOR LIGHTING PLAN
- A1.2 LANDSCAPE PLAN
- A1.3 CONSTRUCTION MANAGEMENT PLAN
- A2.1 MAIN LEVEL FLOOR PLAN
- A2.2 GARAGE MAIN LEVEL FLOOR PLAN
- A2.3 UPPER LEVEL FLOOR PLAN
- A2.4 ROOF PLAN
- A2.5 GARAGE/ PARTIAL ROOF PLAN
- A3.1 EXTERIOR ELEVATION
- A3.2 EXTERIOR ELEVATIONS
- A3.3 EXTERIOR ELEVATIONS
- A4.1 BUILDING SECTIONS
- A4.2 BUILDING SECTIONS
- A4.3 BUILDING SECTIONS
- A4.4 BUILDING DETAILS

VICINITY MAP:



MASLAN / DAVIS RESIDENCE
153 THRESHER CT.
LOT 12, F21, EAGLE RANCH UPLANDS
EAGLE, COLORADO 81631

date:	DEC. 8, 2023
DRB PREDESIGN SUBMITTAL	JAN. 2, 2024
DRB PRELIMINARY SUBMITTAL	JAN. 29, 2024
DRB FINAL SUBMITTAL	
DRB TECHNICAL SUBMITTAL	

A0.0
COVER SHEET

Maggie T. Fitzgerald, AIA
Architect
P.O. Box 1328 Eagle, Colorado 81631
970.445.0486

IMPROVEMENT LOCATION CERTIFICATE

IN ACCORDANCE WITH C.R.S. 38-51-108 (EFFECTIVE JULY 1, 2013)

THIS CERTIFICATE IS VALID ONLY FOR USE BY:

LEGAL DESCRIPTION:
LOT 12, EAGLE RANCH FILING 21, ACCORDING TO THE PLAT
RECORDED AT RECEPTION NO. 052402, COUNTY OF EAGLE, STATE
OF COLORADO

NOTES:

- 1) Street Address: 153 THRESHER CT - Not Posted
- 2) Legal description record easements, setbacks, and record deed lines were derived from the hereon referenced plat and Land Title commitment Order Number: TBD. Improvements and apparent deed line locations are based upon monuments, or other boundary evidence, found during the time the fieldwork was performed. Pertaining to said title commitment Schedule B-2, this property is subject to the following and shown graphically hereon where able:
TBD
- 4) This Improvement Location Certificate was prepared for the exclusive use of those parties certified to herein, and is valid only if print has original seal and signature of surveyor.
- 5) Lineal Units of the U.S. Survey Foot were used herein.

C.R.S. 38-51-108 (Effective July 1, 2013)
IMPROVEMENT LOCATION CERTIFICATE

I hereby certify that this Improvement Location Certificate was prepared for

TBD

that this is NOT a Land Survey Plat, or Improvement Survey Plat, and that it is not to be relied upon for the establishment of fence, building, or other future improvement lines.

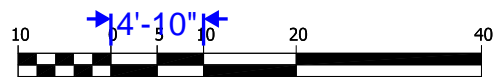
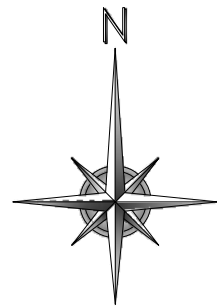
THIS CERTIFICATE IS VALID ONLY FOR USE BY

TBD

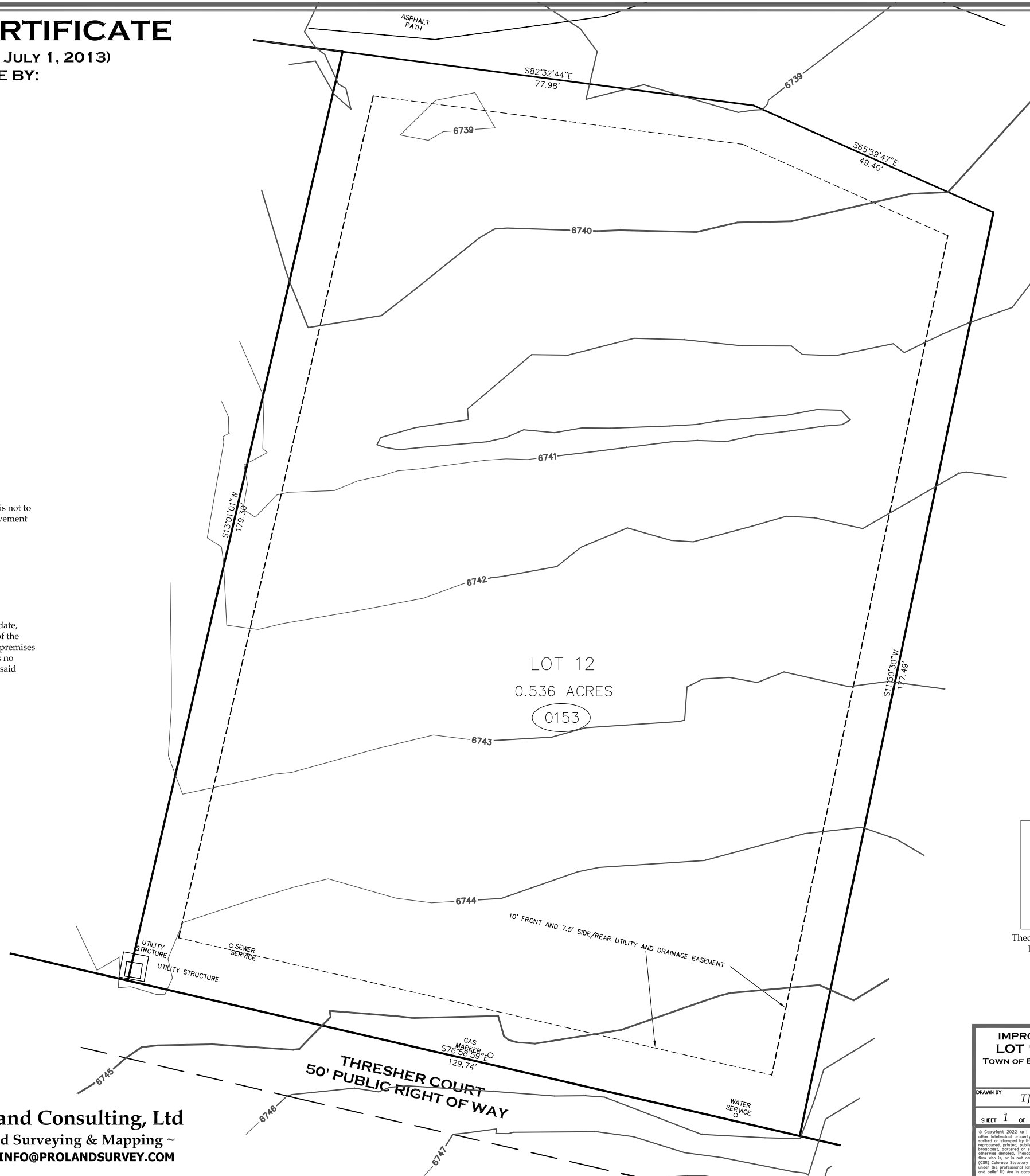
APPEARANCE ON

11-30-2022

I further certify that the improvements on the above described parcel on this date, 11-30-2022, except for utility connections, are entirely within the boundaries of the parcel, except as shown, that there are no encroachments upon the described premises by improvements on any adjoining premises, except as indicated, and there is no apparent evidence or sign of any easement crossing or burdening any part of said parcel, except as shown.



1 INCH = 10 FEET



Theodore J. Archibeque, PLS 37902
Professional Land Surveyor
State of Colorado

IMPROVEMENT LOCATION CERTIFICATE			
LOT 12, EAGLE RANCH FILING 21			
TOWN OF EAGLE, COUNTY OF EAGLE, STATE OF COLORADO			
DRAWN BY:	TJA	DRAWING NAME:	13113_ILC 153 THRESHER CT.dwg
SHEET 1 OF 1	DATE:	11-30-2022	CHECKED BY: SWB
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Archibeque Land Consulting, Ltd
~ Professional Land Surveying & Mapping ~
970.328.6020 Office INFO@PROLANDSURVEY.COM

Exterior Lighting

Symbol	Manufacturer	Description	Quantity
	Hinkley 2144TK	Taper Medium Wall Mount Lantern- Black	9



Outdoor Scene

EXTERIOR LIGHTING SPECIFICATIONS



TAPER

2144TK
MEDIUM WALL MOUNT LANTERN
 Sleek and sophisticated, Taper is built to last with a timeless, minimalist style that radiates contemporary cool. Its recessed integrated LED engine is directed downward with gradient illumination that grazes the gently tapered design. Part of the Coastal Elements collection, it is engineered with composite materials for maximum durability in modern Textured Black, Textured Graphite and Textured Oiled Rubbed Bronze finish options.

DETAILS	
FINISH:	Textured Black
MATERIAL:	Composite
GLASS:	Etched

DIMENSIONS	
WIDTH:	7"
HEIGHT:	15"
WEIGHT:	3.5 lbs
BACK PLATE:	7 1/4" X 1 1/2"
EXTENSION:	3.5"
TOP TO OUTLET:	7.5"

LIGHT SOURCE	
LIGHT SOURCE:	Integrated LED
LED NAME:	L214X-6
WATTAGE:	8w LED Included
VOLTAGE:	120v
COLOR TEMP:	3000
LUMENS:	600
CRI:	90
INCANDESCENT EQUIVALENCY:	1 x 60w
DIMMABLE:	Yes - CL Type Dimmer (SSL7A)

SHIPPING	
CARTON LENGTH:	9.8"
CARTON WIDTH:	6.2"
CARTON HEIGHT:	17.9"
CARTON WEIGHT:	4.6 lbs.

PRODUCT DETAILS:

- Mounting hardware is hidden on the backplate to ensure a clean silhouette.
- Suitable for use in wet (interior direct splash and outdoor direct rain or sprinkler) locations as defined by NEC and CEC. Meets United States UL Underwriters Laboratories & CSA Canadian Standards Association Product Safety Standards.
- Meets California Energy Commission 2016 Title regulations/IA8
- Fixture is Dark Sky compliant and engineered to minimize light glare upward into the night sky.
- LED components carry a 5-year limited warranty
- 5 year finish warranty
- The Coastal Elements Collection offers versatile designs, constructed of composite materials and coated with anti-fading finishes, for maximum durability in harsh climates.
- Striking black finish enhances design

Exterior Lighting Worksheet – Eagle Ranch Design Review

Filing/Block/Lot: Filing 21/Lot 12 Address: 153 Thresher Court

Luminaire (Fixture) Location	Luminaire (Fixture) Data		Lamp (Bulb) Data			Lumens by Luminaire Type			
	Brand/Model # - Attach Manufacturer Cut Sheet(s)	Qty	Lamp Type ¹	Lamps per Luminaire	Watts per Lamp ²	Lumens per Lamp ³	Unshielded Luminaires ⁴	IDA Certified Luminaires ⁵	Switch Type ⁶
All Exterior Doors	Hinkley Lighting: Taper 2144TK Down Light- Black	9	I.C.	1	40	600			
Subtotal Lumens by Luminaire Shielding Category (Unshielded or IDA Certified ⁴)							5,400		
Total Lumens all Luminaire Categories (not to exceed 5,500 Lumens)							5,400 lumen		

Prepared by: Maggie Fitzgerald, Architect

Date: 1/25/24

Owner Signature: _____

Date: _____

Print Name: _____

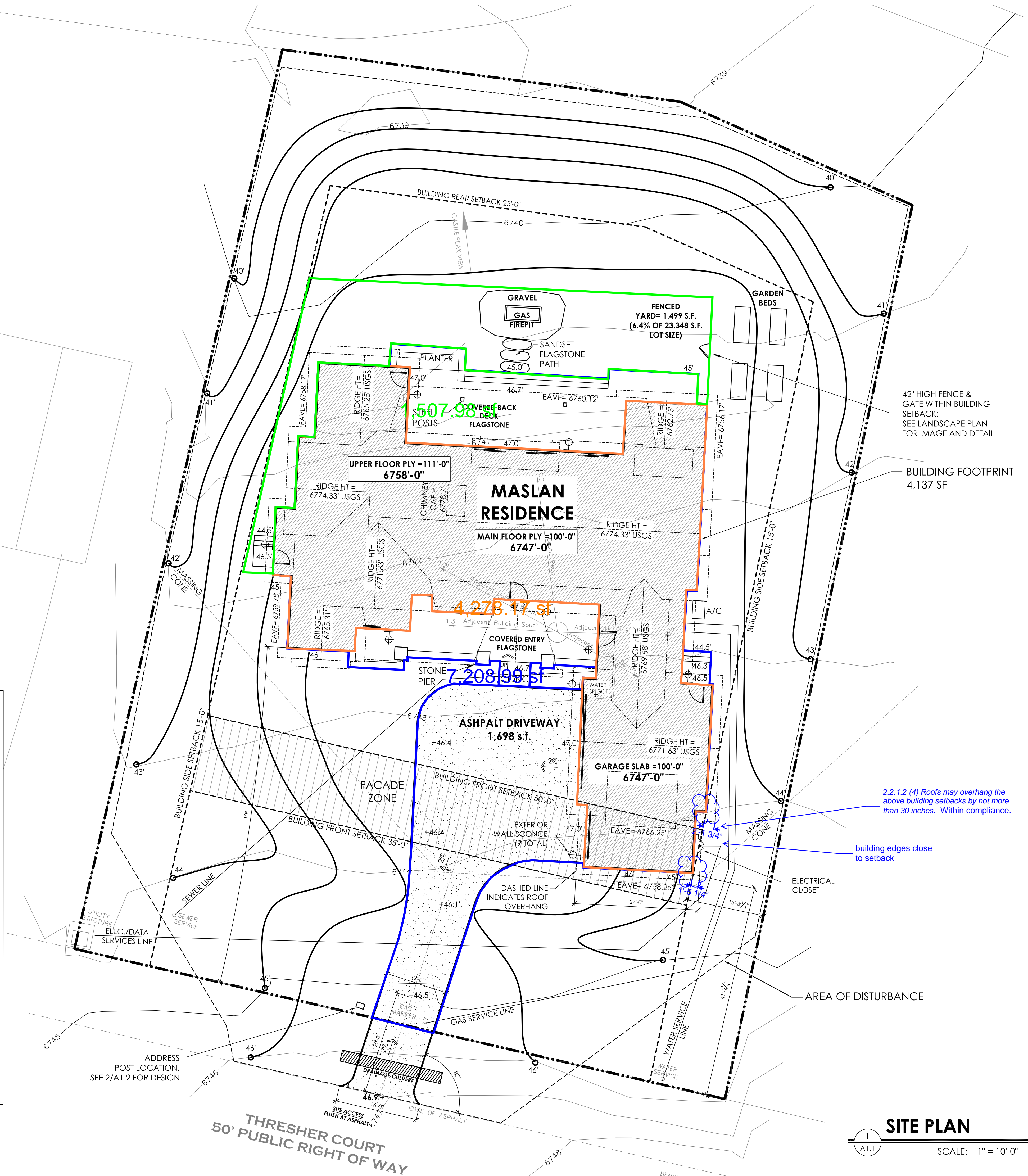
Notes:

- Lamp (Bulb) Type = Incandescent (I), Compact Fluorescent (CFL), Low-voltage Halogen (LV), Light Emitting Diode (LED), etc.
- Watts as marked on lamp.
- Lumen comparisons for lamp types. General retail outlets (i.e. grocery, hardware store, etc.) may not carry all wattages. Consider specialty stores or internet sources.

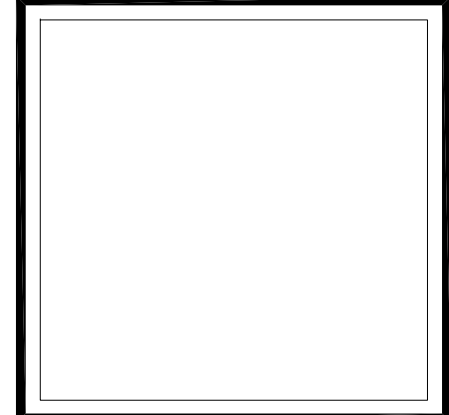
Typical Lumens/Lamp ³					
Incandescent		Compact Fluorescent		Lo-Voltage Halogen	
Watts	Lumens	Watts	Lumens	Lamp Base	Watts
25	200	5	200	G4	5
40	500	8-10	450	G4	10
60	800-890	13-18	890	G4	20
75	1080-1200	18-22	1210	GEY-35	35
100	1420-1750	23-28	1750	GEY-35	50
					950

- The International Dark-Sky Association (<http://www.darksky.org>) certifies luminaires that minimize glare, reduce light trespass, and don't pollute the night sky.
- Luminaire Shield Category is Unshielded unless specifically certified with International Dark-Sky Association Fixture Seal of Approval.
- Switch Type = manual (M), motion detector (MD), photocell (P), rheostat (R), timer (T)

P:\DRB\Forms\ExtLight\Wkstbl2017.docx



Maggie T. Fitzgerald, AIA
 -a r c h i t e c t -
 P.O. Box 1328 Eagle, Colorado 81631
 970.445.0486



MASLAN / DAVIS RESIDENCE
 153 THRESHER CT.
 LOT 12, F21, EAGLE RANCH PLANDS
 EAGLE, COLORADO 81631

ISSUE:	DATE:
DRB PREDESIGN SUBMITTAL	DEC. 8, 2023
DRB PRELIMINARY SUBMITTAL	JAN. 2, 2024
DRB FINAL SUBMITTAL	JAN. 29, 2024
DRB TECHNICAL SUBMITTAL	

A1.1
 SITE PLAN

Plant Schedule

Symbol	Common Name	Scientific Name	Flower	Growth Height/Spread	Exposure	Count	Size
	Pinyon Pine	Pinus edulis	None	25'/15'	Sun/Shade	5	8' Ht.
	Royal Raindrops Crabapple	Malus x 'Jfs-kw5'	Pink	20'/15'	Sun	1	2" Cal.
	Quaking Aspen	Populus tremuloides	None	35'/25'	Sun	9	2" Cal.
Trees							
	Concorde Barberry	Barberis thunbergii 'concorde'	Yellow	2'/2'	Sun	9	5 Gal.
	Shrubby Cinquefoil	Potentilla fruticosa	Yellow	3'/3'	Sun/Partial	7	5 Gal.
	Siberian Peashrub	Caragana arborescens	Yellow	8'/6'	Sun/Partial	3	5 Gal.
	Rock Spirea	Holodiscus dumosus	White	4'/4'	Sun	6	5 Gal.
	Blue Mist Spirea	Caryopteris x clandonensis	Blue/Violet	4'/4'	Sun/Partial	10	5 Gal.
Shrubs							
	Mixed Xeriscape Perennials (Minimum of 40)						1 Gal., 18" o.c.
	Gravel Cobble						Sq. Ft.
	Gravel Cobble/or Bark Mulch at beds, drip edge, Owner preference, verify						Sq. Ft.
	SOD - with drip irrigation on automatic timer						791 Sq. Ft.
	Xeriscape Plants and Native Grass Mix to Match Existing Grasses (Irrigated for the first two years)						All Disturbed Areas
Grasses and Groundcovers							

Irrigation Chart

5,000 Sq. Ft. SOD MAX PERMITTED > 763 Sq. Ft. SOD PROPOSED

Install underground automatic timer controlled irrigation system per Cotton Ranch Design Guidelines Section 2.4.7

Total Irrigated Area for 2 full seasons: Sod + Drip Irrigation s.f. + Re-Veg areas s.f.	5,081 Re-Veg s.f. x 1 = 5,081 s.f. 791 Lawn s.f. x 1 = 791 s.f. 207 Drip s.f. x 0.6 = 125 s.f. Total = 5,997 s.f.
Total Irrigated Area following first 2 seasons: Sod + Drip Irrigation s.f.	791 Lawn s.f. x 1 = 791 s.f. 207 Drip s.f. x 0.6 = 125 s.f. Total = 916 s.f.

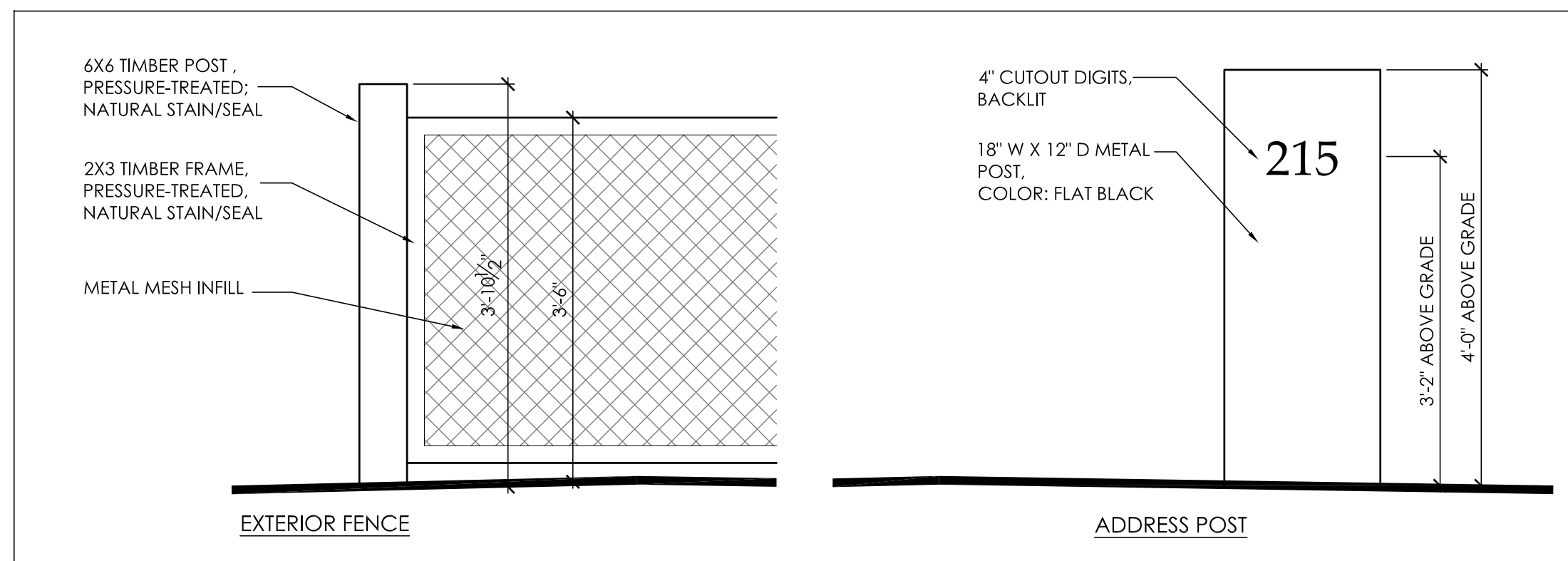
Landscape Notes

TARGET LANDSCAPE BUDGET = \$25,000-\$30,000

TARGET LANDSCAPE COMPLETION DATE = MAY, 2025

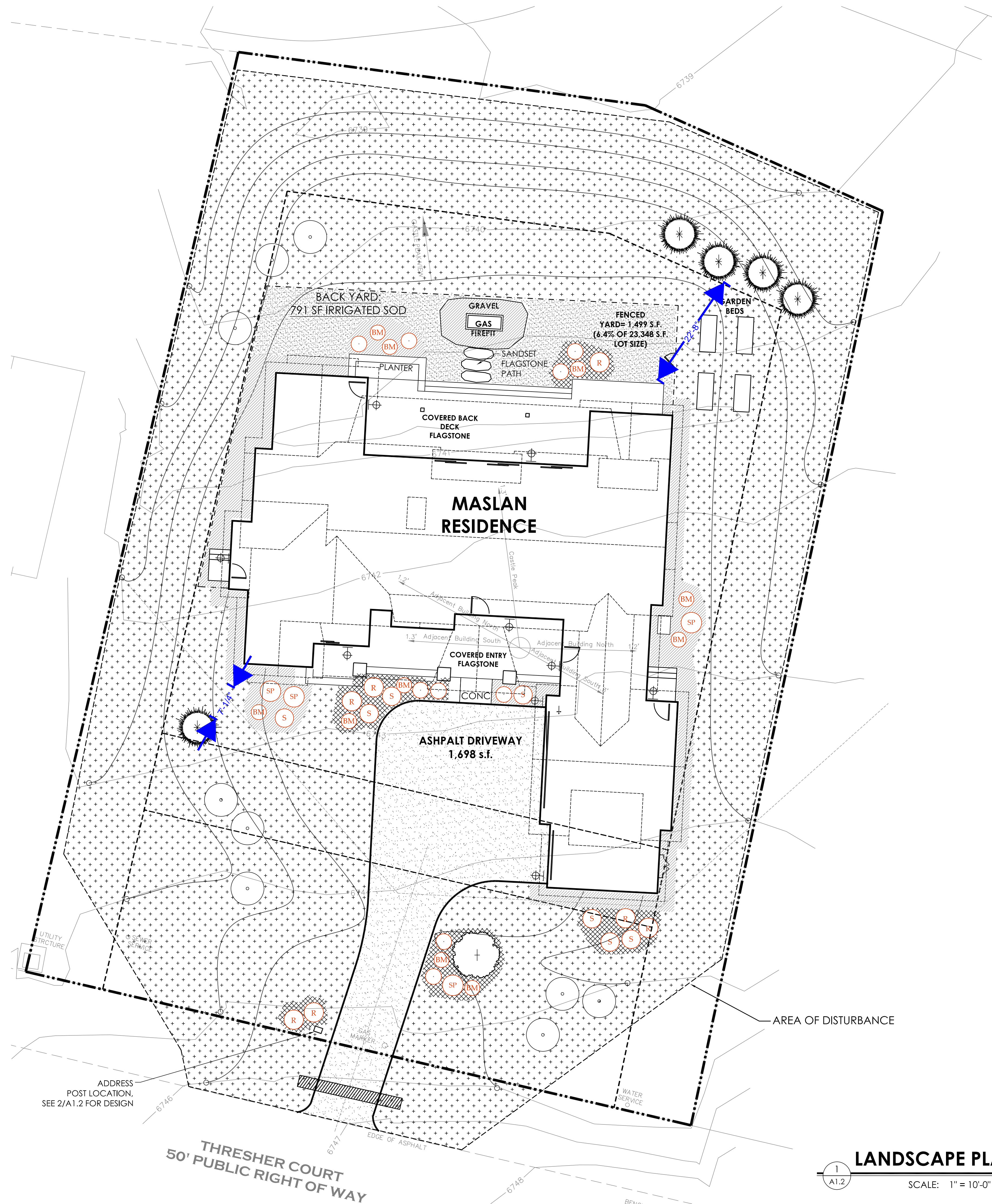


FENCE IMAGE



EXTERIOR/ SITE DETAILS

SCALE: 3/4" = 1'-0"



LANDSCAPE PLAN

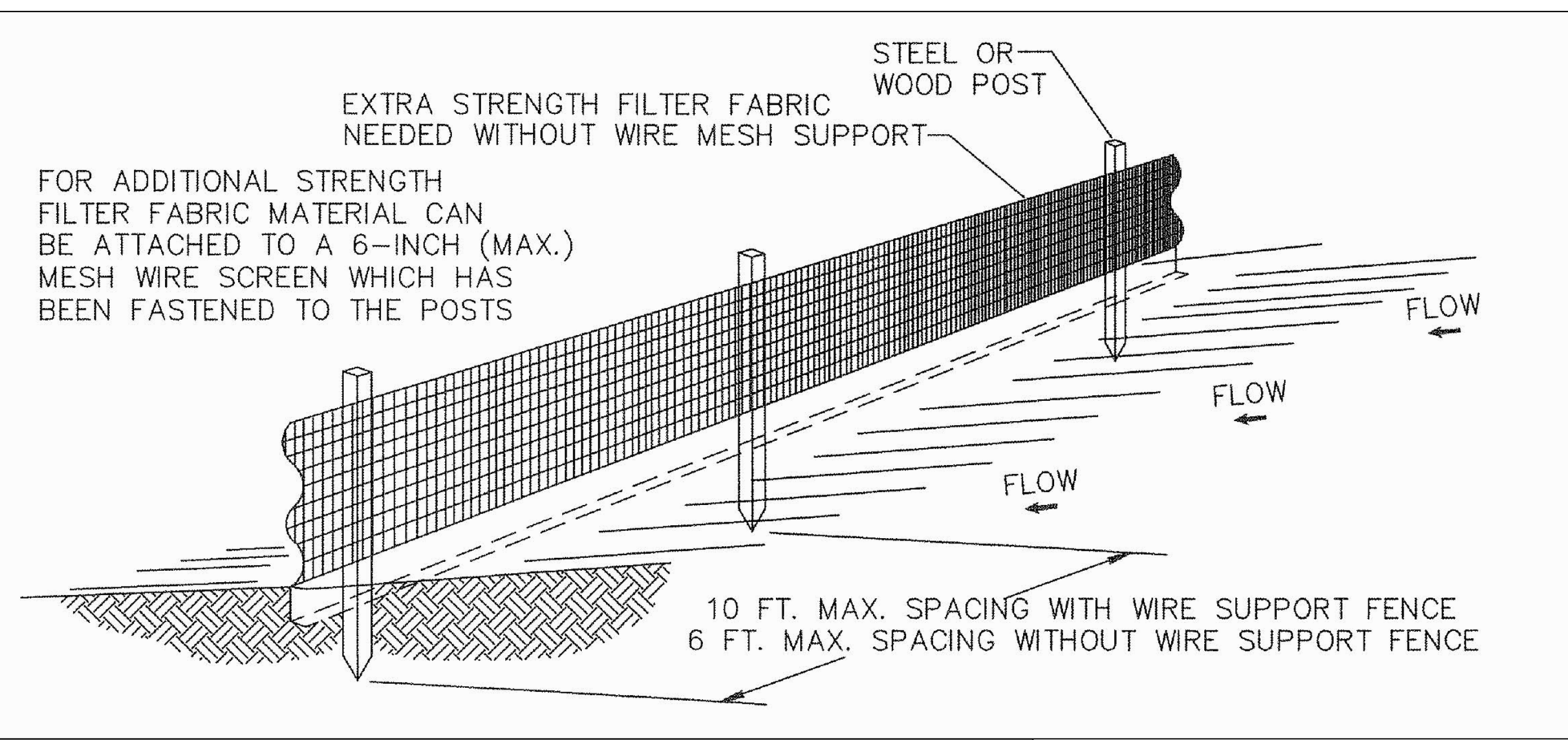
SCALE: 1" = 10'-0"

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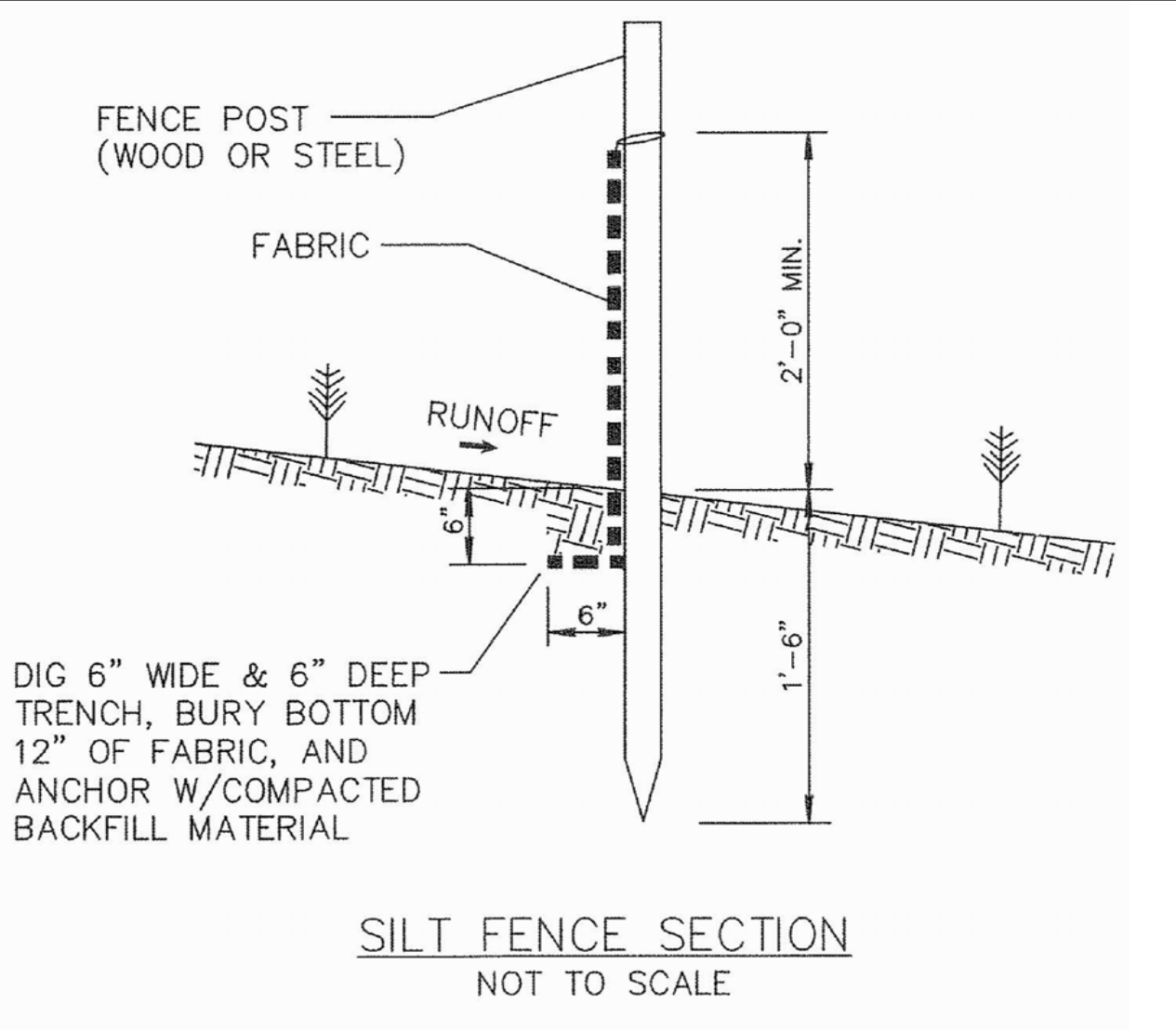
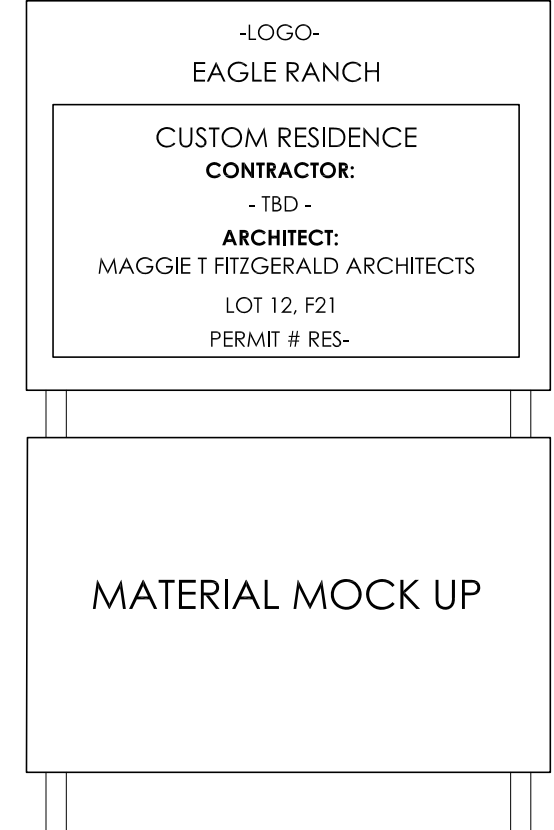
MASLAN / DAVIS RESIDENCE
 153 THRESHER CT.
 LOT 12, F21, EAGLE RANCH UPLANDS
 EAGLE, COLORADO 81631

Issue:	Date:
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DRB TECHNICAL SUBMITTAL	

A1.2
 LANDSCAPE PLAN



CONSTRUCTION SIGN: (4'X4' MAX.)



SILT FENCE

1. ALONG THE TOE OF HILLS, INSTALL THE SILT FENCE ALONG A LEVEL CONTOUR AND PROVIDE AREA BEHIND THE FENCE FOR RUNOFF TO POND AND SEDIMENT TO SETTLE. A MINIMUM OF 5 FEET AWAY FROM THE TOE OF THE HILL IS RECOMMENDED.
2. THE HEIGHT OF THE SILT FENCE FROM THE GROUND SURFACE SHALL BE MINIMUM 24 INCHES AND SHALL NOT EXTEND 36 INCHES.
3. SILT FENCES SHALL BE PERIODICALLY MAINTAINED. REMOVE SEDIMENT ACCUMULATED BEHIND THE SILT FENCE WHEN IT HAS REACHED HALF THE EXPOSED FABRIC HEIGHT.
4. DAMAGED SILT FENCE SHOULD BE PROMPTLY REPAIRED.
5. REMOVE SILT FENCES AFTER THEY HAVE SERVED THEIR USEFULNESS.

Site and Improvements Calculations Table *Eagle Ranch Design Review Board*

P. O. Box 5905 - Eagle, CO 81631 (970) 328-2174
 Filing/Block/Lot: Filing 21, Lot 12 Submittal Date: 01-29-2024
 Homesite Address: 153 Thresher Court DRB Administrator Checked: _____
Initial and date

LOT DISTURBANCE:

Description	Sq. Ft.	Acres	% Lot	Note:
Lot Area	23,3478	0.536	100%	43,560 sq. ft. = 1 acre
Area Disturbed by Construction	22,990	0.3754	98.46%	

SITE COVERAGE:

Description	Sq. Ft.	% Lot
Primary Residence Footprint	4,137	17.7%
Out-building Footprint(s)	0	
Other Impervious Areas	3,048	13.1%
Total Impervious Coverage	7,185	30.1%

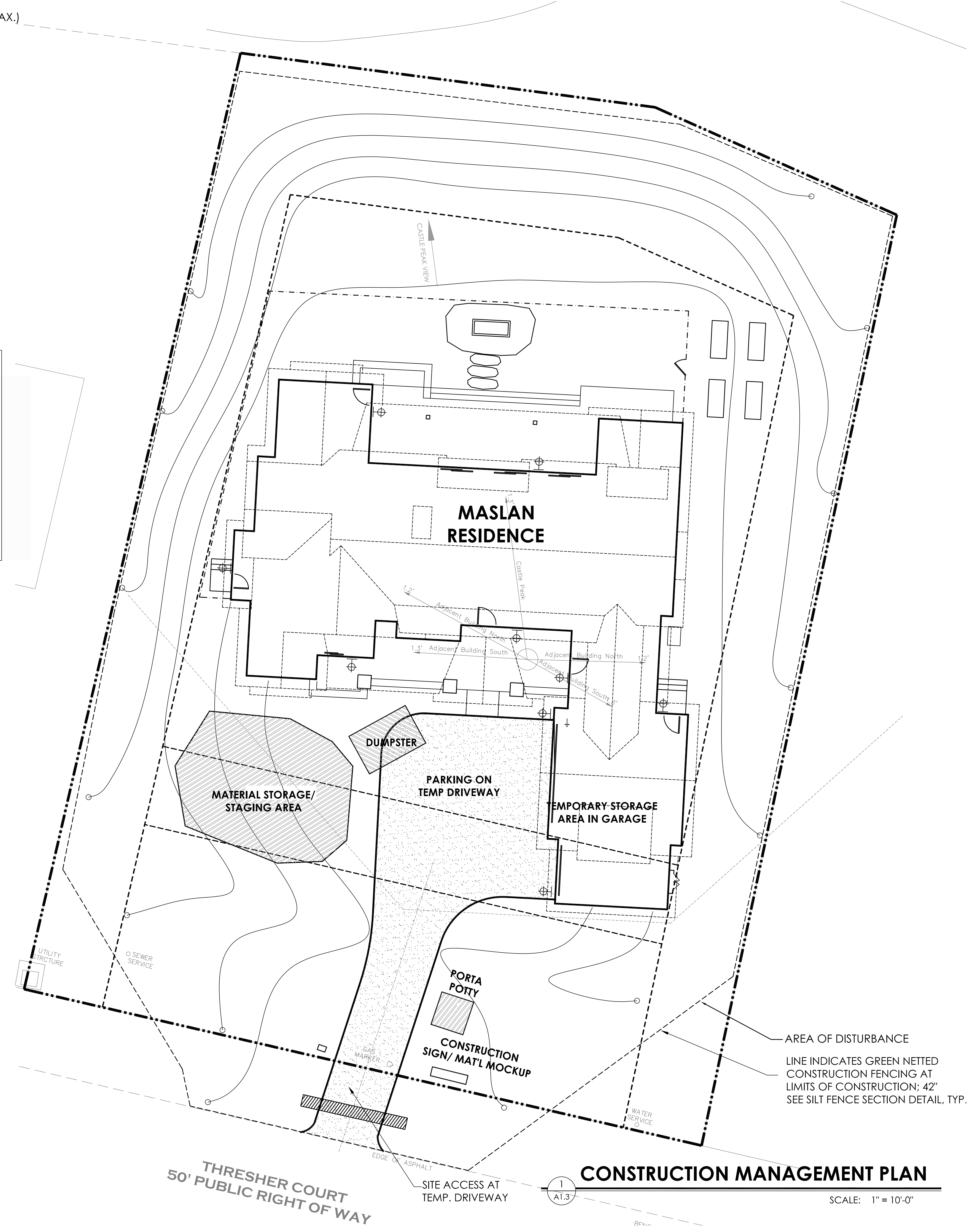
BUILDING AREA CALCULATIONS

Building Area	Finished Sq. Ft.	Unfinished Sq. Ft.	Note:
Primary Dwelling Unit:			Name and provide Data for each floor level.
o Main Level	3,279		
o Upper Level	1,535	594	
o			
o			
Subtotal PDU Living Space	4,814	594	
Garage	864		
Accessory Dwelling Unit			Max: 850 sq. ft. per PUD. Refer to guidelines each neighborhood for inclusions and exclusions
Out-Buildings	N/A		
Subtotals Finished/Unfinished sq. ft.	5,678	594	
Total Finished + Unfinished Sq. Ft.		6,272	Meadows & Uplands Filing 14: Max: 6,000 sq. ft. Uplands & Highlands: Max: 7,000 sq. ft. Gross SF for all areas.

IRRIGATION AREAS:

Description	Sq. Ft.	% Lot	Note:
Permanent Sprinkler Irrigation	791	3.38%	measured area under sprinkler irrigation
Permanent Drip Irrigation	125	0.5%	measured area under drip irrigation x 0.6
Total Permanent Irrigation	916	3.92%	Not to exceed 50% of Lot Area
Temporary Irrigation	5,081	21.8%	All residual disturbed soils x 1 to 2 growing seasons for healthy revegetation

Prepared by: Andrea Ansnes Owner Signature: _____
 Print Name: Maggie Fitzgerald Architects Date: 1/29/24



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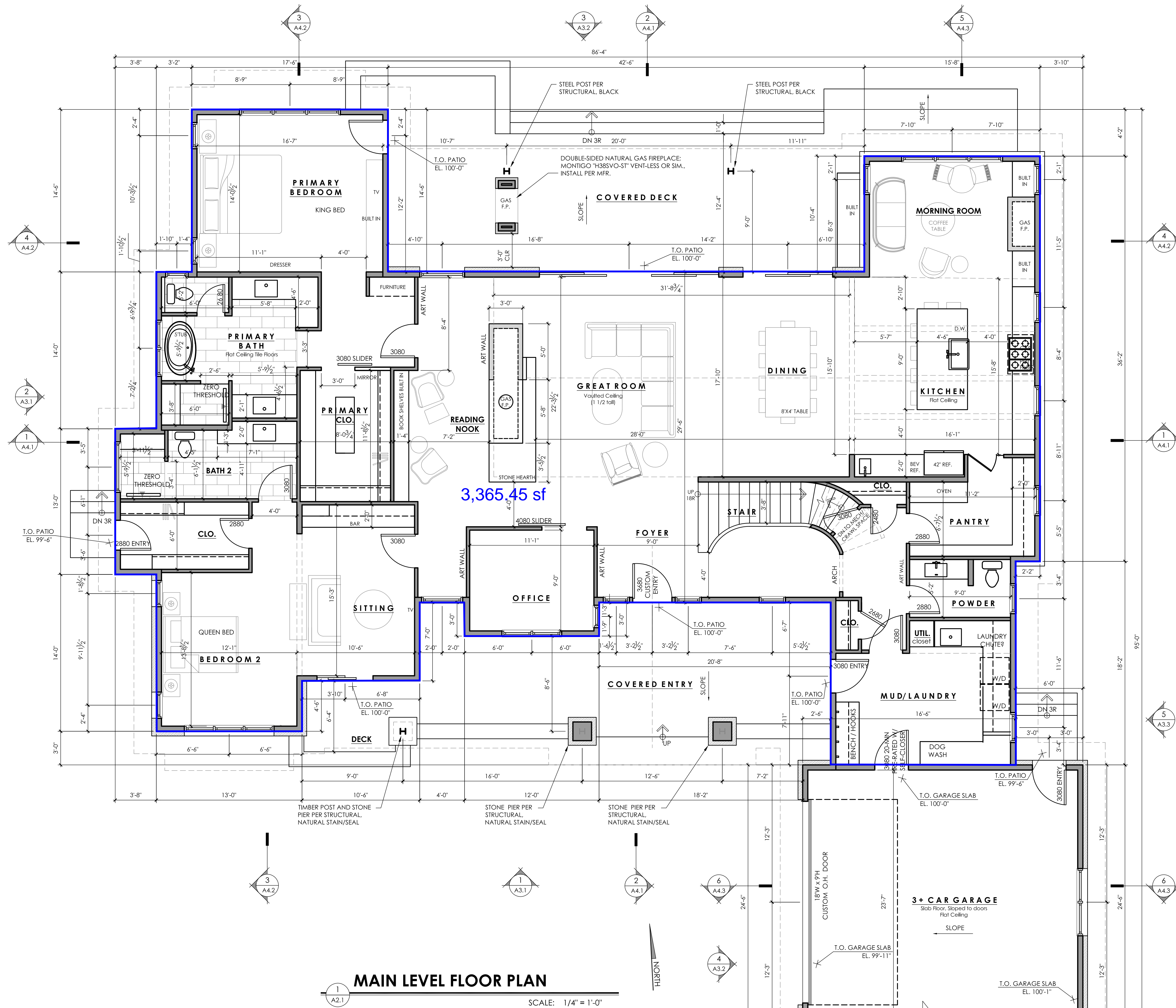
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A1.3
 CONSTRUCTION
 MANAGEMENT PLAN

CONSTRUCTION MANAGEMENT PLAN

SCALE: 1" = 10'-0"



3,365.45 sf

MAIN LEVEL FLOOR PLAN

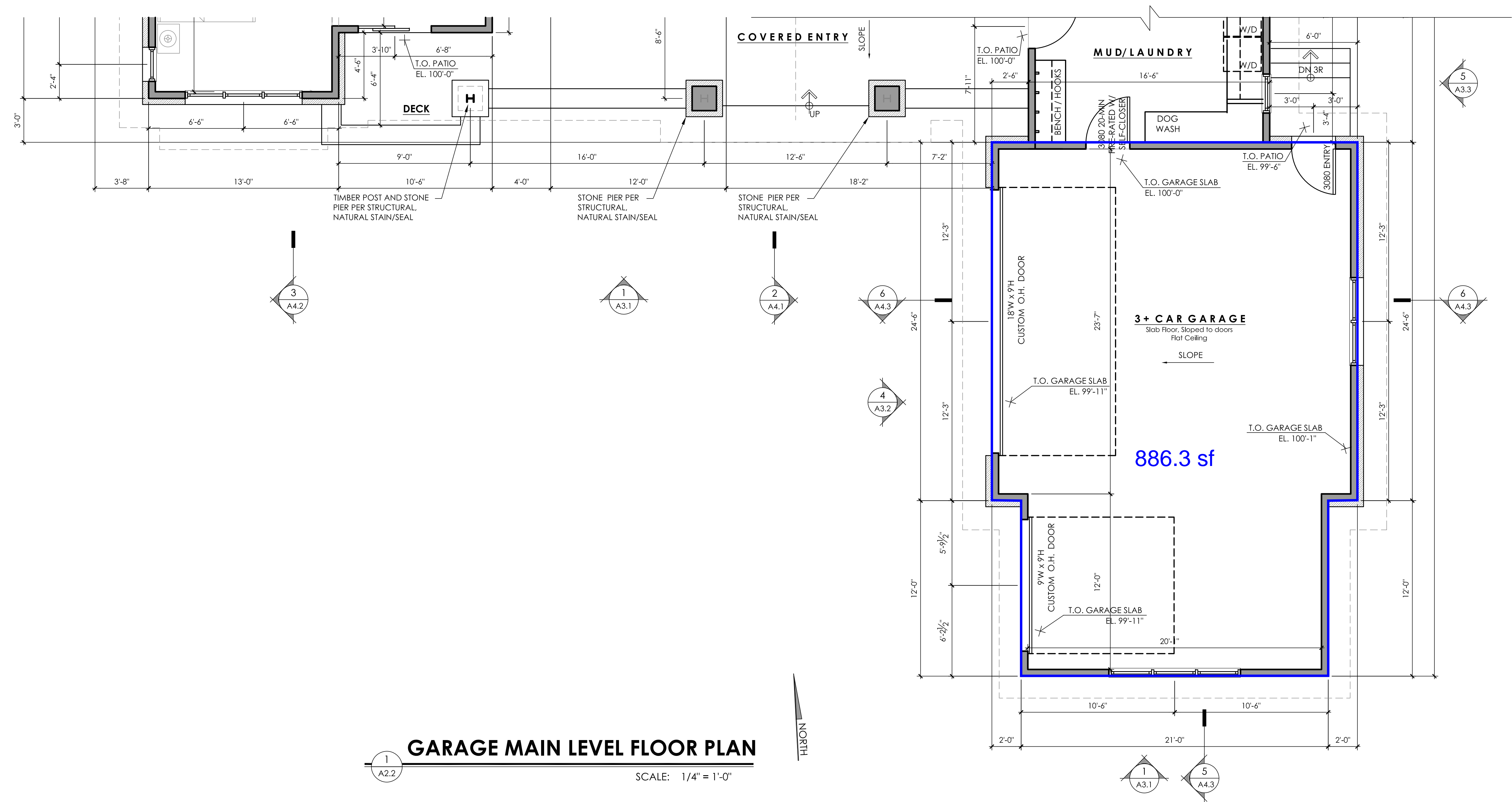
SCALE: 1/4" = 1'-0"

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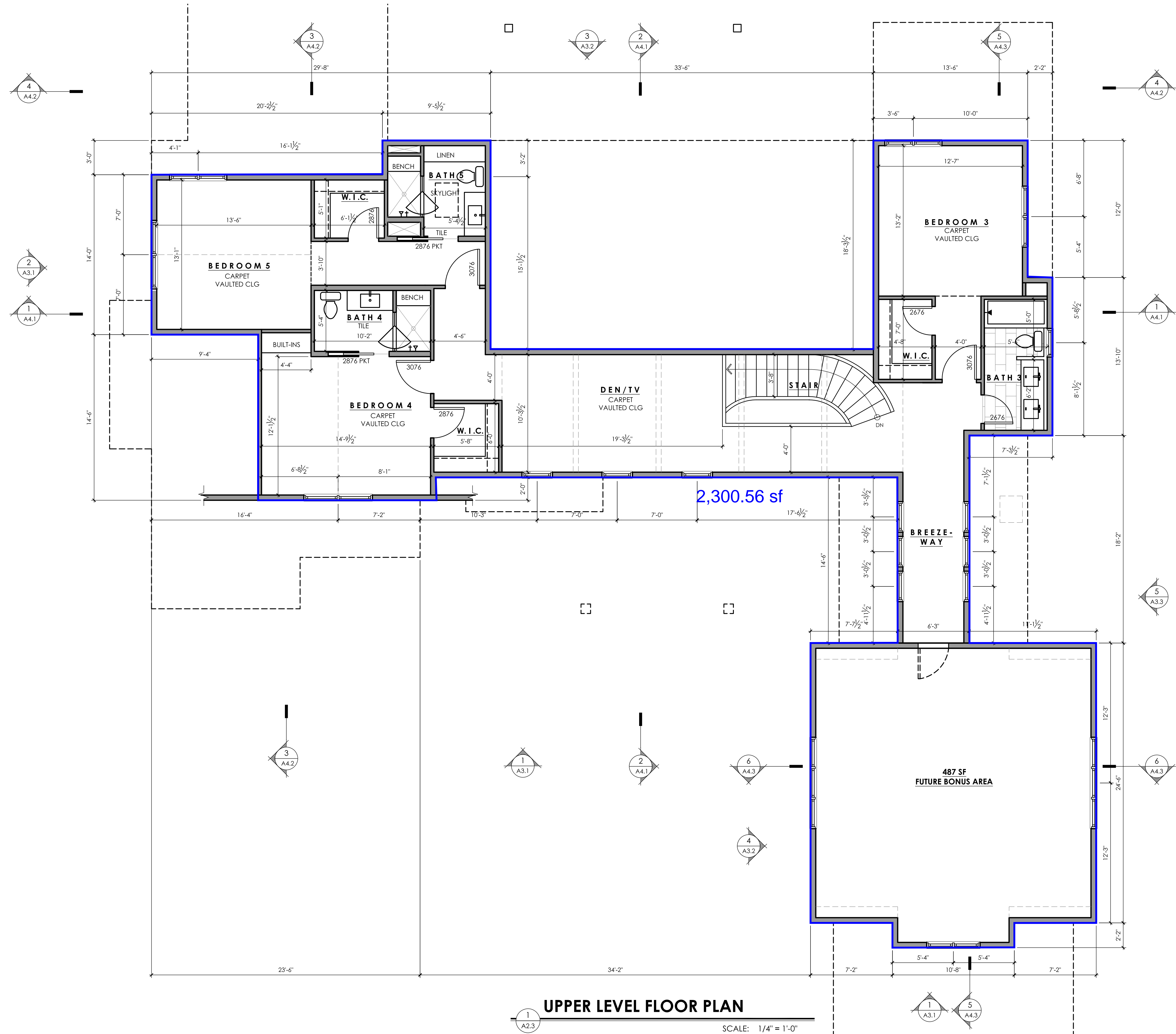
A2.1
 MAIN LEVEL
 FLOOR PLAN



1 **GARAGE MAIN LEVEL FLOOR PLAN**
A2.2

SCALE: 1/4" = 1'-0"

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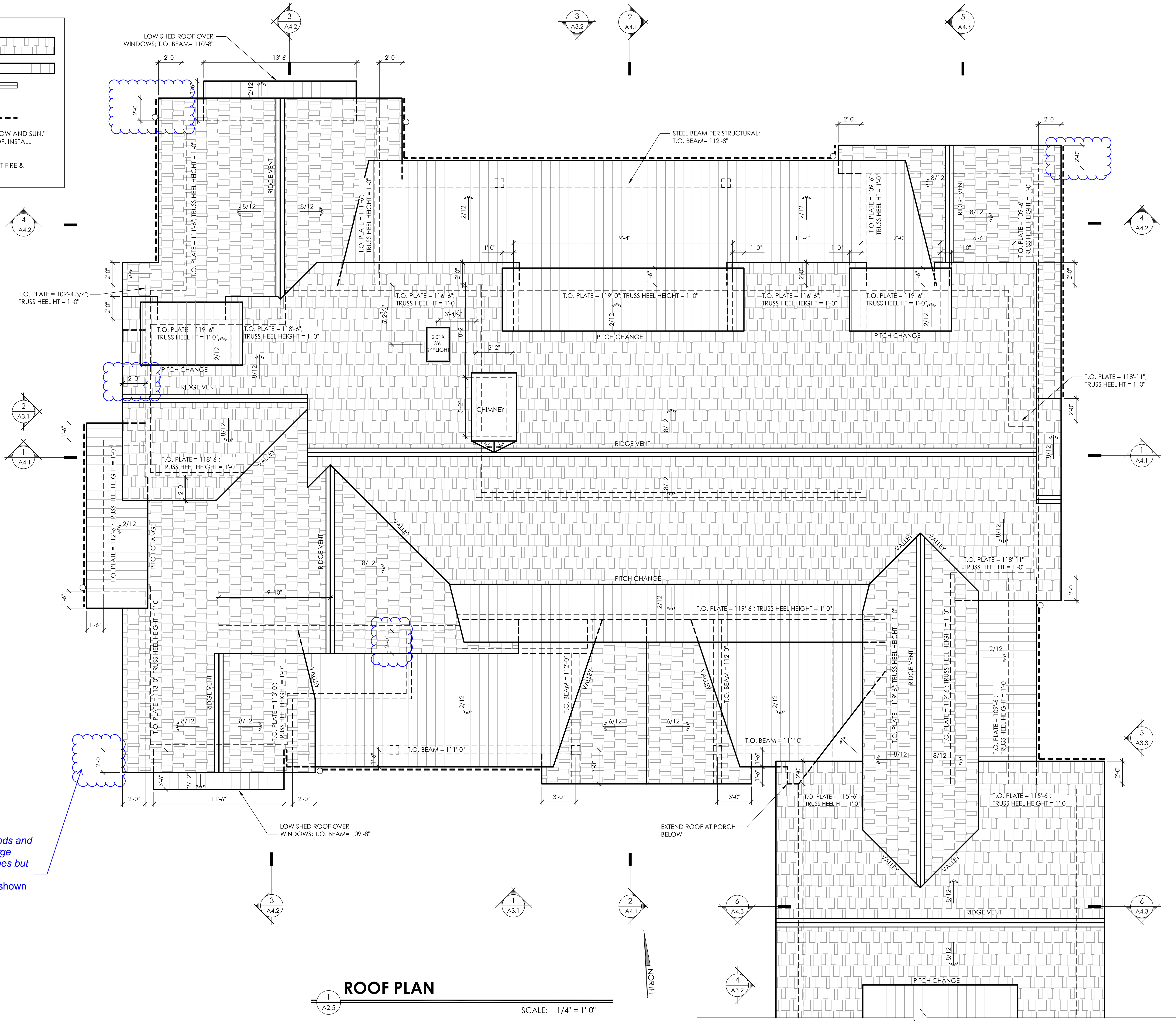
A2.3
 UPPER LEVEL FLOOR PLAN

ROOF PLAN LEGEND/ NOTES:

- SLATE ROOF TILES - CLASS "A" FIRE RATING - [Symbol]
- STANDING SEAM METAL ROOF - [Symbol]
- SNOWGUARD - [Symbol]
- DOWNSPOUT - [Symbol]
- INTEGRAL GUTTER - [Symbol]

*SNOWGUARDS: C22Z CLAMP-ON BY "TRA SNOW AND SUN," STEEL, BLACK POWDER COAT TO MATCH ROOF. INSTALL PER MANUFACTURER SPECIFICATIONS.

*FIRE-PROOF ATTIC VENTING BY "VULCAN VENT FIRE & EMBER SAFE VENTS" OR SIMILAR



3.3.2.2 (2) The gable rake ends and eaves are open and have large overhangs of at least 30 inches but not more than 48 inches. – Currently all gable ends are shown at 24" overhang.

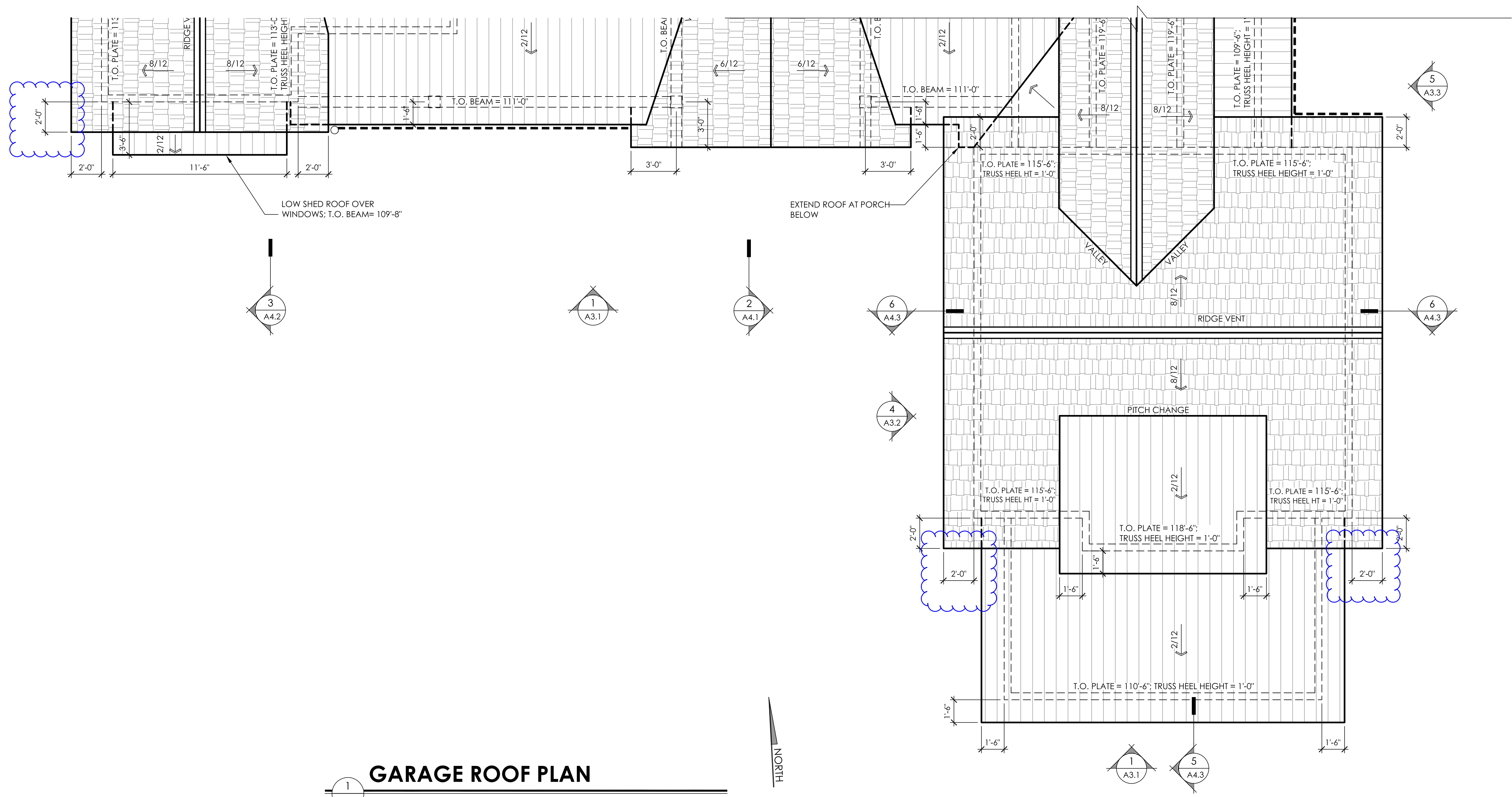
ROOF PLAN
SCALE: 1/4" = 1'-0"

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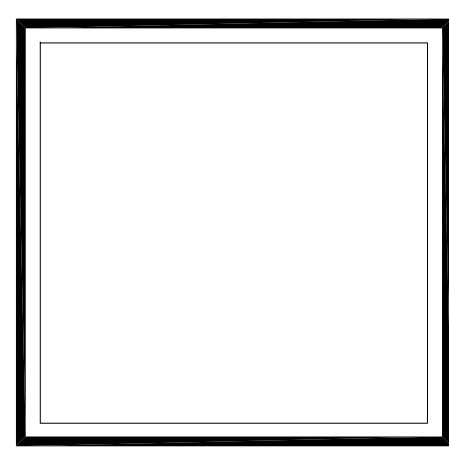
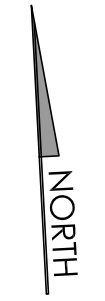
MASLAN / DAVIS RESIDENCE
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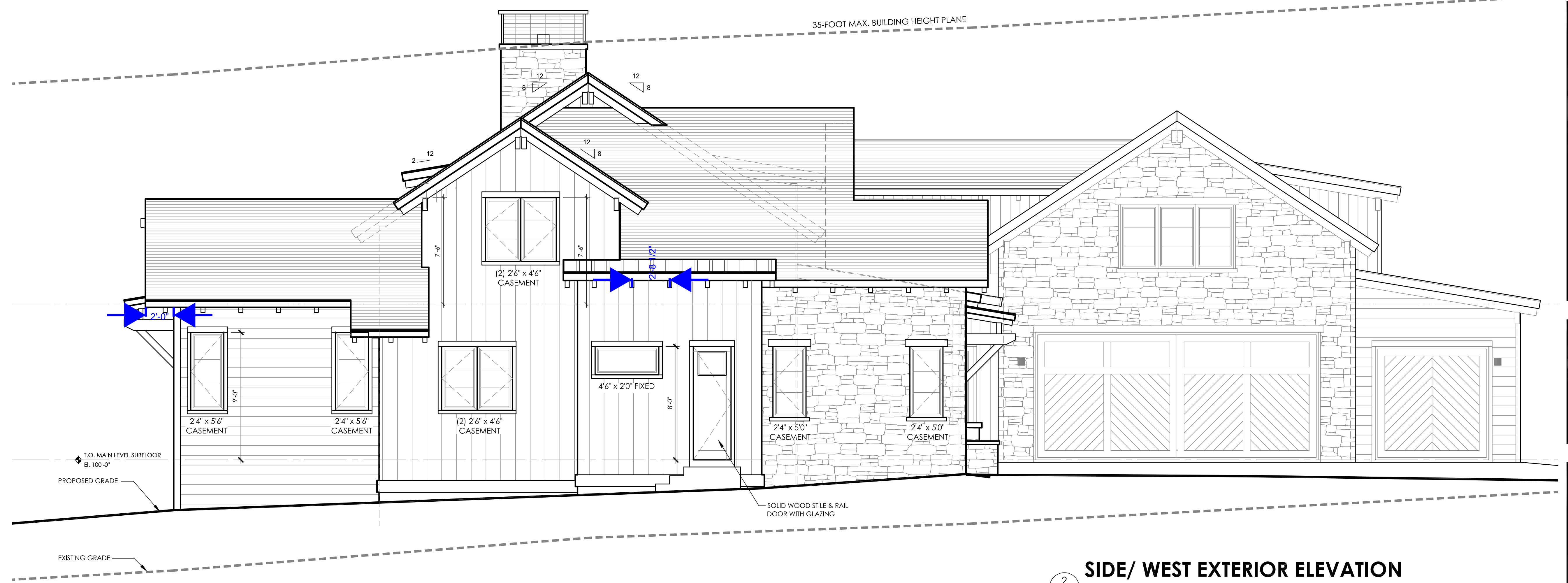
A2.4
ROOF PLAN



1
A2.5 **GARAGE ROOF PLAN**
SCALE: 1/4" = 1'-0"



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DRB TECHNICAL SUBMITTAL	



SIDE/ WEST EXTERIOR ELEVATION

2
A3.1

SCALE: 1/4" = 1'-0"

EXTERIOR MATERIALS

PRIMARY ROOF
 30-YR ASPHALT
 DARK GRAY

SECONDARY ROOF
 30-YR METAL
 STANDING SEAM METAL - BLACK
 FLAT SHEEN

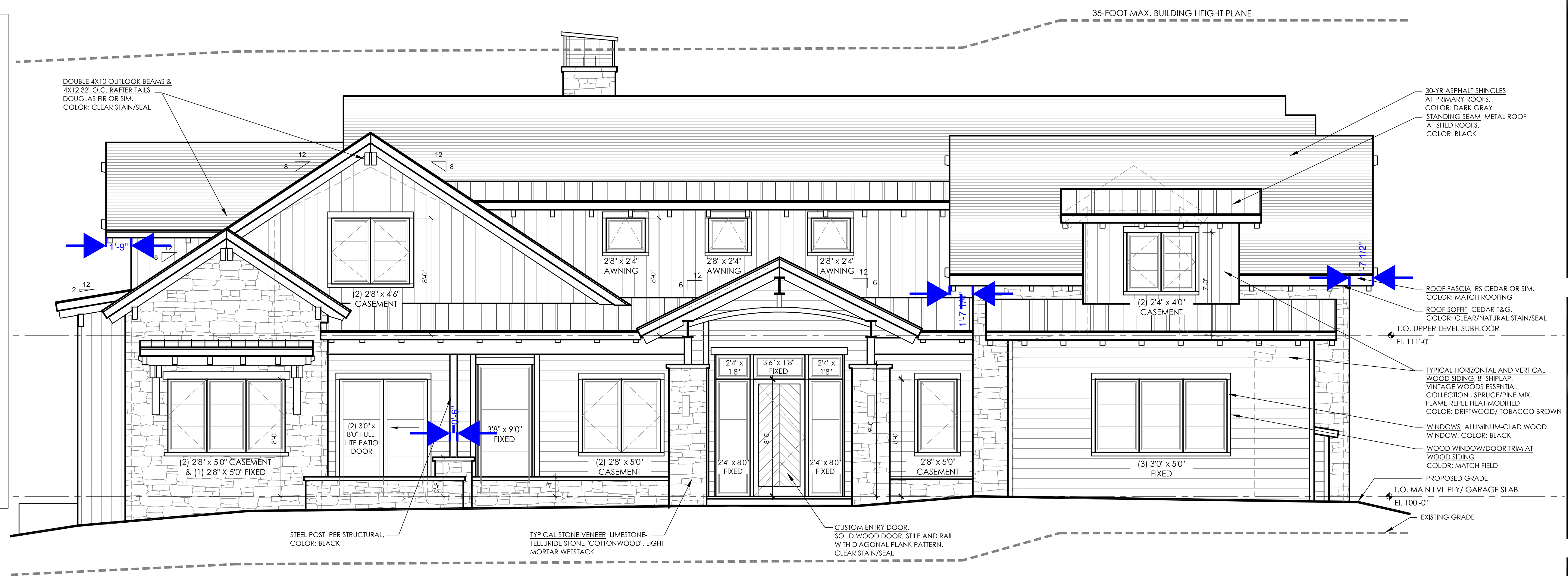
EXTERIOR LIGHTING
 HINKLEY LIGHTING - PAPER
 DOWNLIGHT 11"x24" DARK SKY
 COMPLIANT COLOR: BLACK

BACK YARD FENCE
 TIMBER POST, WOOD FRAME, HOG
 WIRE INFILL

WINDOWS & DOORS
 ALUMINUM CLAD WOOD WINDOW
 COLOR - BLACK

WOOD SIDING
 VINTAGE WOODS RUSTIC SPRUCE/
 PINE MIX 1 x 8 SHIP LAP
 FLAME REPEL HEAT MODIFIED
 COLOR: TOBACCO BROWN/
 DRIFTWOOD

STONE VENEER
 LIMESTONE - TELLURIDE STONE,
 LIGHT MORTAR WEISTACK,
 "COTTONWOOD"



ENTRY/ SOUTH EXTERIOR ELEVATION

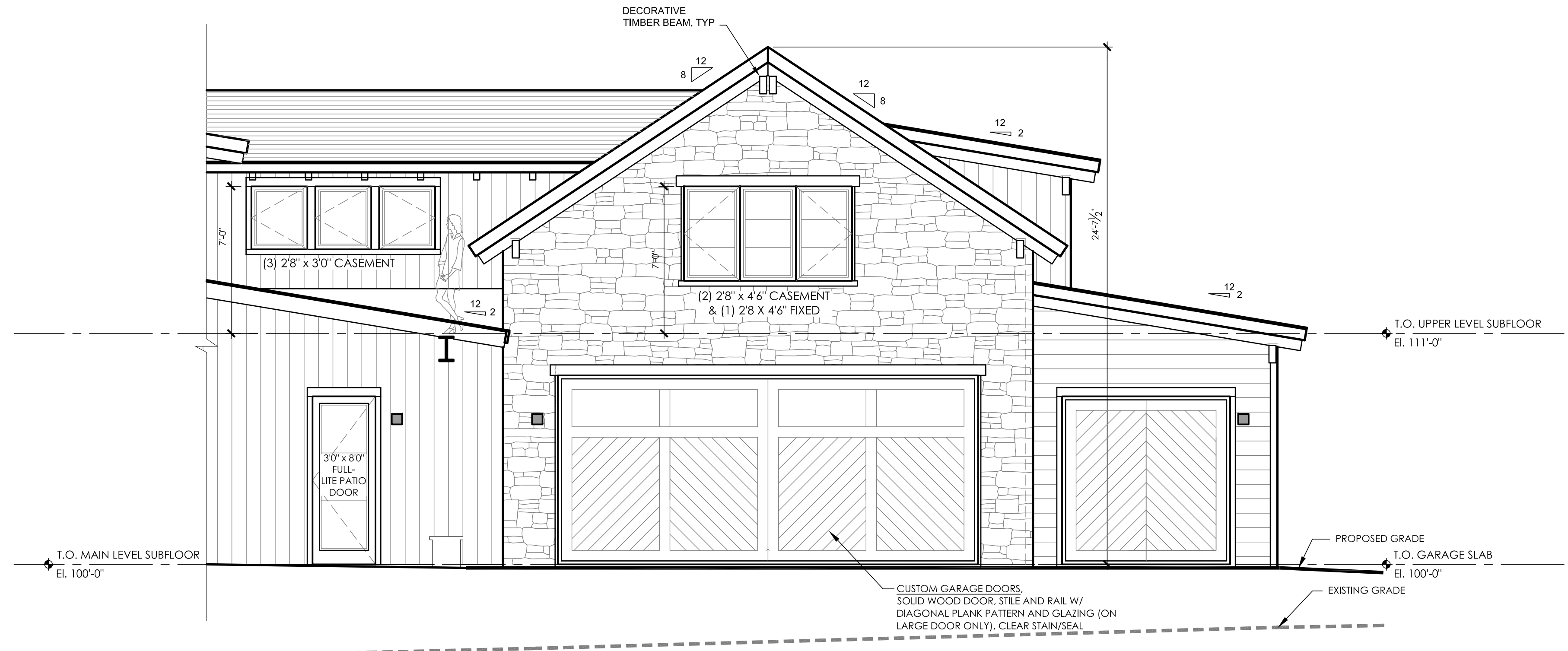
1
A3.1

SCALE: 1/4" = 1'-0"

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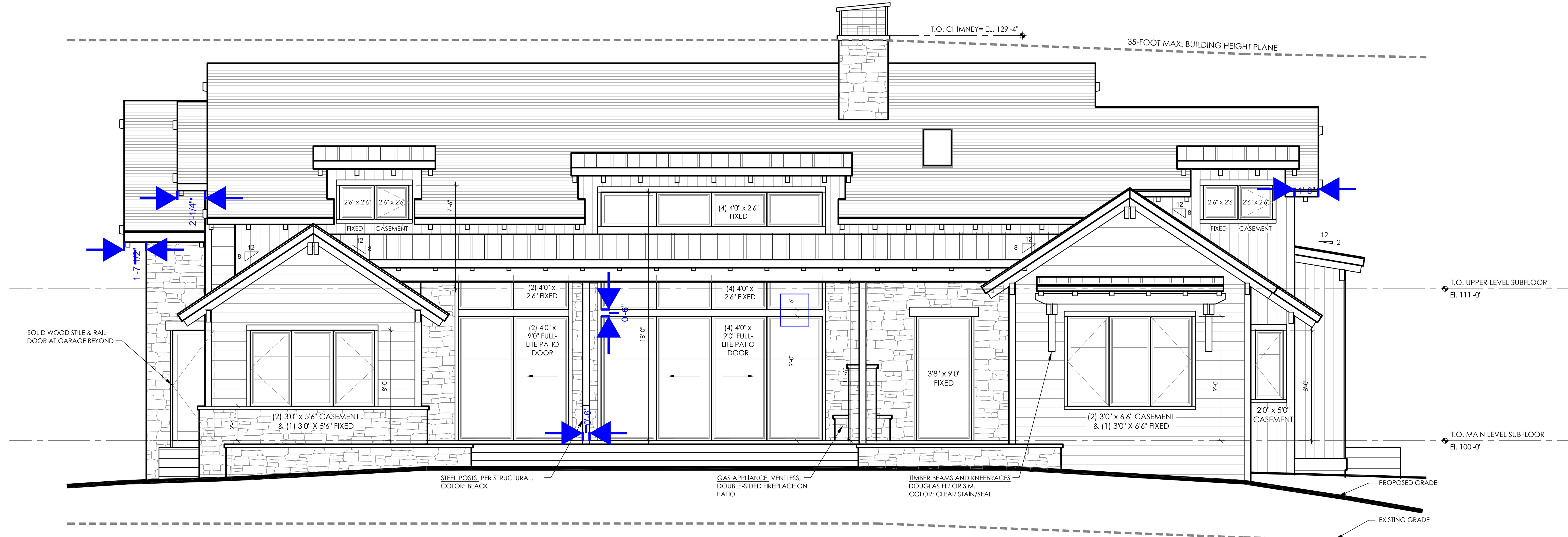
A3.1
 EXTERIOR
 ELEVATIONS



GARAGE/ WEST EXTERIOR ELEVATION

4
A3.2

SCALE: 1/4" = 1'-0"



BACK/ NORTH EXTERIOR ELEVATION

3
A3.2

SCALE: 1/4" = 1'-0"

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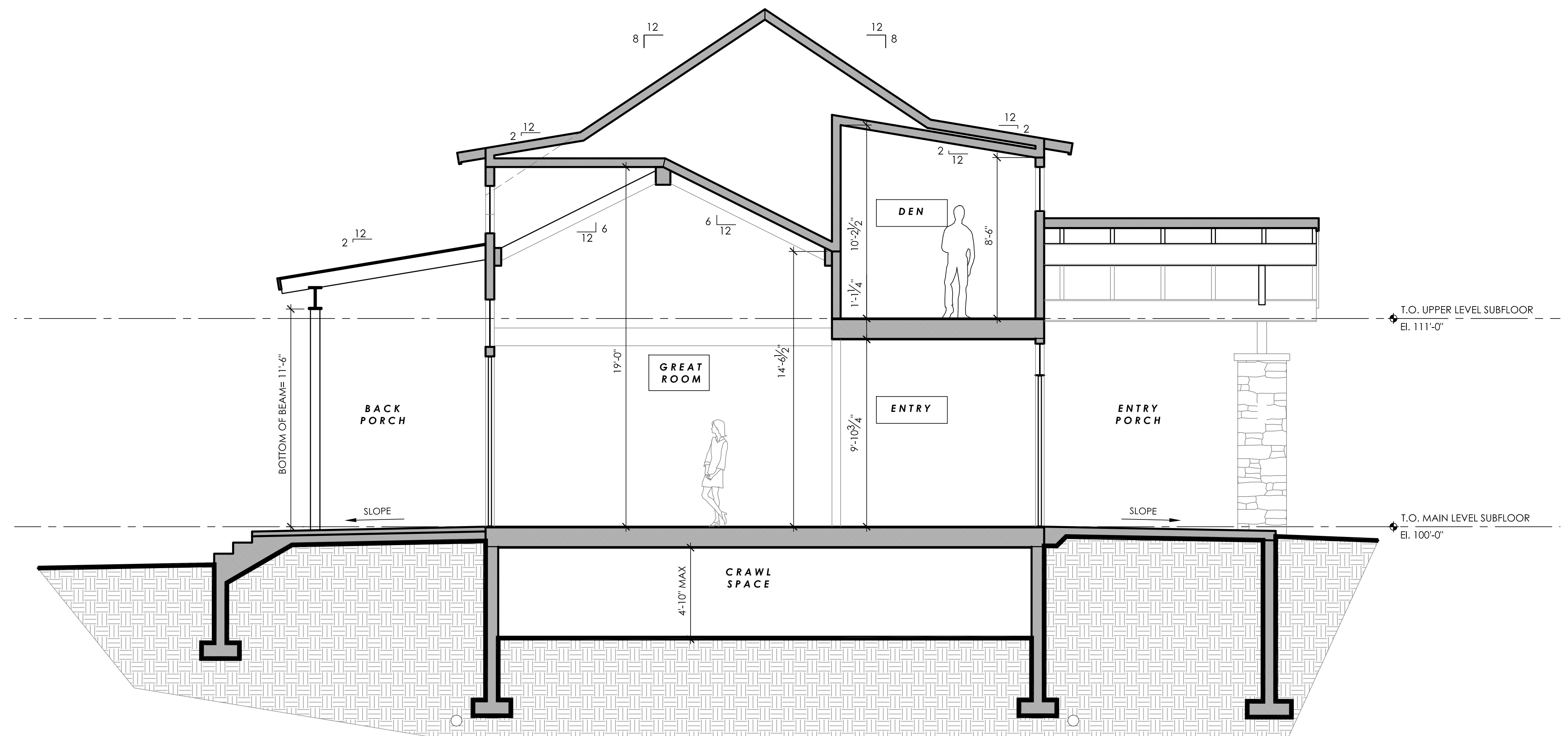
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A3.2
EXTERIOR ELEVATIONS

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	DRB FINAL SUBMITTAL
	DRB TECHNICAL SUBMITTAL



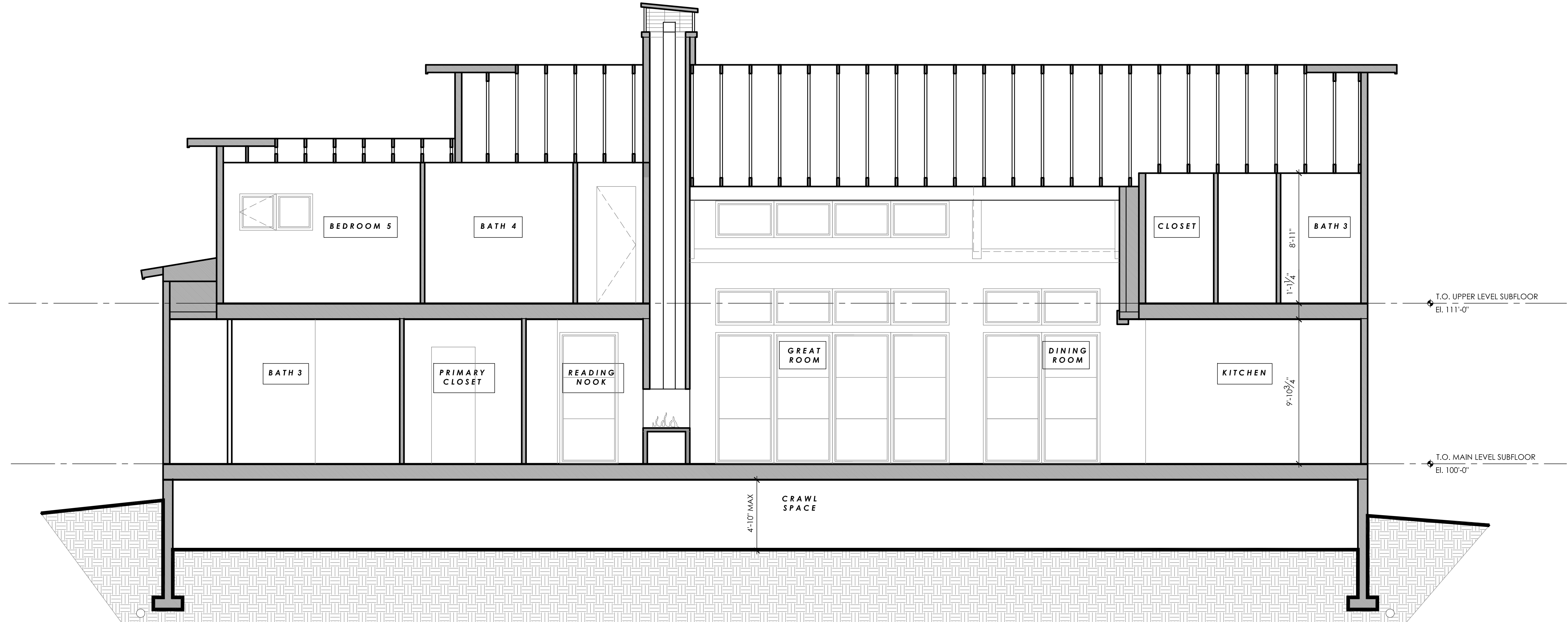
5
A3.3
SIDE/ EAST EXTERIOR ELEVATION
 SCALE: 1/4" = 1'-0"



2
A4.1

SECTION THRU GREAT ROOM/ ENTRY

SCALE: 1/4" = 1'-0"



1
A4.1

SECTION THRU BEDROOM 5/ GREAT ROOM/ KITCHEN

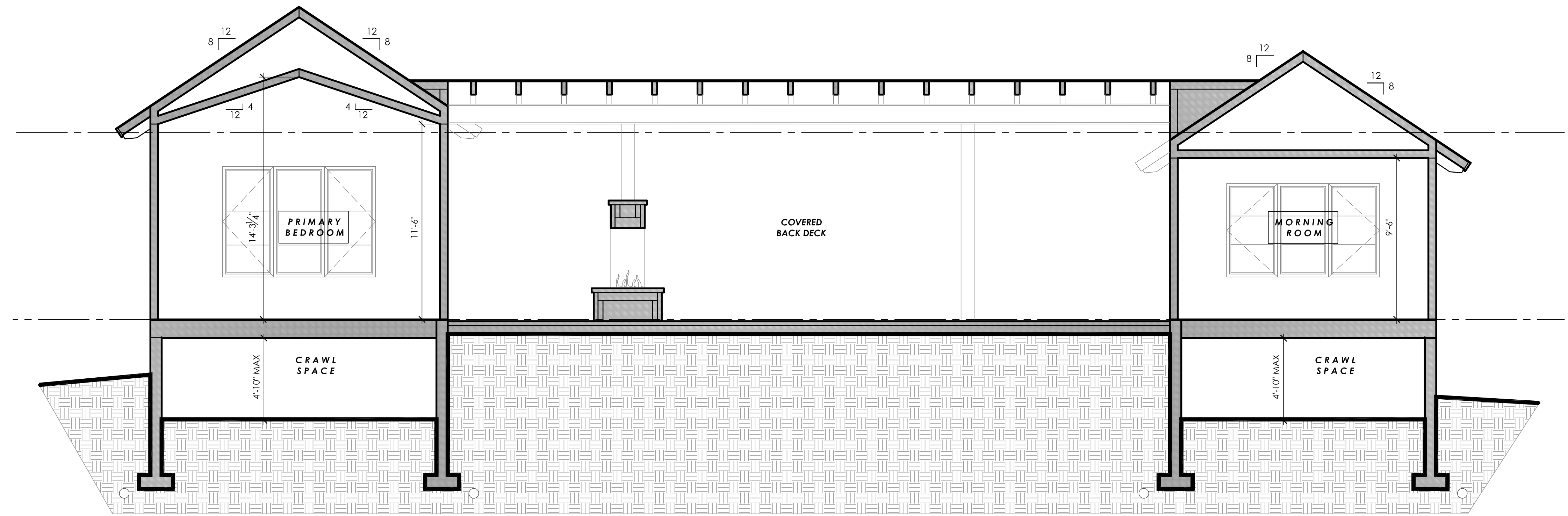
SCALE: 1/4" = 1'-0"

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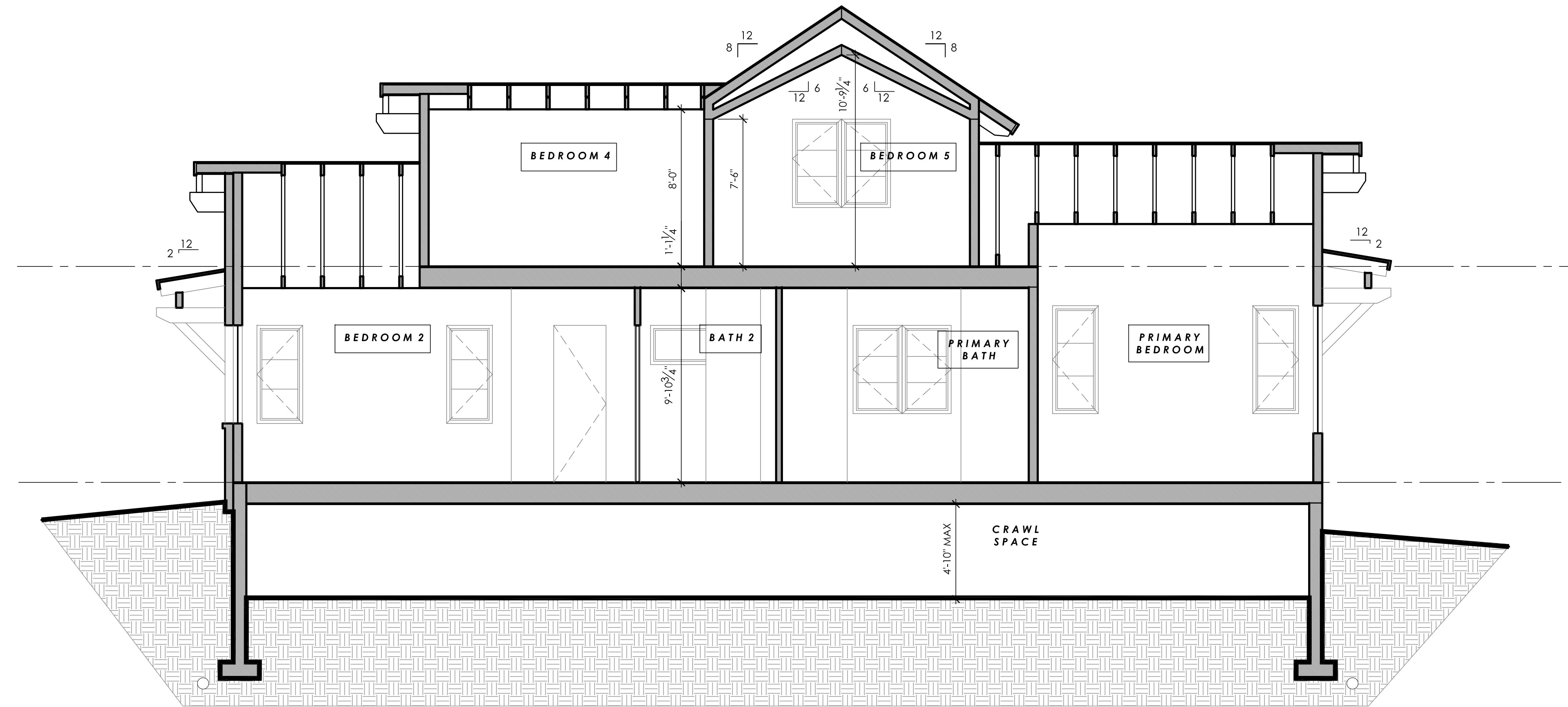
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A4.1
 BUILDING SECTIONS



4
A4.2
SECTION THRU GREAT ROOM/ ENTRY
 SCALE: 1/4" = 1'-0"



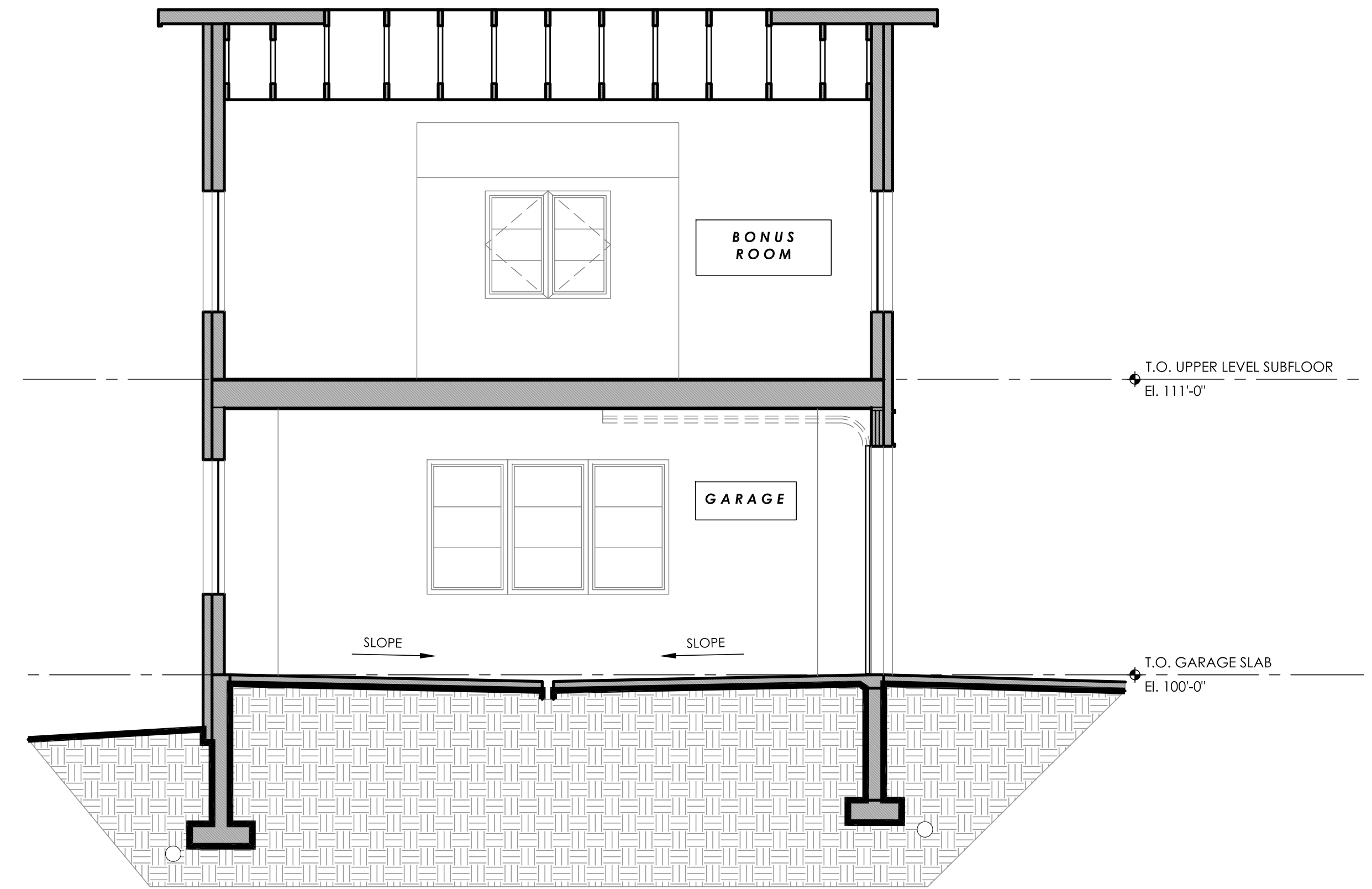
3
A4.2
SECTION THRU BEDROOM 5/ GREAT ROOM/ KITCHEN
 SCALE: 1/4" = 1'-0"


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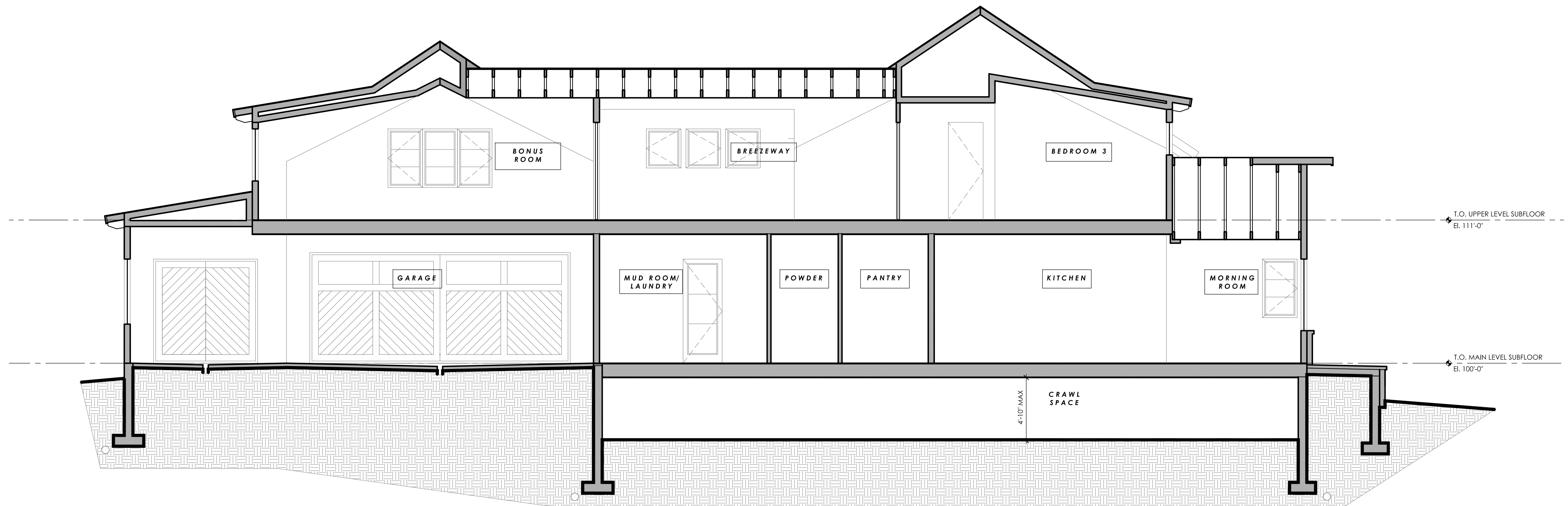
A4.2
 BUILDING
 SECTIONS



SECTION THRU GARAGE

6
A4.2

SCALE: 1/4" = 1'-0"



SECTION THRU GARAGE/ MUD ROOM/ KITCHEN

5
A4.2

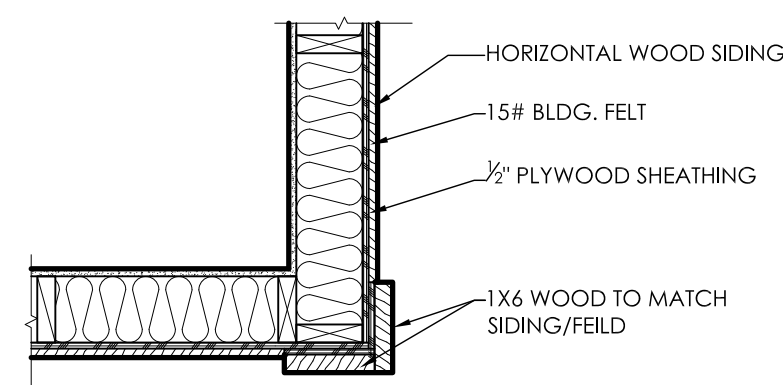
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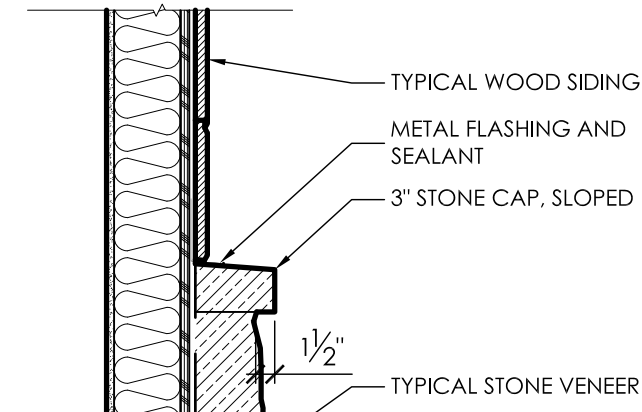
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A4.3
BUILDING
SECTIONS



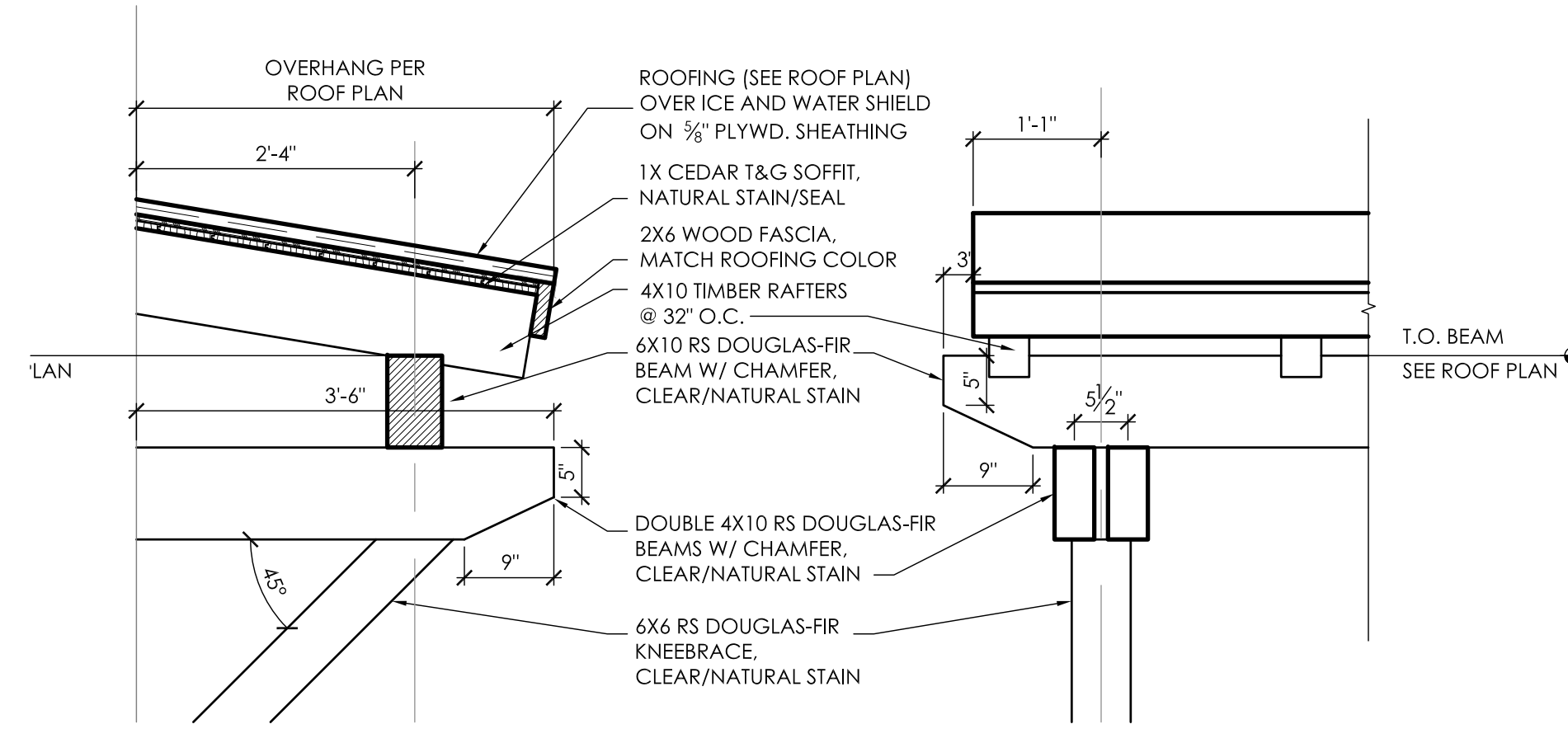
EXTERIOR CORNER TRIM AT WOOD SIDING



TYPICAL STONE SILL

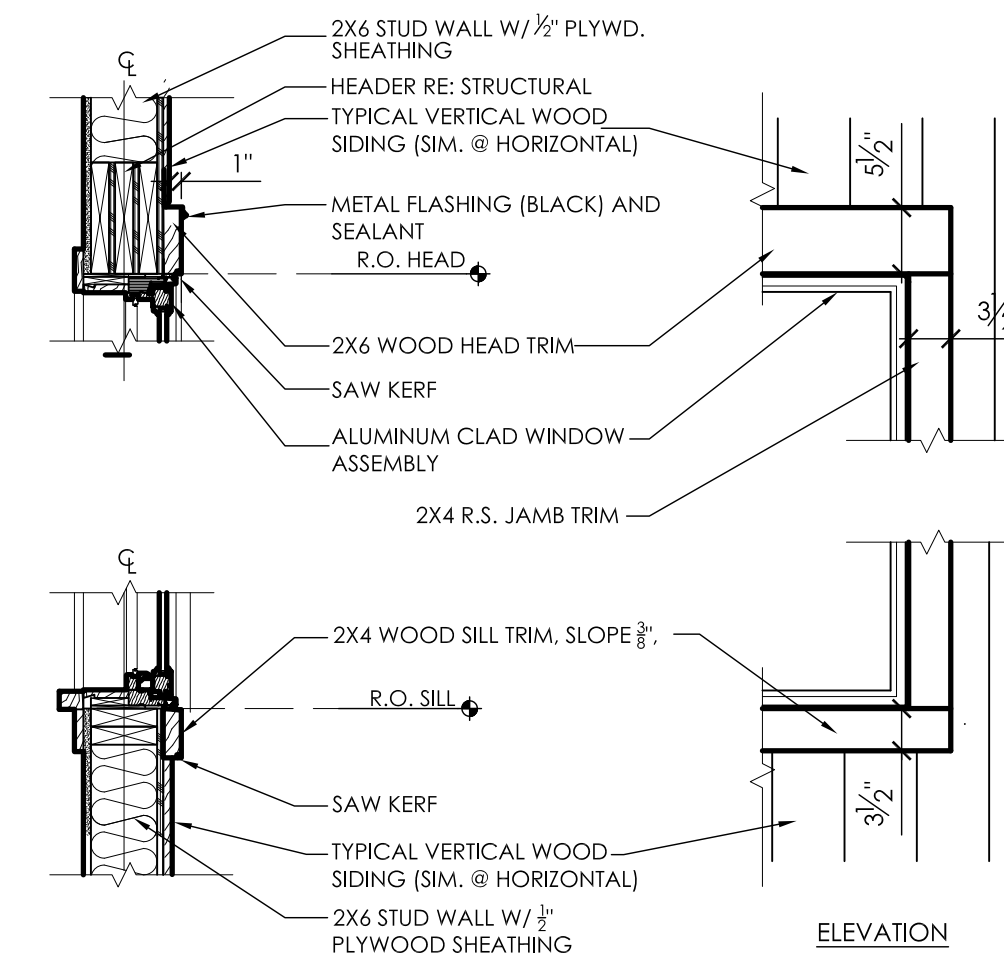
BUILDING DETAILS- CORNER TRIM, STONE SILL

7
A4.4 SCALE: 1 1/2" = 1'-0"

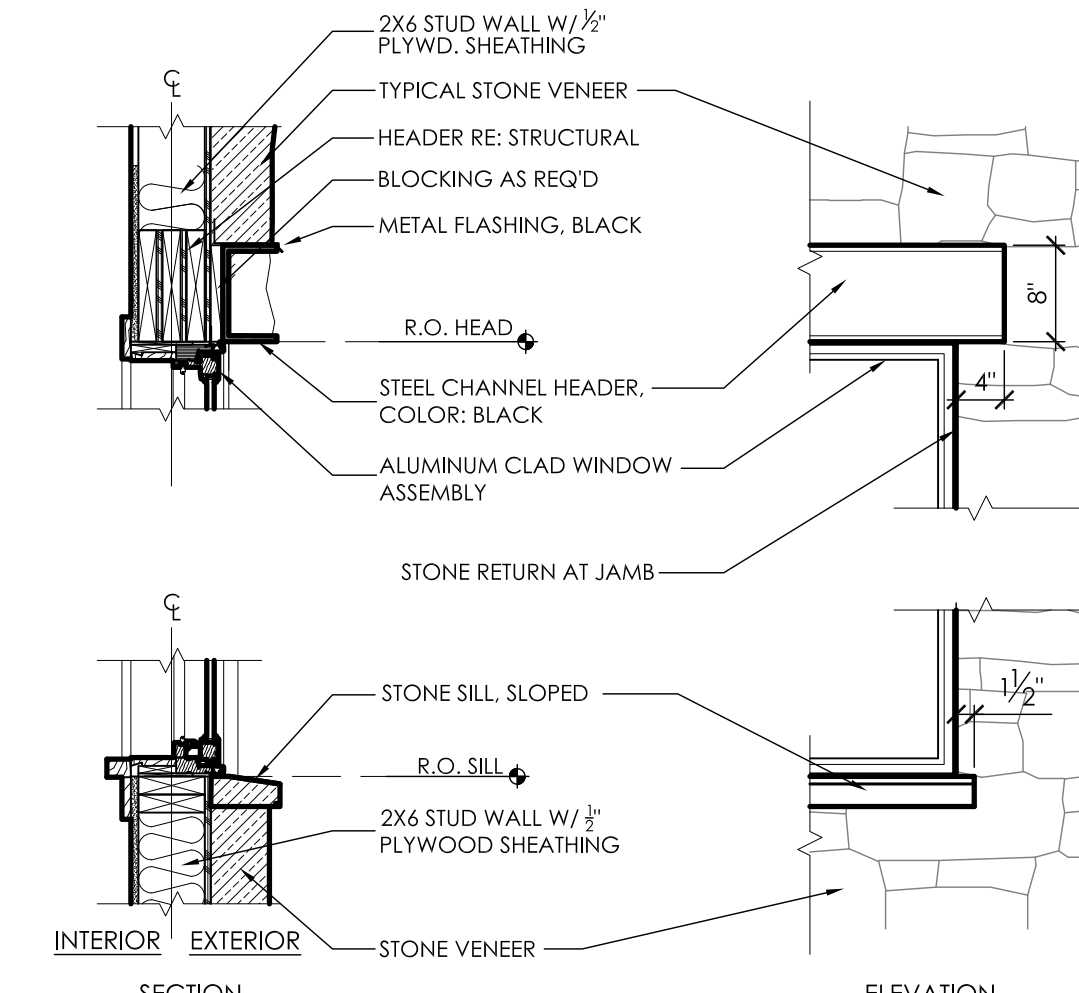


BUILDING DETAILS - AWNING ROOF

6
A4.4 SCALE: 1 1/2" = 1'-0"



ELEVATION

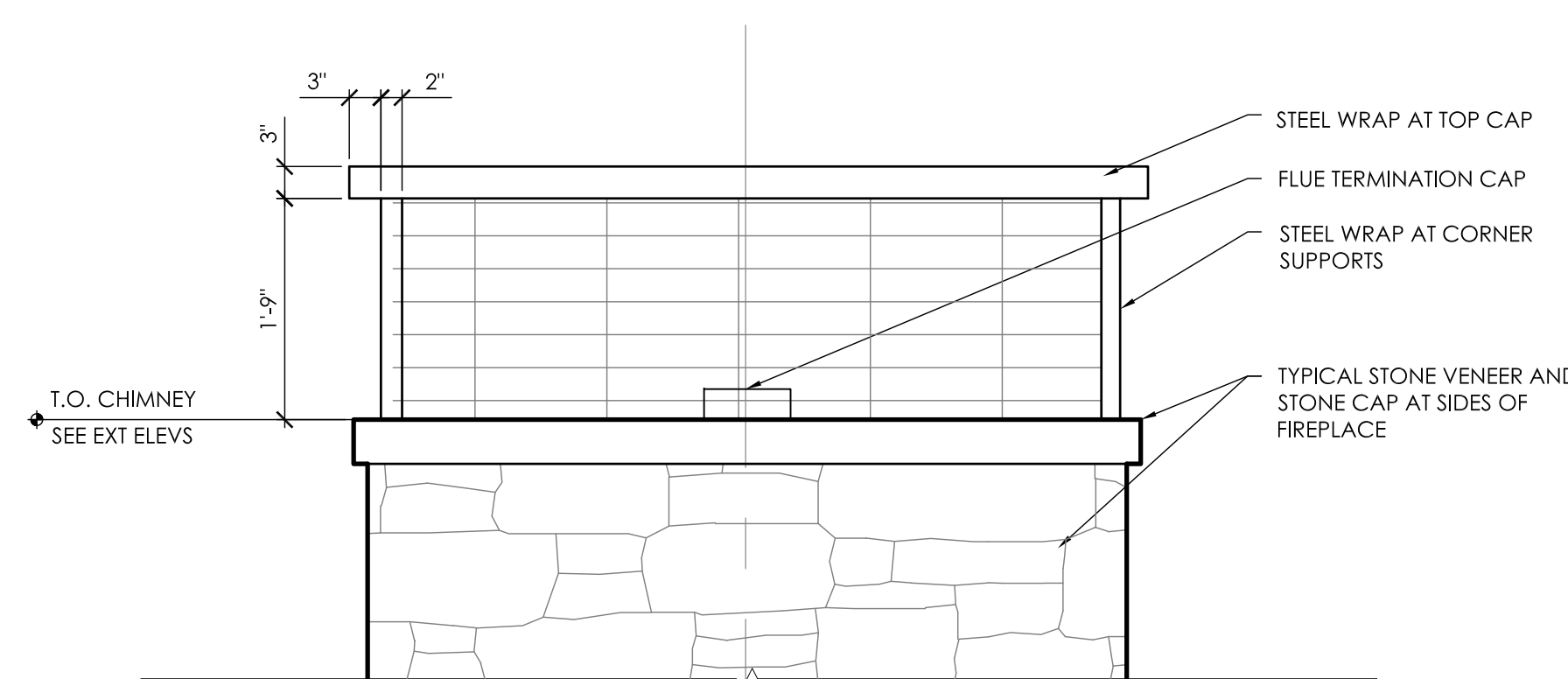


SECTION

ELEVATION

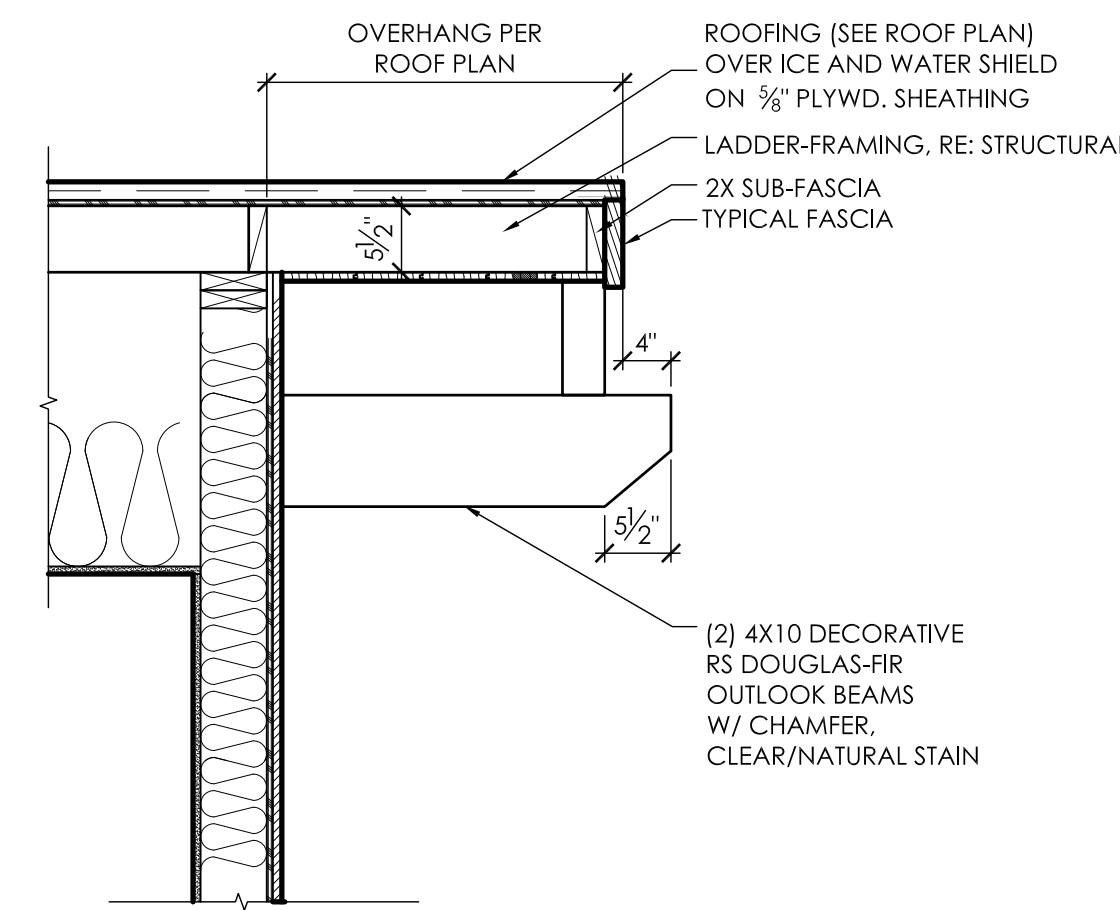
BUILDING DETAILS - WINDOW TRIM

5
A4.4 SCALE: 1 1/2" = 1'-0"



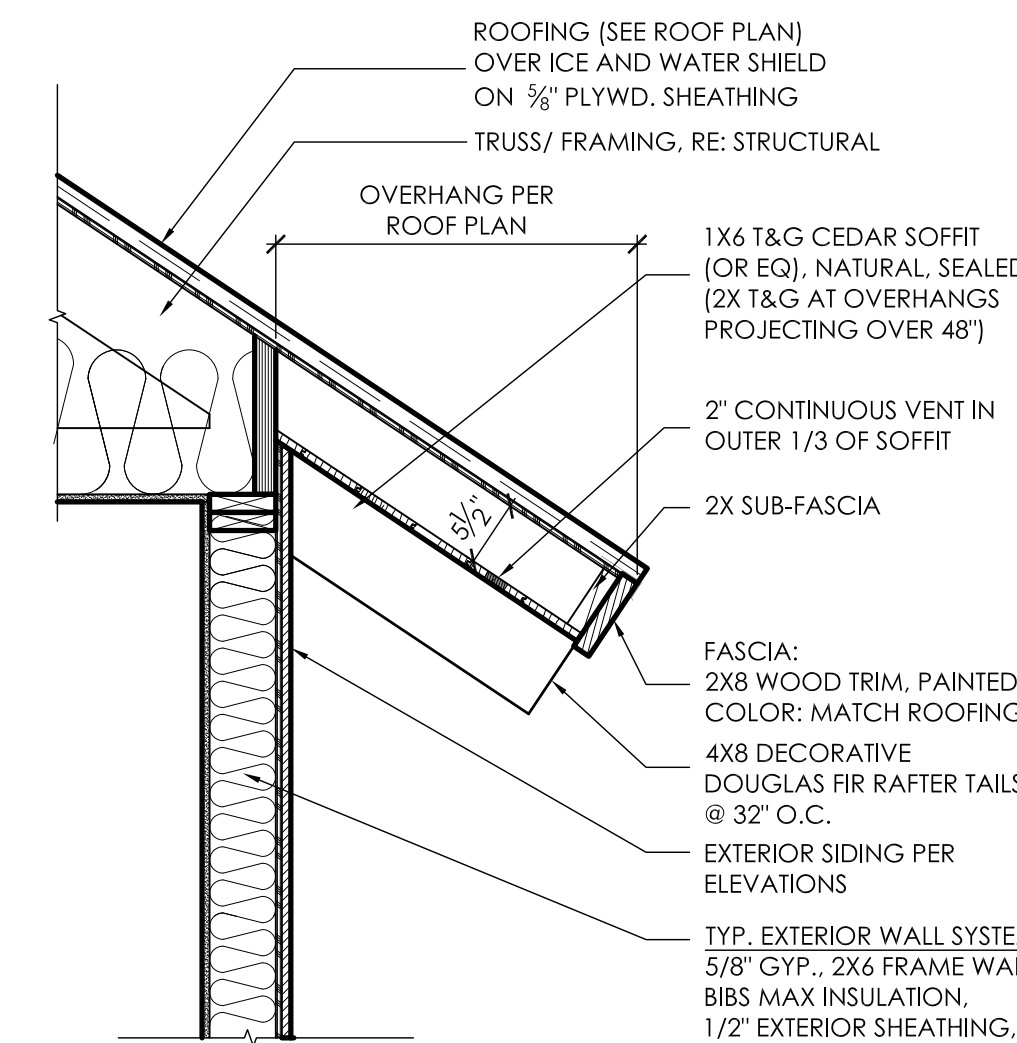
BUILDING DETAILS - CHIMNEY

4
A4.4 SCALE: 1 1/2" = 1'-0"

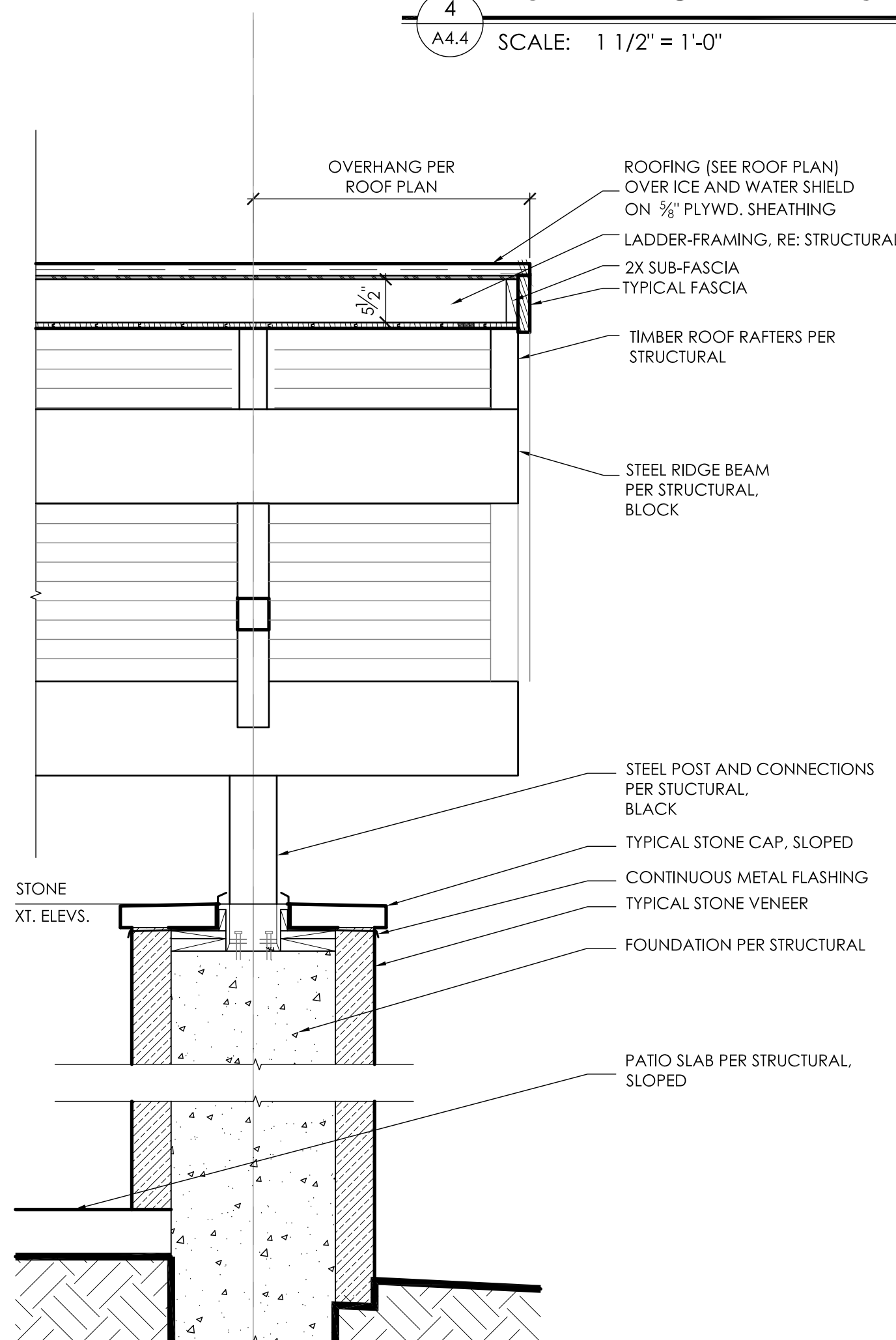


BUILDING DETAILS - TYP EAVE, TYP RAKE

3
A4.4 SCALE: 1 1/2" = 1'-0"



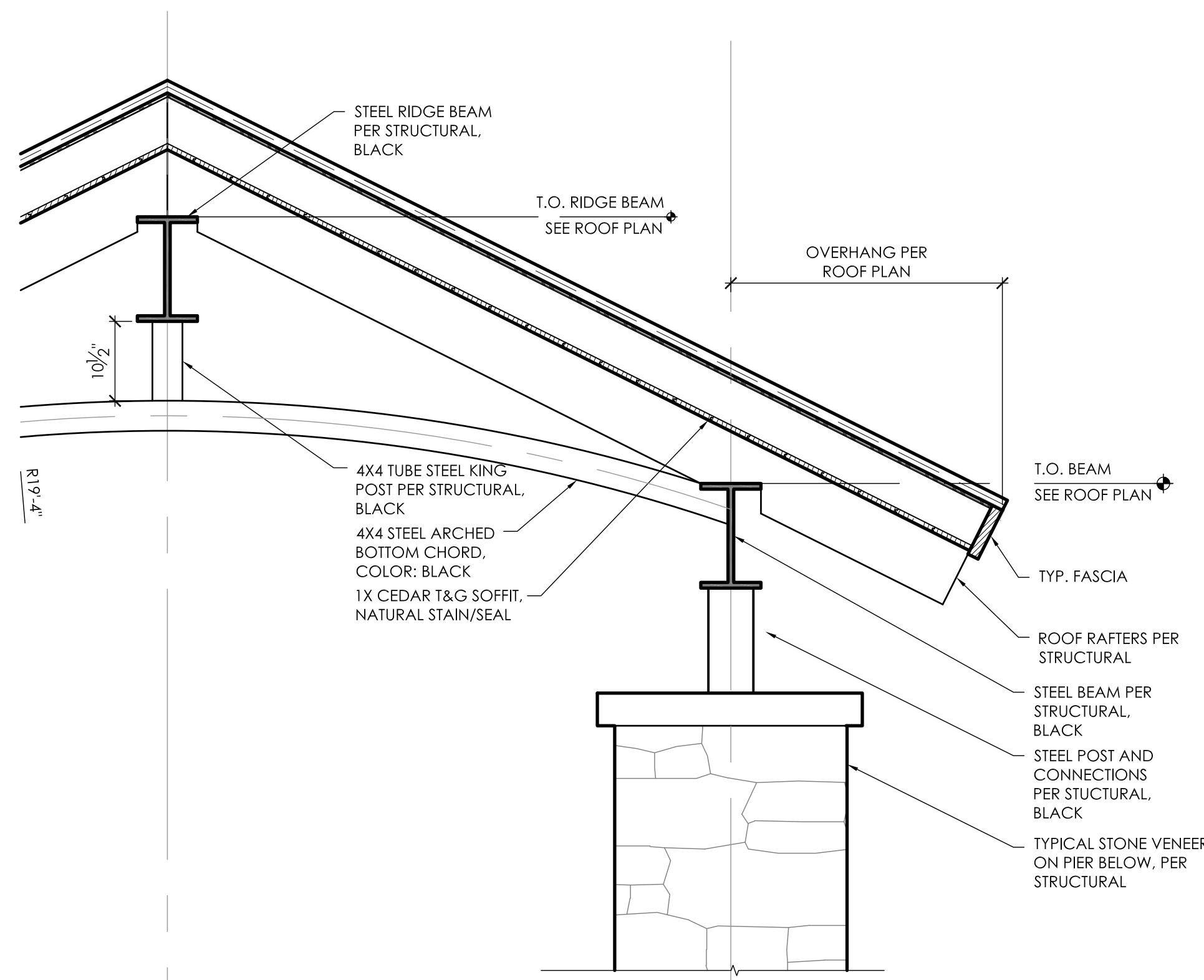
TYPICAL ROOF EAVE



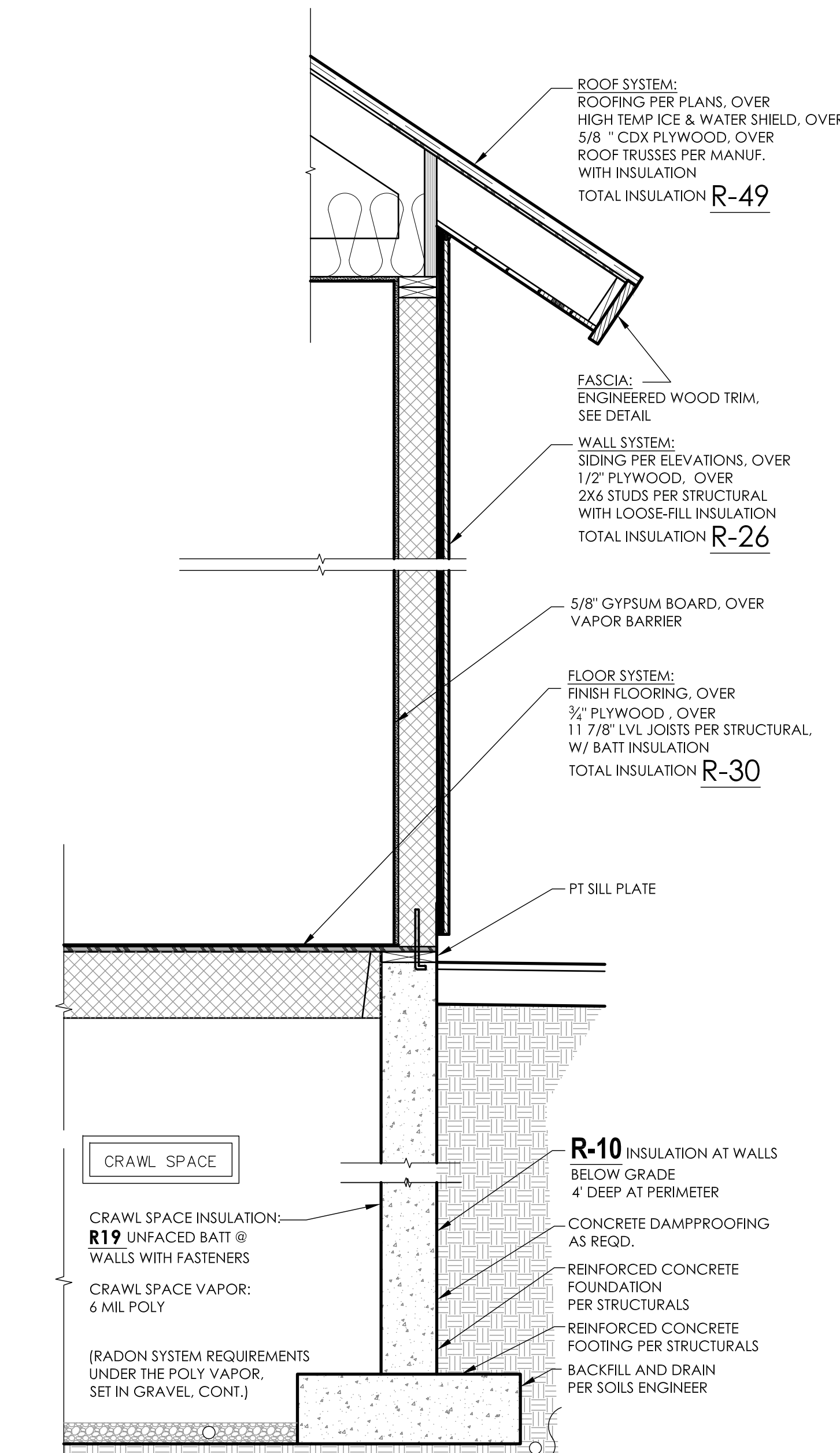
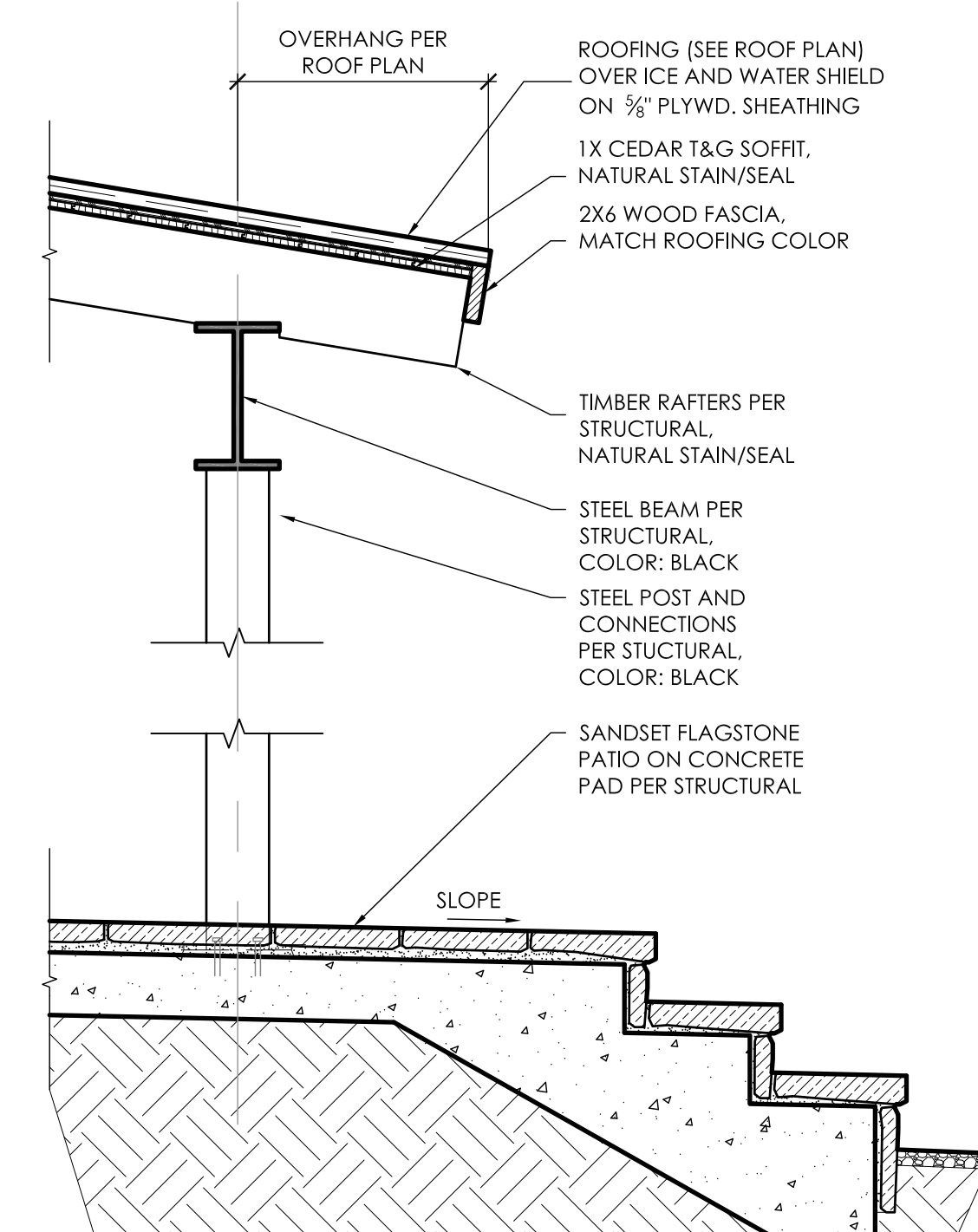
SECTION
FRONT ENTRY PORCH

BUILDING DETAILS - PORCH ROOFS

2
A4.4 SCALE: 1 1/2" = 1'-0"



BACK DECK



TYPICAL WALL SECTION

1
A4.4 SCALE: 1 1/2" = 1'-0"

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A4.4
BUILDING
DETAILS

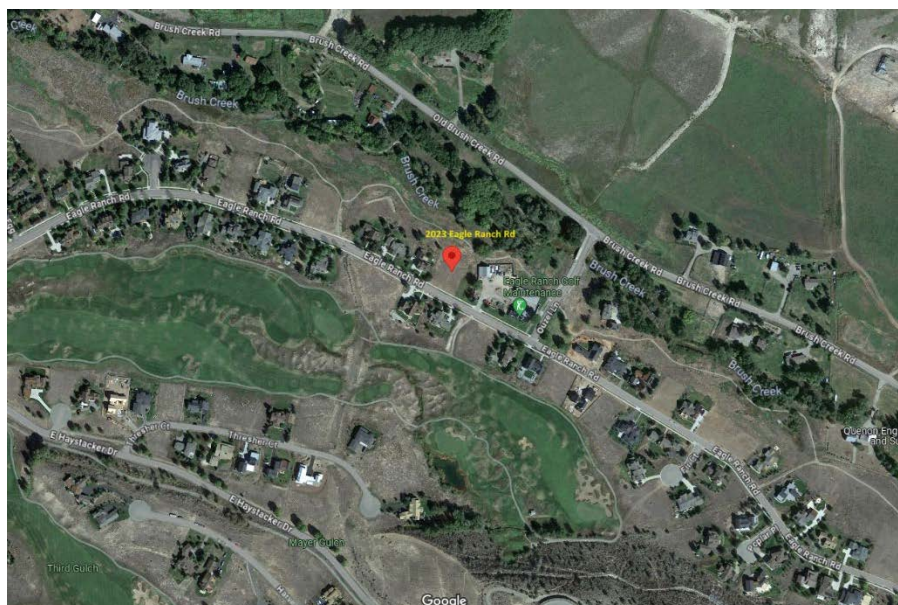


Design Review Memorandum Final Review

Project Number:	04-06-24
Owner Name:	Craig & Kristina Birk
Architect:	Gabrielle Meola
Address:	2023 Eagle Ranch Rd
Legal:	EAGLE RANCH FILING 4 Block: 6 Lot:40
Preliminary DRB Meeting #1 Date:	June 15, 2023
Final DRB Meeting Date:	February 15, 2024

PROJECT OVERVIEW

- Lot Size: 21,600 sf
- Accessory Dwelling Unit: No
- Slopes in Excess of 30%: No
- Design Guidelines: The Meadows
- Style: Victorian
- Fire Suppression System: Refer to GERFPD and EVW for fire suppression requirements



LIMITATIONS

Standard	Allowed	Proposed
Floor Area Maximum	6,000 sf	5,349 sf
Floor Area Minimum	2,000 sf	Complies
Site Coverage	30% = 6,480 sf	4,131 sf
Impervious Area	50% = 10,800 sf	8,336 sf
Height	35 ft	Complies
Setbacks	35 ft front 25 ft rear 15 ft side	Complies
Driveway Setback	7.5 ft from side property line	Complies
Development Disturbance	Property Boundaries	Complies

1. Site and Landscape Comments

- a. Generally, staff believes that the proposed site and landscape plan is consistent with the Meadows Design Guidelines.
- b. Show and/or clarify construction fence location on construction management plan.
- c. Include scaled planting plan (not currently at specific scale).
- d. Berms and all grading should be included on Site Plan.
- e. Eagle Valley Wildland is recommending the use of Bristlecone Pines instead of Pinion Pines.
- f. Show AC unit(s) location on planting plan to verify appropriate screening.
- g. Per Preliminary Review notes, landscape screening for ADU parking required.
- h. Show construction sign layout for Technical Review.
- i. Provide cost estimate for final landscaping and irrigation and anticipated landscape completion date for Technical Review.

2. Architecture Comments

- a. Generally, staff believe the proposed architecture is consistent with the Meadows Design Guidelines relative to the Victorian Style.
- b. Show address numbers and locations on both main house and ADU.
- c. Include larger and/or more detailed exterior materials/color information for Technical Review. (i.e. manufacturer spec sheet, etc).
- d. Clarify garage door materials.
- e. Window trim side jambs currently measure 1 ½". *2.3.2.2 Window Trim (1) Windows set in wood or simulated wood siding must have trim around them. Trim thickness should be 2-inch (nominal) stock...*

- f. Regarding Chevron siding on North Elevation: **Staff request DRB input.** 3.2.7 (1) *Horizontal wood or simulated wood siding is most typical to the vernacular and is appropriate. Vertical siding may be appropriate in certain applications. Shingle siding may be appropriate in gable ends and as accents.*

3. Staff Recommendation

Staff recommends approval of the Final Plan Review for the Birk Residence with the following conditions:

1. General Condition: Compliance with the Eagle Ranch Design Guidelines and process is not a substitute for compliance with Town of Eagle regulations, State regulations, or Federal regulations. Additional permits and approvals may be required by these agencies prior to commencing any work on the property. The property owner and its agents are responsible for ensuring compliance with all local, state, and federal regulations.
2. The applicant shall address the comments provided in this staff memorandum and any DRB comments prior to submittal for Technical Plan Review.

Minutes from Preliminary Plan Review Meeting on June 15, 2023

4:00pm – Birk Residence Filing 04 – Block 06 – Lot 40 _ 2023 Eagle Ranch Road – **2nd Preliminary** – Architect: Gabrielle Designs,

Gaby Meola; Meadows, Victorian

- a. *Review of 2nd Preliminary is only of revisions made based on discussions at first Preliminary Review. Must comply with all items of both 5/18/23 DRB Meeting and this review for Final Plan review.*
- b. **Discussion Item:** Review garage setback measuring at 14'-2 ½" which still does not meet 15' min. setback. MDG 2.2.6(6) – **Verify will meet guidelines. Show dimension lines to clearly show that the 15' of separation is met.**
- c. **Discussion Item:** Review status with Town of Eagle for approval of proposed double driveway. **Second driveway eliminated.**
- d. **Discussion Item:** Review relocated ADU balcony to rear elevation of rear garage over added Storage. **Okay**
- e. **Discussion Item:** Review revised roofs over rear garage and Upper Level massing from metal standing seam to asphalt shingle. **Shingle added**
- f. **Discussion Item:** Review snow and ice build-up concerns discussed at 5/18/23 DRB Meeting at shed roof and stone parapet between wings of the house. **Okay**
- g. **Discussion Item:** Review previously cantilevered front bay window now showing extension down to grade. **Okay**
- h. **Discussion Item:** Review revised window layout/orientation and divided lights at both garages. **Okay**
- i. **Discussion Item:** Review revised garage door at rear garage to single 2-car door per discussion at 5/18/23 DRB Meeting.
- j. **Discussion Item:** Review Exterior Materials with updated color board and renderings provided.
 - i. Vertical siding: Board & batten. Clarify material will be wood as called out with 12" reveal and 6" batten in staggered application. **Okay**
 - i. Large multi-story spans shown, particularly with deletion of windows at rear garage. Review potential belt course not less than 2x12 at each floor to eliminate butt joints in board and batten similar to Uplands DG 3.2.2.5. Typical all elevations with multi-story spans. **Owner does not want belly boards and instead will use full length boards and stagger joints so that there is not a distinct horizontal line where vertical boards stop and start.**
 - ii. Review height of rear garage with deletion of ADU Loft Space. **Okay**
 - ii. Stone: Clarify proposed pattern. Random horizontal ashlar lay-up of stone is required. No more than 20% of surface area may be comprised of non-rectangular units that must be randomly dispersed within the ashlar field. MDG 2.3.1.1(7) **Horizontal stack**
- k. **Discussion Item:** Review railings. Clarify design intent and provide details for Final Plan review. **Railing materials still being discussed. Must be provided at final.**
- l. Provide ALL plans at proper scale required on Final Plan Submittal Check List.
 - i. Increase sheet sizing if needed.
 - ii. Resolve Town of Eagle approval of double driveway or show option as separate Alternate Sheet.
- m. Garage setback measures at 14'-2 ½" which still does not meet 15' min. setback. MDG 2.2.6(6)
- n. Clarify hatching that appears to be concrete between double driveways in front of Raptor Garage.
- o. Clarify or cleanup intent for Unfinished Storage shown on added sheet for SQFT. Calcs, A2.2. Keep consistent as appears intent was to separate area values between Primary Residence and ADU.
- p. Coordinate Exterior Lighting Worksheet with Plans. Showing 6974 of calculated lumens on plans and only list 4628 lumens on worksheet. Refer to additional comments from 5/18/23 DRB Meeting.
- q. Comply with all previous review items from 5/18/23 DRB Meeting for Final Plan review.

Summary: Provide continuing compliance with Meadows Design Guidelines.

Additional Board Discussion:

Some wood elements may be added to final design

Privacy wall needs to be broken up, so it isn't a stark wall, potential mesh top to open it up.

Review shed roof on back for drainage as it currently drains toward building

Due to outstanding design issues from May & June meeting, this project may or may not pass at initial final review. Architect and owners were told that all items must be complete at final. Things will not be pushed to technical for missing items.

Motion: Melanie Richmond motioned to approve with the following conditions, seconded by Jim Crine, Passed 5-0-1

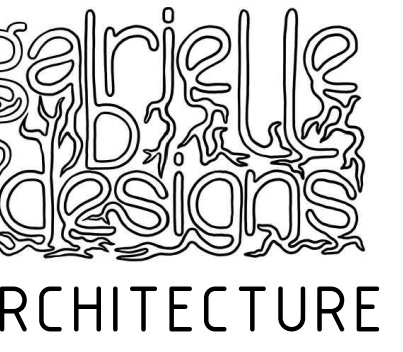
1. Final comes back with all comments addressed from 5/18
2. Garage set back should be shown at 15', verify scale
3. Double driveway eliminated
4. ADU railing as shown is acceptable
5. Study ADU privacy wall
6. Railing materials must be provided for at final
7. Roofs acceptable, study 2:12 shed to review ice snow shed
8. Window orientation as shown is acceptable
9. Garage door acceptable
10. Material as shown are acceptable. Any material changes must be shown at final
11. Stone – ashlar pattern required
12. Landscaping design required
13. Landscaping required to screen ADU parking
14. Items l-q must be complied with for final
15. Verify exterior lighting – it appears to be over allowable lumens

Alicia recused due to potential conflicts of interest.

BIRK RESIDENCE

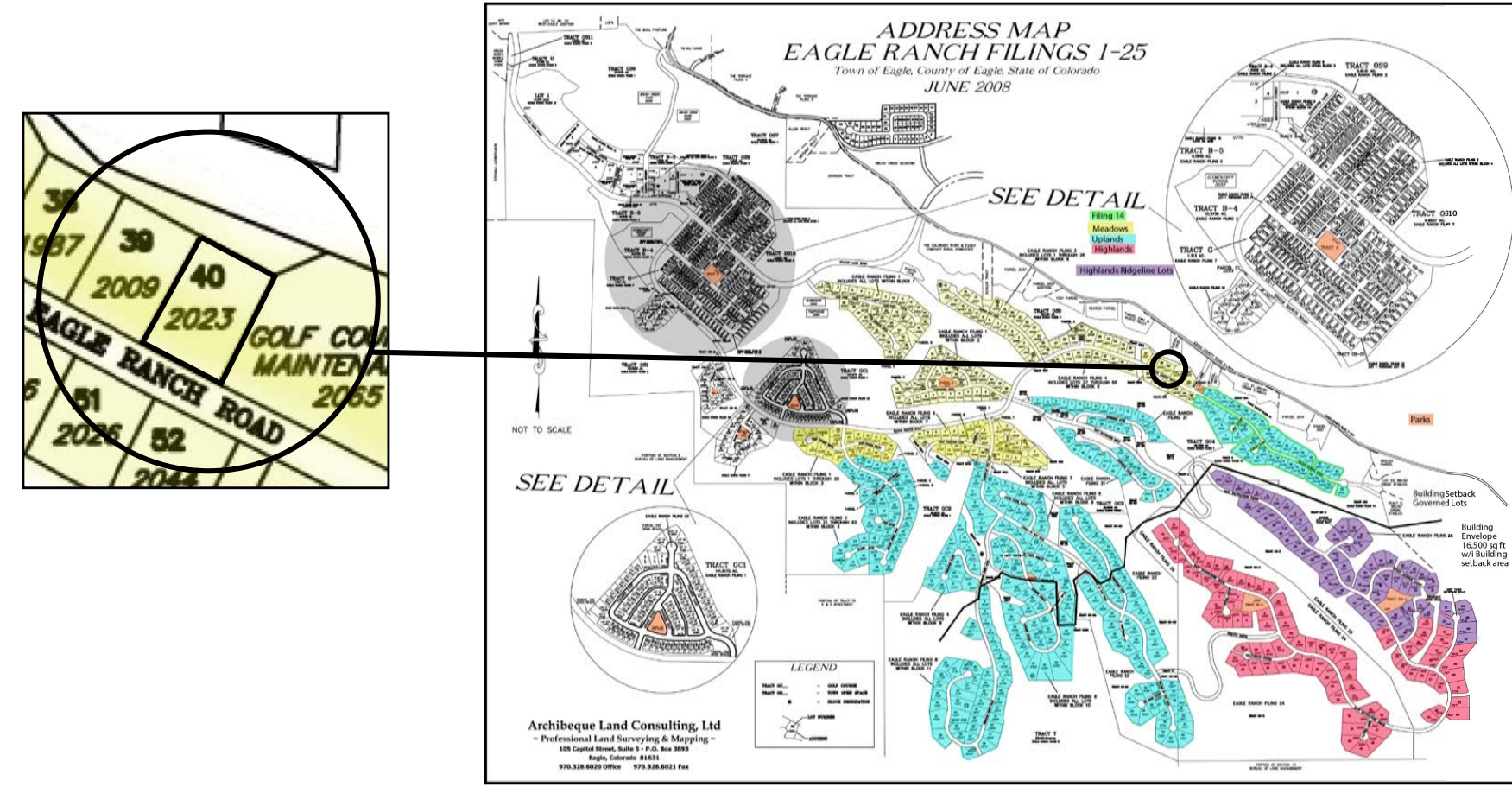
FINAL DESIGN REVIEW BOARD SET, JANUARY 29, 2024

DRAWING INDEX



124 Bull Pasture Rd
P O B o x 4 3 1 3
E a g l e , C O 8 1 6 3 1
9 1 7 . 7 1 0 . 6 2 1 3
gaby@jagspaces.com

2023 Eagle Ranch Road
Eagle, CO 81631
Lot: Lot 40, Eagle Ranch
Filing: No.4, The Meadows



CODE INFORMATION

CODE: 2015 IRC / EAGLE COUNTY BUILDING CODES
2015 IECC: BUILDING COMPLIES WITH PRESCRIPTIVE BUILDING ENVELOPE ENERGY CONSERVATION CODE
- FENESTRATION = TBD
- ROOF = R49 (MEETS CODE)
- WOOD FRAMED WALLS = R25 (EXCEEDS CODE)
- FLOOR = R30 (MEETS CODE)

OCCUPANCY TYPE: SINGLE FAMILY DWELLING, R-3
CONSTRUCTION TYPE: V-B, NON-RATED
WILDFIRE HAZARD RATING: MODERATE
CLIMATE ZONE: 6B, EAGLE COUNTY, CO
TOWN OF EAGLE: FULLY SPRINKLED STRUCTURE, FILING 24 REQUIREMENT FOR FIRE SUPPRESSION SYSTEM

PROJECT INFORMATION

BUILDING DATUM: 100'-0" = T.O. FF AT MAIN LEVEL FRAMING AS INDICATED ON A31

(SEE SHEET A2.2 FOR AREA CALCULATIONS)

GENERAL NOTES

- THE CONTRACT DOCUMENTS CONSIST OF THE AGREEMENT, THE GENERAL NOTES, THE SPECIFICATIONS, AND THE DRAWINGS, WHICH ARE COOPERATIVE AND CONTINUOUS. WORK INDICATED OR REASONABLY IMPLIED IN ANY ONE OF THE DOCUMENTS SHALL BE SUPPLIED AS THOUGH FULLY COVERED IN ALL. ANY DISCREPANCY BETWEEN THE DIFFERENT PARTS SHOULD BE REPORTED TO THE ARCHITECTURAL DESIGNER IMMEDIATELY.
- ALL WORK SHALL COMPLY WITH ALL STATE AND LOCAL CODES AND ORDINANCES, AND SHALL BE PERFORMED TO THE HIGHEST STANDARDS OF CRAFTSMANSHIP BY JOURNEMEN OF THE APPROPRIATE TRADES.
- THESE DOCUMENTS ARE INTENDED TO INCLUDE ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES REQUIRED TO COMPLETE ALL WORK DESCRIBED HEREIN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BRING TO THE ATTENTION OF THE ARCHITECTURAL DESIGNER ANY CONDITIONS WHICH WILL NOT PERMIT CONSTRUCTION ACCORDING TO THE INTENTIONS OF THESE DOCUMENTS. IT IS THE RESPONSIBILITY OF THE ARCHITECTURAL DESIGNER TO PROVIDE DETAILS AND/OR DIRECTIONS REGARDING DESIGN INTENT WHERE IT IS ALTERED BY EXISTING CONDITIONS OR WHERE NEGLECTED IN THE DOCUMENTS.
- ANY MATERIALS PROPOSED FOR SUBSTITUTION OF THOSE SPECIFIED OR CALLED OUT BY TRADE NAME IN THESE DOCUMENTS SHALL BE PRESENTED TO THE ARCHITECTURAL DESIGNER FOR REVIEW. THE CONTRACTOR SHALL SUBMIT SAMPLES WHEN REQUIRED BY THE ARCHITECTURAL DESIGNER. AND ALL SUCH SAMPLES SHALL BE REVIEWED BY THE ARCHITECTURAL DESIGNER BEFORE THE WORK IS PERFORMED. WORK MUST CONFORM TO THE REVIEWED SAMPLES. ANY WORK WHICH DOES NOT CONFORM SHALL BE REMOVED AND REPLACED WITH WORK WHICH CONFORMS AT THE CONTRACTOR'S EXPENSE. SUBCONTRACTORS SHALL SUBMIT REQUESTS AND SAMPLES FOR REVIEW THROUGH THE GENERAL CONTRACTOR WHEN WORK IS LET THROUGH HIM OR HER. REQUIRED VERIFICATIONS AND SUBMITTALS TO BE MADE IN ADEQUATE TIME AS NOT TO DELAY WORK IN PROGRESS.
- SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECTURAL DESIGNER FOR HIS OR HER REVIEW FOR ROOF TRUSSES, WINDOWS, CABINETS AND AS CALLED FOR ANYWHERE IN THESE DOCUMENTS AND SPECIFICATIONS. REVIEW SHALL BE MADE BY THE ARCHITECTURAL DESIGNER BEFORE WORK IS BEGUN, AND WORK SHALL CONFORM TO THE REVIEWED SHOP DRAWINGS, SUBJECT TO REPLACEMENT AS REQUIRED IN PARAGRAPH E, ABOVE.
- THE BUILDING INSPECTOR SHALL BE NOTIFIED BY THE CONTRACTOR WHEN THERE IS NEED OF INSPECTION AS REQUIRED BY THE INTERNATIONAL BUILDING CODE OR ANY LOCAL CODE OR ORDINANCE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY AND CARE OF ADJACENT PROPERTIES DURING CONSTRUCTION, FOR COMPLIANCE WITH FEDERAL AND STATE O.S.H.A. REGULATIONS, AND FOR THE PROTECTION OF ALL WORK UNTIL IT IS DELIVERED COMPLETED TO THE OWNER.
- ALL DIMENSIONS NOTED TAKE PRECEDENCE OVER SCALED DIMENSIONS. DIMENSIONS NOTED WITH "N.T.S." DENOTES NOT TO SCALE.
- CONTRACTOR SHALL VERIFY AND COORDINATE ALL OPENINGS THROUGH FLOORS, CEILINGS, AND WALLS WITH ALL ARCHITECTURAL DESIGNERURAL, STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS.
- CONTRACTOR WILL ASSUME RESPONSIBILITY OF ITEMS REQUIRING COORDINATION AND RESOLUTION DURING THE BIDDING PROCESS AND CONSTRUCTION.
- VERIFY ALL DIMENSIONS, CONDITIONS, AND UTILITY LOCATIONS PRIOR TO BEGINNING ANY WORK OR ORDERING ANY MATERIALS. NOTIFY ARCHITECTURAL DESIGNER OF ANY CONFLICTS OR DISCREPANCIES IN THE DOCUMENTS IMMEDIATELY.
- PLAN DIMENSIONS ARE TO FACE OF STUD, CENTERLINE OF STEEL, TIMBER, STUD COLUMNS, OR FACE OF CONCRETE UNLESS OTHERWISE NOTED. SECTION AND ELEVATION DIMENSIONS ARE TO TOP OF CONCRETE, TOP OF PLYWOOD, OR TOP OF WALL PLATES OR BEAMS UNLESS OTHERWISE NOTED.
- PROVIDE ALL NECESSARY BLOCKING IN STUD WALLS AND CEILINGS. LOCATIONS INCLUDE BUT ARE NOT LIMITED TO CEILING AND WALL MOUNTED FIXTURES, TOILETS, TOILET ACCESSORIES, CABINERY, COUNTERTOPS, SHELVES, CLOSET RODS AND FALSE BEAMS.
- REFER TO FLOOR PLANS FOR WINDOW LOCATIONS. REFER TO WINDOW SCHEDULE FOR WINDOW TYPES.
- COORDINATE ALL ELECTRICAL AND MECHANICAL FIXTURES TO FIT WITHIN CEILING FLOOR AND WALL SPACES. VERIFY WITH ARCHITECTURAL DESIGNER WHEN DIVERTING FROM DRAWINGS.
- THE GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING GRADES AND SCALE OUT THE BUILDING FOOTPRINT FOR OWNER AND ARCHITECTURAL DESIGNER APPROVAL PRIOR TO BEGINNING ANY SITE WORK.
- ALL CONSTRUCTION IS TO FIT WITHIN THE BUILDING ENVELOPE AND/OR OUTSIDE SETBACKS WITHOUT CREATING EASEMENTS. NOTIFY ARCHITECTURAL DESIGNER IMMEDIATELY OF ANY DISCREPANCIES.
- THE GENERAL CONTRACTOR SHALL MINIMIZE THE LIMITS OF EXCAVATION AND TAKE ADEQUATE MEASURES TO PROTECT ALL VEGETATION BEYOND THE LIMITS OF EXCAVATION. ALL AREAS OF DISTURBANCE SHALL BE RE-VEGETATED TO BLEND WITH THE NON-DISTURBED LANDSCAPE EXCAVATION.
- THE SOILS REPORT IS AVAILABLE FROM OWNER'S SOILS ENGINEER.
- GENERAL CONTRACTOR SHALL VERIFY ALL SITE DEVELOPMENT WITH LANDSCAPE CONSTRUCTION DOCUMENTS. THE SITE PLAN IS FOR GRADING AND LANDSCAPE PLAN IS FOR LAYOUT; ANY DISCREPANCIES VERIFY WITH ARCHITECTURAL DESIGNER.
- CONTRACTOR TO COORDINATE RADON INSTALLATION REQUIREMENTS PER IRC 2015 (APPENDIX F) AND LOCAL CODES. BASELINE SCOPE: INSTALL ADS CORRUGATED, PERFORATED, RADON COLLECTION PIPING LOOP(S); INSTALL RADON-RESISTANT 15-MIL POLYETHYLENE SHEETING BARRIER- ALL SEAMS TO OVERLAP 12" MIN; SEAL POLYETHYLENE SHEETING BARRIER PERIMETER, SEAMS AND PENETRATIONS; SEAL PERIMETER OF CONCRETE SLABS (WHERE APPLICABLE) AND PENETRATIONS; ROUGH-IN 4" SCHEDULE 40 RADON VENT STACK(S) TO ABOVE ROOF; NOTE FUTURE FAN LOCATIONS AND PROVIDE 120V SERVICE TO NOTED LOCATIONS
- ALL SYSTEMS (HVAC, LIGHTING, PLUMBING) TO COMPLY WITH 2015 IECC

MATERIAL LEGEND

	SECTION	PLAN			
CONCRETE			ALUMINUM OR SHEET METAL		ROUGH FRAMING OR ROUGH SAWN TRIM
CONCRETE MASONRY			BATT INSULATION		WOOD BLOCKING
STONE			GYP. WALL BOARD/ STUCCO/ PLASTER		GLU-LAM WOOD
FRAME WALL			PLYWOOD		PARTICLE BD. OR WOOD FIBER BD.
TILE			SOIL/ COMPACTED FILL		RIGID INSULATION
GLAZING			ROCK/ NON-COMPACTED FILL		ACOUSTICAL CEILING
STEEL			SAND		CARPET
					FINISHED WOOD

SYMBOL LEGEND

SECTION NO.		EXTERIOR ELEVATION		INTERIOR ELEVATION	
BUILDING SECTION CUT		MATCH LINE		ROOM NUMBER	
SHEET NO.		REFERENCE GRID LINE		WINDOW MARK	
DETAIL CUT		DRAWING REVISION		DOOR MARK	
DETAIL CUT				SPOT ELEVATION	

ABBREVIATIONS

AAD Attic Access Door	CLOS Closet	EJ Expansion Joint	HDW Hardware	MISC Miscellaneous	REFR Refrigerator	STL Steel	UNFIN Unfinished
ADD Addendum	CMU Concrete Masonry Unit	EXT Exterior	HD Head	NIC Not in Contract	REIN Reinforce (d)	STRUCT Structure (al)	UBC Uniform Building Code
ADJ Adjacent	COL Column	FE CABT Fire Extinguisher Cabinet	HVAC Heating, Ventilating, and Air Conditioning	NA Not Applicable	REOD Required	SUB Substitute	USG United States Gage
ADR Area of Refuge	CONC Concrete	FOC Face Of Concrete	HT Height	NTS Not to Scale	RHSM Round Head Sheet Metal Screw	SUSP Suspend (al)	VAR Variable
AGG Aggregate	CJ Construction Joint	FIN Finish	HWY Highway	OC On Center	RM Room	TEL Telephone	VENT Ventilate
AFF Above Finished Floor	CONT Continuous Joint	FP Fireproof	HOR Horizontal	OPG Opening	RW Roof Window	TEL Telephone	VIF Verify In Field
ALT Alternate	DET Detail	FL Floor	ID Inside Diameter	OPP Opposite	RO Rough Opening	TV Television	VERT Vertical
ARCH Architectural Designer	DP Damproofing	FD Floor Drain	INT Interior	OSB Oriented Strand Board	SAN Sanitary	TEMP Tempered	VAT Vinyl Asbestos Tile
BM Beam	DIA Diameter	FTG Footing	JT Joint	OD Outside Diameter	SECT Section	IE That Is	V Voltage
BRG Bearing	DIM Dimension	FDN Foundation	LAM Laminate	d Penny (nails, etc.)	SEW Sewer	THK Thick	WC Water Closet
BET Between	DW Dishwasher	GA Gauge	LAV Lavatory	PERF Perforated (d)	SHT Sheet	TPH Toilet Paper Holder	WP Waterproof
BD Board	DN Down	GALV Galvanized	MFG Manufacturer	PFSM Prefinished Sheet Metal	SHLV Shelves	T&G Tongue and Groove	WT Weight
BS Both Sides	DR Drain	GC General Contractor	MO Masonry Opening	PL Plate	SIM Similar	T&B Top and Bottom	WIN Window
BO Bottom Of	DS Downspout	GL Glass	MTL Material	PLWD Plywood	SL Sliding	TO Top Of	W/ With (comb. form)
BLDG Building	DRWG Drawing	GR Grade	MAX Maximum	PROD Product	SM Sheet Metal	T Tread	W/O Without
CAB Cabinet	EA Each	GLB Laminated Wood Beam	MECH Mechanical	PROJ Project	STC Sound-Transmission Class	TS Tube Steel	WD Wood
Cpt Carpet	EL Elevation	GYP Gypsum	M C Medicine Cabinet	PROP Property	SPEC Specification	TYP Typical	
CL Centerline	EQ Equal	GWB Gypsum Wallboard	MECH Mechanical	R Radius or Riser	SQ Square	UG Underground	
CER Ceramic	EXIST Existing		MIN Minimum	REF Refer	STD Standard	UN.O. Unless Noted Otherwise	

PROJECT DIRECTORY

CLIENT	ARCHITECTURAL DESIGNER	GENERAL CONTRACTOR	STRUCTURAL ENGINEER	LANDSCAPE ARCHITECT	SURVEYOR
CRAIG & KRISTINA BIRK	gabrielle designs ARCHITECTURE	TBD	TBD	fieldscape	SLAGLE SURVEY SERVICES
VAIL, CO 81657	GABRIELLE MEOLA PO BOX 4313 /124 BULL PASTURE RD EAGLE, CO 81631			RIC FIELDS PO BOX 1871 AVON, CO 81620	PO BOX 751 800 CASTLE DRIVE EAGLE, CO 81631
C: 970.343.9998, 970.390.4535	C: 917.710.6213			C: 970-390-6550	T: 970.471.14997

A1.0 COVER SHEET

SURVEY

1 of 1 TOPOGRAPHIC MAP

ARCHITECTURAL

A2.0 ARCHITECTURAL SITE PLAN & CONSTRUCTION STAGING PLAN
A2.1 AREA CALCULATIONS

A3.1 FLOOR PLAN - MAIN LEVEL
A3.2 FLOOR PLAN - UPPER LEVEL
A3.3 ROOF PLAN

A4.1 SOUTH ELEVATIONS & SECTIONS
A4.2 WEST ELEVATIONS & SECTIONS
A4.3 NORTH ELEVATIONS & SECTIONS
A4.4 RENDERINGS

A6.1 DETAILS
A6.2 DETAILS

E0.0 EXTERIOR LIGHTING PLAN & CALCS

LANDSCAPE

L-1 LANDSCAPE PLAN, DETAILS & SPECIFICATIONS

BIRK RESIDENCE
Lot 40, Eagle Ranch, Filing 4
2023 Eagle Ranch Road
Town of Eagle, CO 81631

WORK IN PROGRESS - NOT FOR CONSTRUCTION

FILE: 01-29-24
DATE: 01-29-24
DRAWN BY: GM
ISSUE: DRB FINAL (MEETING 02-15-24)

REVISIONS:

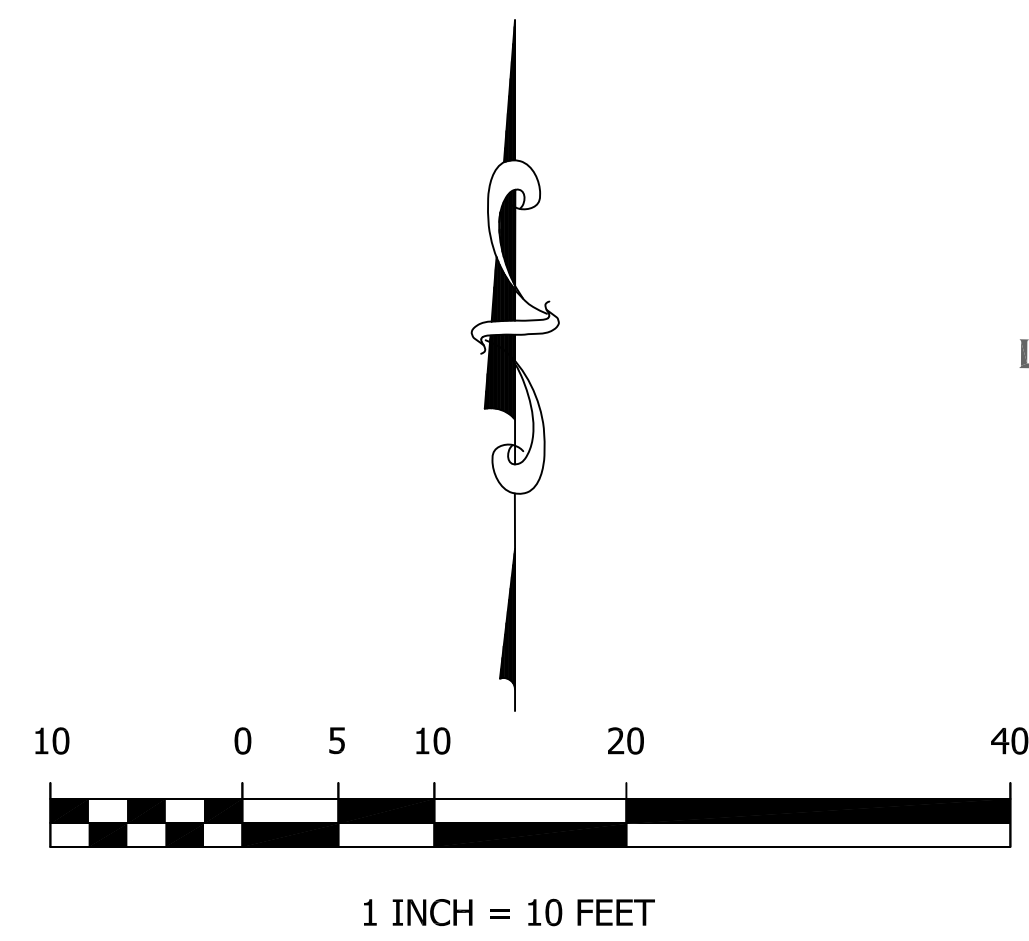
SCALE: NTS

COVER SHEET

A1.0

TOPOGRAPHIC MAP
LOT 40,
EAGLE RANCH, FILING 4
 Town of Eagle, County of Eagle, State of Colorado

LEGAL DESCRIPTION:
 Lot 40, Eagle ranch Filing 4, Town of Eagle, Colorado, according to the Final Plat of Eagle Ranch Filing No. 4, thereof, as filed for record on September 27, 2000 as Reception No. 740279 in the Clerk and Recorder's Office, County of Eagle, State of Colorado.



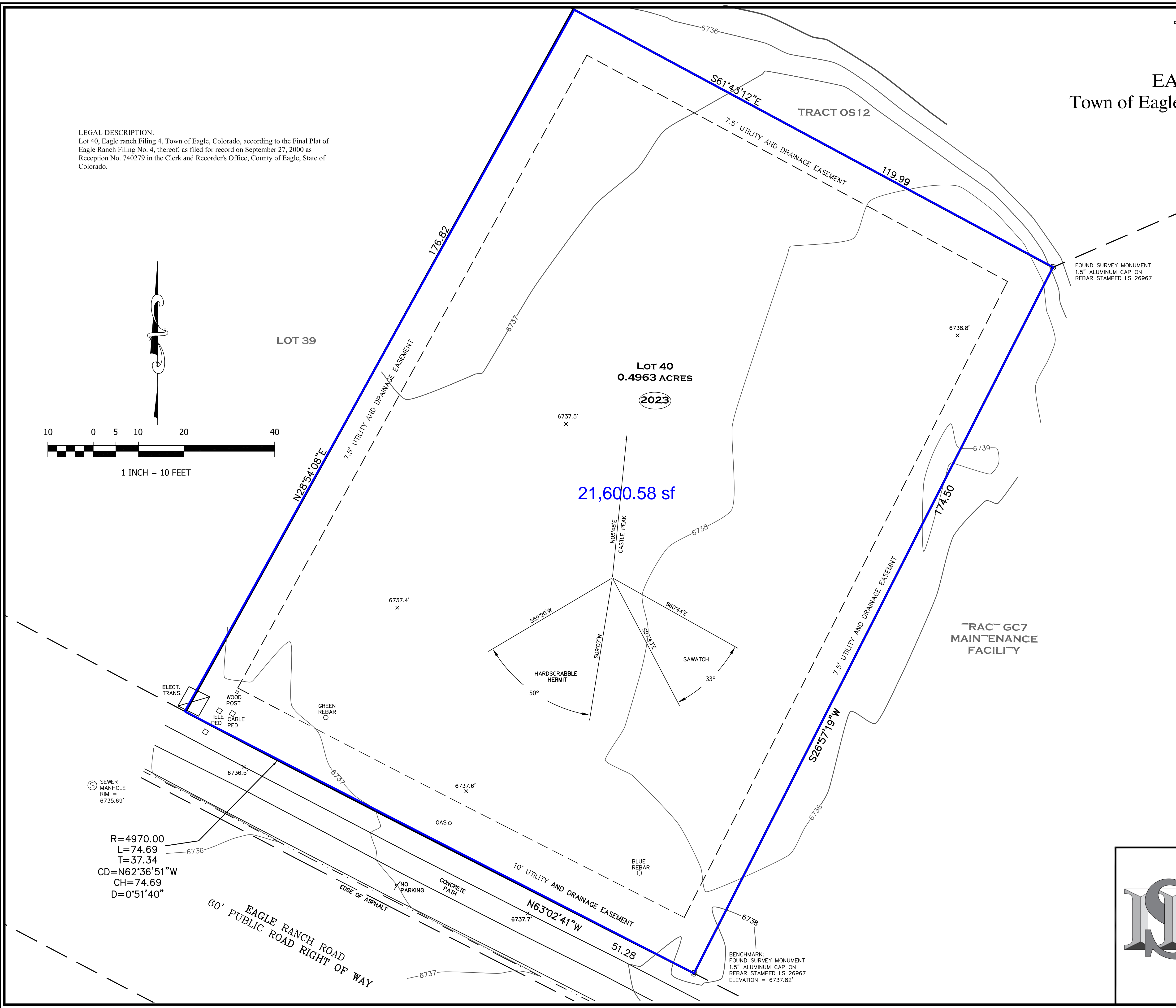
- NOTES:
- 1) Survey Date: June 18, 2022.
 - 2) Location of Improvements, Lot lines, and Easements are based upon the hereon referenced Final Plat of Eagle Ranch, Filing 4, and Survey Monuments found at the time of this survey. This Survey does not constitute a boundary survey. All easement information shown was derived from the hereon referenced Final Plat.
 - 3) This survey was performed without the aid of a title commitment or title policy.
 - 4) This Lot is subject to the Planned Unit Development Guidelines for eagle Ranch as recorded April 12, 1999 as Reception No. 692230, or as it may be revised and/or amended from time to time and is also subject to all easements, restrictions, covenants and notes as depicted on the herein referenced Final Plat of Eagle Ranch Filing 4.
 - 5) Elevation Datum: 6737.82' on the monument marking the Southeast Corner Lot 40, as shown hereon. This elevation is based on NAVD 88.
 - 6) Contour Interval: 1 feet.
 - 7) Surveyor does not warrant or certify to the integrity of any Digital Data supplied in conjunction with this map and survey.
 - 8) Street Address: 2023 Eagle Ranch Road. (Not Posted)
 - 9) This Topographic Survey was prepared for the exclusive use of Alicia Davis Architect, PC, and is valid only if print has original seal and signature of surveyor.
 - 10) Lineal Units are U.S. Survey Feet.
 - 11) NOTICE: According to Colorado law you must commence any legal action based upon any defect in this survey within three years after you first discovered such defect. In no event, may any action based upon any defect in this survey be commenced more than ten years from the date of certification shown hereon.

Surveyor's Certificate:
 I, Matthew S. Slagle, a Licensed Professional Land Surveyor in the State of Colorado, hereby certify that this map was prepared by me or under my responsible charge, is based upon my knowledge, information and belief, and is in accordance with applicable standards of practice, and is not a guaranty or warranty, either expressed or implied. The Notes hereon are a part of this certification.



Matthew S. Slagle PLS 34998
 Professional Land Surveyor
 State of Colorado

	SLAGLE SURVEY SERVICES	
	800 Castle Drive - P.O. Box 751 Eagle, Colorado 81631 970.471.1499 Office matthew@slaglesurvey.com www.SlagleSurvey.com	
TOPOGRAPHIC MAP LOT 40, EAGLE RANCH, FILING 4 Town of Eagle, County of Eagle, State of Colorado		
DRAWN BY: MSS	JOB NUMBER: 22035	DRAWING NAME: 22035 Topo.dwg
SHEET 1 OF 1		DATE: 07-13-2022



21,600.58 sf

LOT 40
 0.4963 ACRES

2023

R=4970.00
 L=74.69
 T=37.34
 CD=N62°36'51"W
 CH=74.69
 D=0°51'40"

EAGLE RANCH ROAD
 60' PUBLIC ROAD RIGHT OF WAY

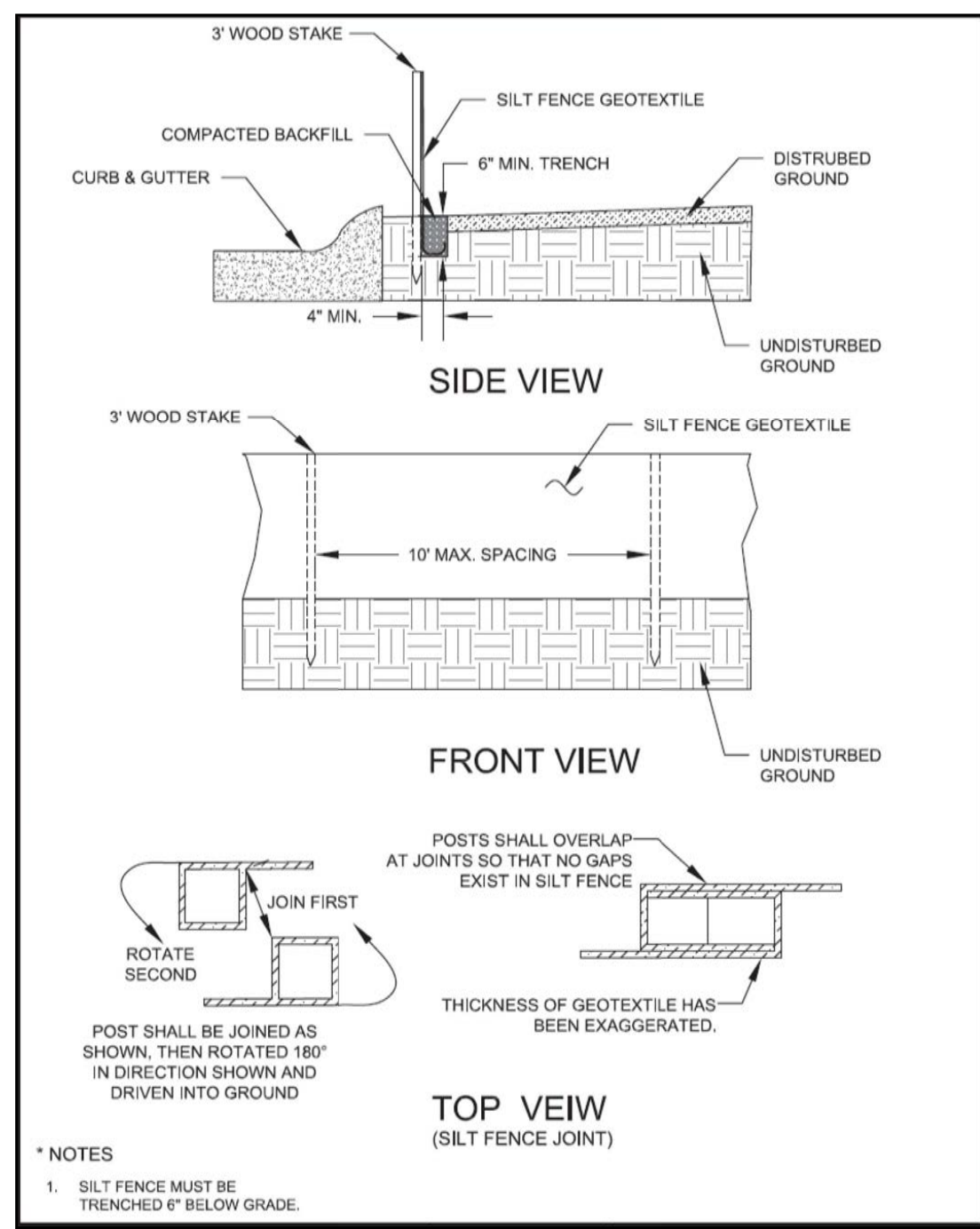
WORK IN PROGRESS - NOT FOR CONSTRUCTION



KEY SITE PLAN
SCALE: 1/64"=1'-0"

- NOTES:
- ALL DRAINS, DRAIN TO DAYLIGHT
 - METER LOCATIONS PER SPECIFIC UTILITY COMPANY REQUIREMENTS, TO BE COORDINATED WITH ARCHITECTURAL DESIGNER AND CONTRACTOR BEFORE INSTALLATION
 - POSITIVE DRAINAGE SLOPE AS REQUIRED AT ALL FOUNDATION WALLS
 - UTILITY CONNECTIONS PER TOWN IF EAGLE

- LEGEND
- DRIVEWAY
 - PATIO / PATH STAMPED CONCRETE, TBD
 - STONE INSET TO MATCH SIDING
 - INDIVIDUALLY PLACED PAVERS, TBD



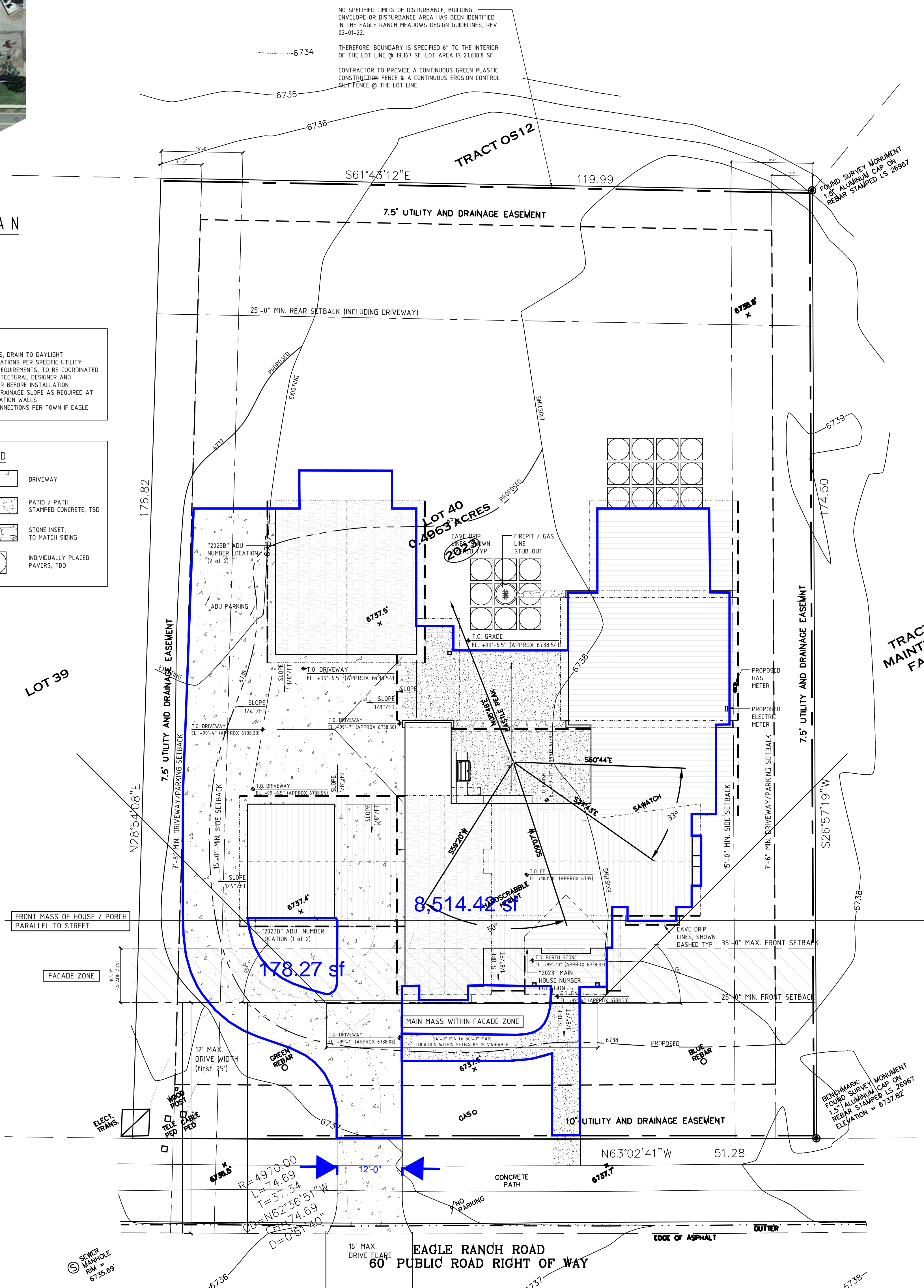
EROSION CONTROL SILT FENCE DETAIL
SCALE: N.T.S.

- TEMPORARY EROSION CONTROL
1. THE CONTRACTOR SHALL PROVIDE EROSION CONTROL MEASURES AND CONTAINED CONSTRUCTION WITHIN THE DESIGNATED LIMITS, IN ACCORDANCE WITH THE DRG GUIDELINES AND THEIR BEST MANAGEMENT PRACTICES
 2. A CONTINUOUS GREEN PLASTIC CONSTRUCTION FENCE, NOT LESS THAN 42" TALL, SHALL BE INSTALLED AT THE LIMITS OF DISTURBANCE PERIMETER. AN ALLOWANCE OF A 20" MAX OPENING MAY BE PROVIDED FOR CONSTRUCTION ACCESS. THIS CONSTRUCTION FENCE WILL BE MAINTAINED AND KEPT IN PLACE UNTIL THE COMPLETION OF CONSTRUCTION.
 2. A SILT FENCE SHALL BE CONSTRUCTED AND ERECTED CONTINUOUSLY ON THE INTERIOR SIDE OF THE CONSTRUCTION FENCE PRIOR TO EXCAVATION. THE FENCE WILL BE MAINTAINED AND KEPT IN PLACE UNTIL THE FINISH GRADE IS ACHIEVED AND RE-VEGETATED.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREVENTING THE RELEASE OF SEDIMENT WITH RUNOFF FROM THE SITE AND SHALL BE RESPONSIBLE FOR THE INSTALLATION OF ADDITIONAL EROSION CONTROL MEASURES AT THE REQUEST OF THE APPROPRIATE BUILDING OFFICIALS

CONSTRUCTION REGULATIONS PER THE EAGLE RANCH MEADOW DESIGN GUIDELINES, REV 02-01-22



CONSTRUCTION MANAGEMENT P L A N
SCALE: 1"=10'-0"



SITE PLAN
SCALE: 1"=10'-0"

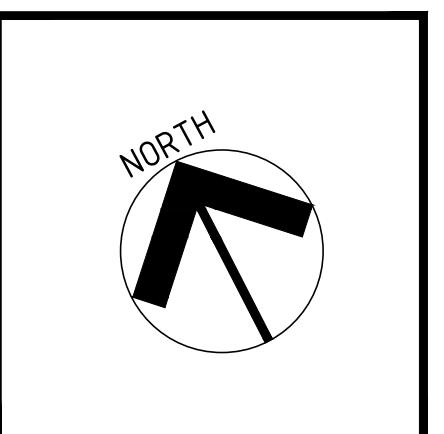
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BIRK RESIDENCE
Lot 40, Eagle Ranch, Filing 4
2023 Eagle Ranch Road
Town of Eagle, CO 81631

FILE: 01-29-24
DATE: 01-29-24
DRAWN BY: GM
ISSUE: DRB FINAL (MEETING 02-15-24)

REVISIONS:

SCALE: 1/16" = 1'-0"



AREA CALCS

A2.1

Site and Improvements Calculations Table *Eagle Ranch Design Review Board*
P. O. Box 5905 - Eagle, CO 81631
(970) 328-2174

Filing/Block/Lot: Filing No. 4 / Lot 40 Submittal Date: January 29, 2024
 Homesite Address: 2023 Eagle Ranch Road DRB Administrator Checked: initial and date

LOT DISTURBANCE:

Description	Sq. Ft.	Acres	% Lot	Note:
Lot Area	21,618.8	0.4963	100%	43,560 sq. ft. = 1 acre
Area Disturbed by Construction	19,167	0.38	88.7%	no LOD specified in ER The Meadow Guidelines

SITE COVERAGE:

Description	Sq. Ft.	% Lot	Note:
Primary Residence Footprint	2,981.2	13.8%	< 30% max allowable
Out-building Footprint(s)	1,151.6	5.3%	815.6 (garage) + 336 (raptor)
Other Impervious Areas	4,229.9	19.6%	driveway, patios, porches, paths
Total Impervious Coverage	8,362.7	38.7%	< 50% max allowable

BUILDING AREA CALCULATIONS

Building Area	Finished Sq. Ft.	Unfinished Sq. Ft.	Note:
Primary Dwelling Unit:			Name and provide Data for each floor level.
o Main Level (primary residence)	2,958.4	22.9	dwelling, mech
o Upper Level (primary residence)	522.1	0	dwelling
o			
Subtotal PDU Living Space	3,480.5	22.9	Main and Upper Level @ primary residence
Garage	776.6	0	Main Garage
Accessory Dwelling Unit	735.6	0	696.6 (dwelling) + 39 (stairs) = 735.6 = 850 max Max: 800 sq. ft. per PDU. Refer to guidelines each neighborhood for inclusions and exclusions
Out-Buildings Raptor Garage	336	143.3	Raptor Garage, storage above
Subtotals Finished/Unfinished sq. ft.	5,328.7	166.2	
Total Finished + Unfinished Sq. Ft.		5,494.9	Meadows & Uplands Filing 14: Max: 6,000 sq. ft. Uplands & Highlands: Max: 7,000 sq. ft. Gross SF for all areas.

IRRIGATION AREAS:

Description	Sq. Ft.	% Lot	Note:
Permanent Sprinkler Irrigation	1,065 (Fieldscape)	4.9%	measured area under sprinkler irrigation
Permanent Drip Irrigation	343 (Fieldscape)	1.6%	measured area under drip irrigation x 0.6
Total Permanent Irrigation	1,408	6.5% < 50%	Not to exceed 50% of Lot Area
Temporary Irrigation	9,941.7 (Fieldscape)	46%	All residual disturbed soils x 1 to 2 growing seasons for healthy revegetation

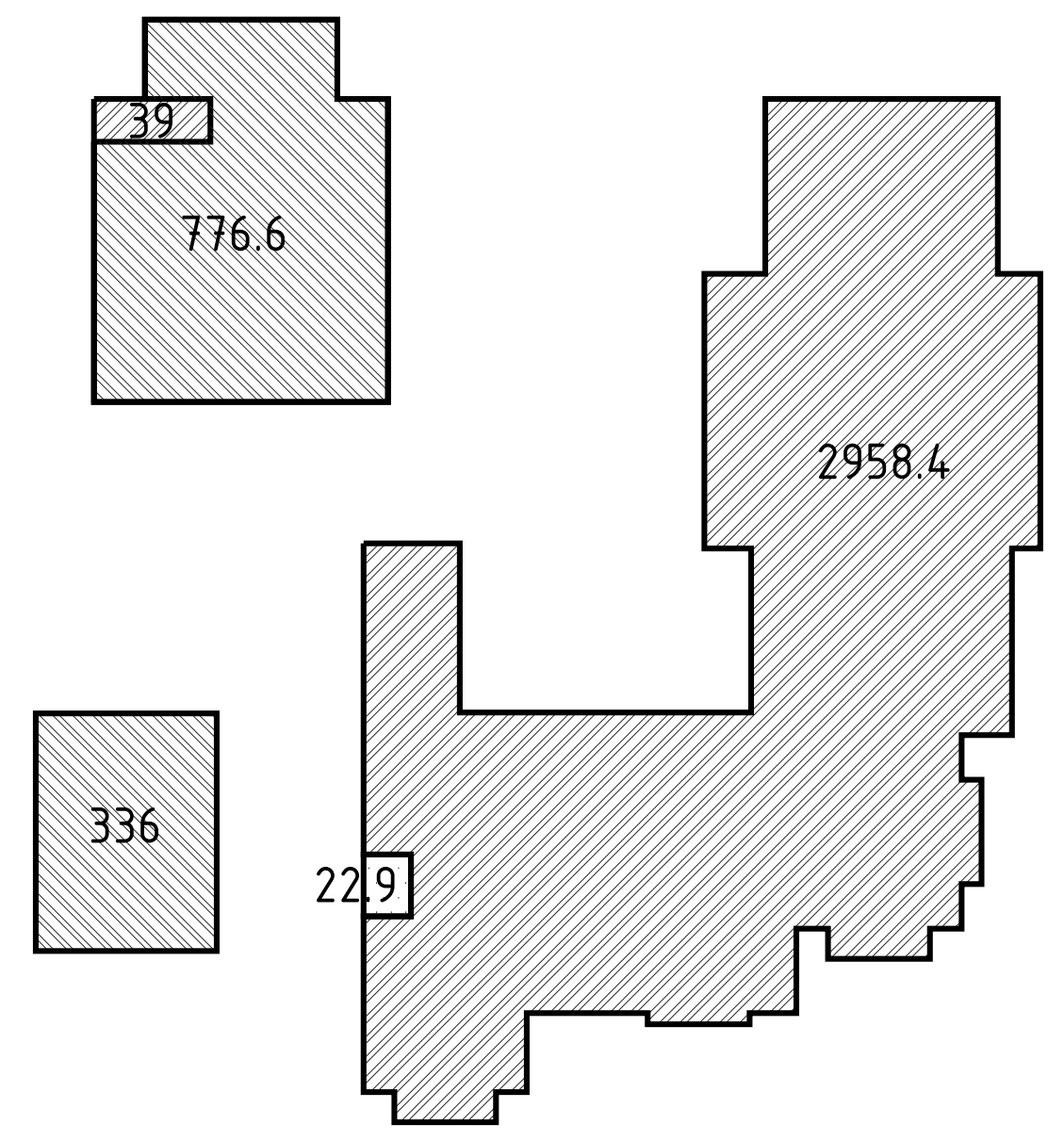
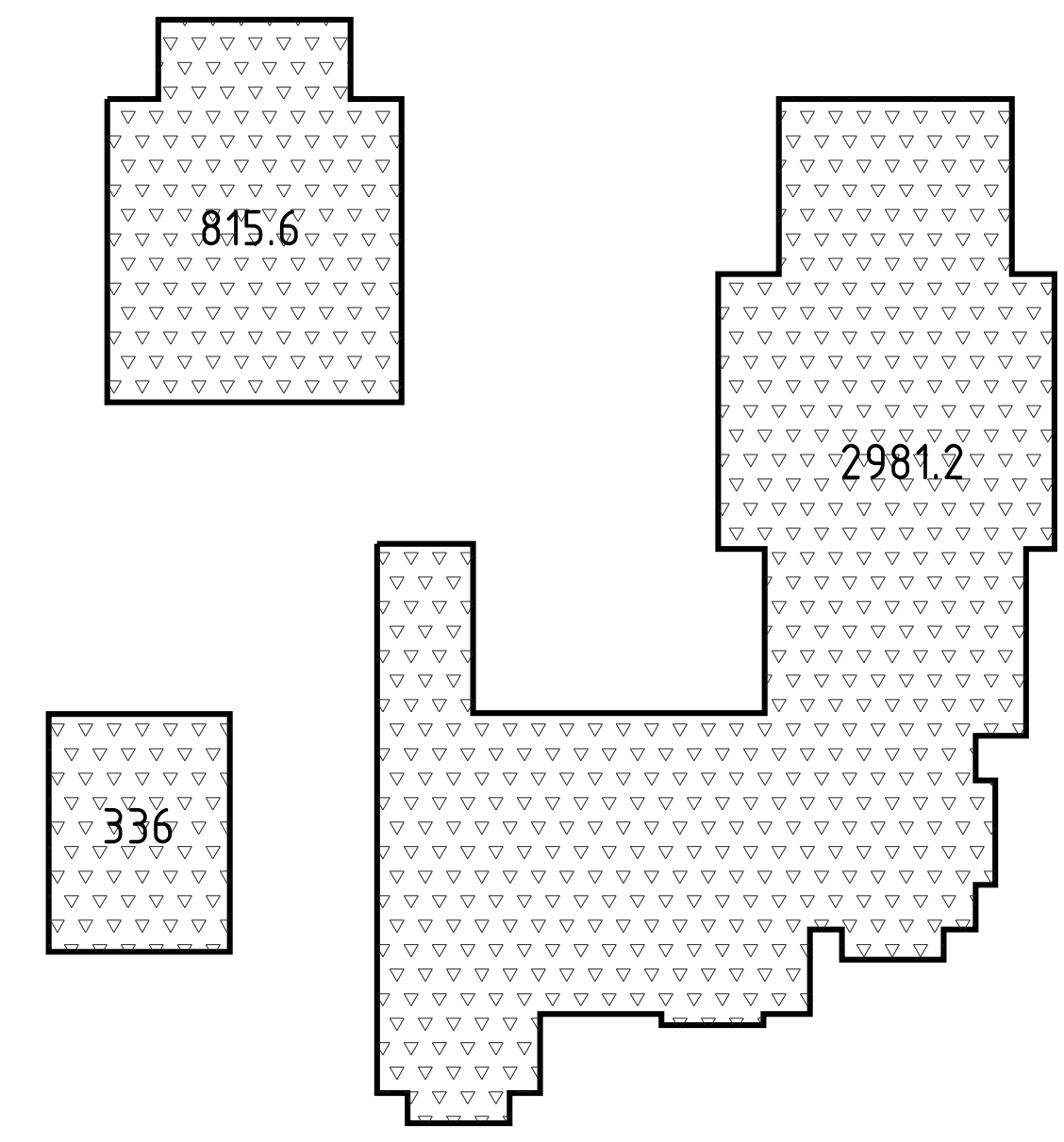
Prepared by: gabriele designs ARCHITECTURE Owner Signature:
 Print Name: Gabrielle Meola Date: January 29, 2024

Updated Feb 2022 Sheet must be included on plan set

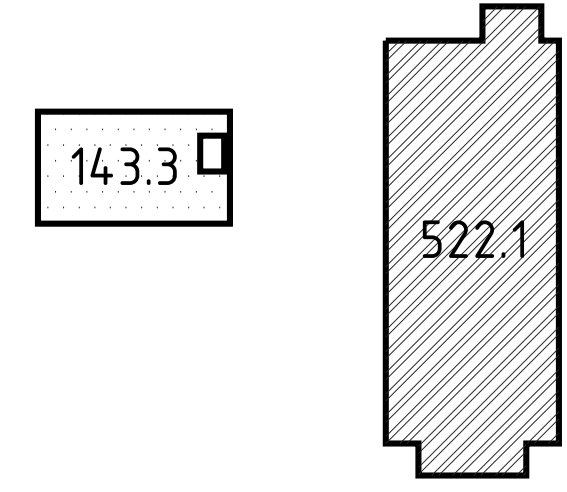
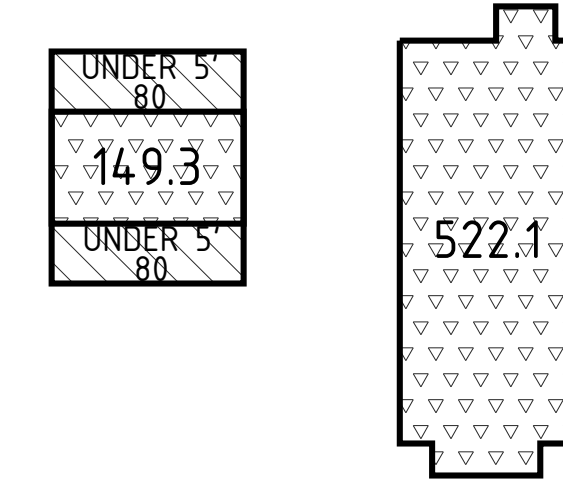
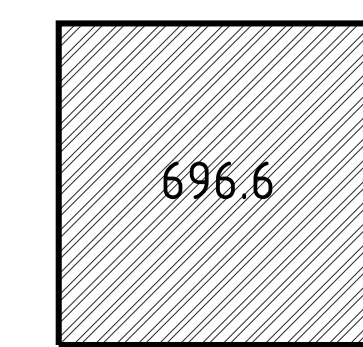
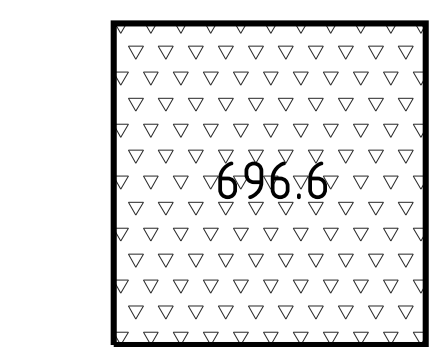
FOOTPRINTS

AREA CALCULATIONS

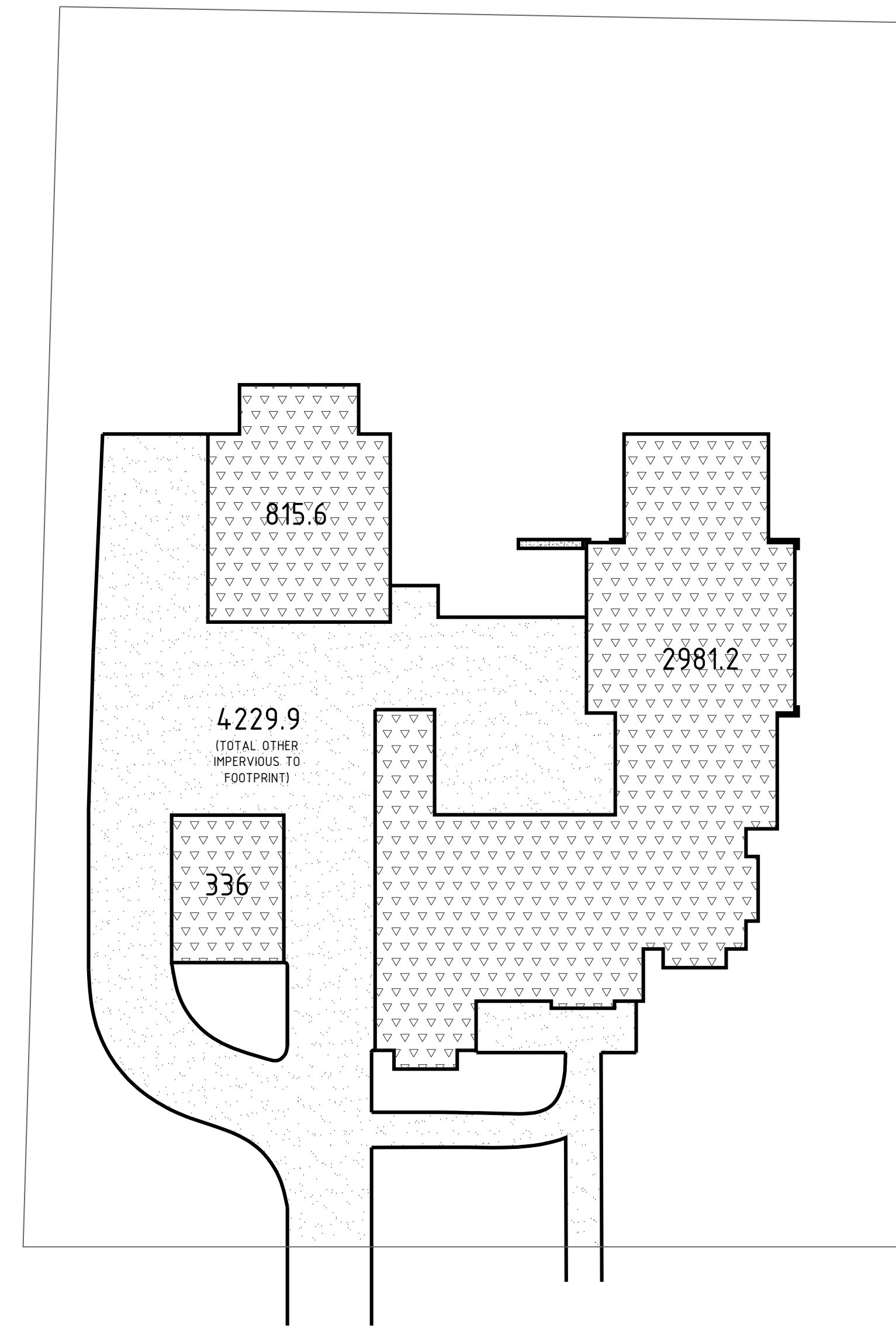
MAIN LEVEL



UPPER LEVEL



IMPERVIOUS



FINISHED		$2,958.4 + 39 + 696.6 + 522.1 + 776.6 + 336 = 5,328.7 \text{ sf}$
HABITABLE		$2,958.4 + 39 + 696.6 + 522.1 = 4,216.1 \text{ sf}$
UNFINISHED		$776.6 + 336 + 22.9 + 143.3 = 1,278.8 \text{ sf}$
VOID (SEE DIAGRAM)		$(80 \times 80) = 160 \text{ sf}$
TOTAL FOOTPRINTS		$815.6 + 2,981.2 + 336 + 696.6 + 149.3 + 522.1 = 5,500.8 \text{ sf}$ (EXCL. UNDER 5' HH 186.6sf)
TOTAL IMPERVIOUS		$4,229.9 + 5,500.8 = 9,730.7 \text{ sf}$

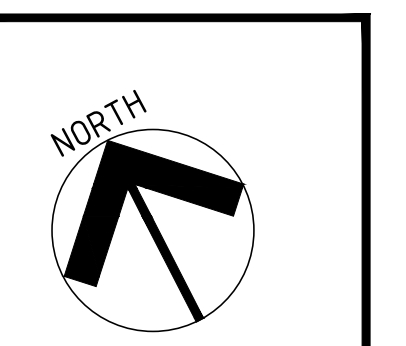
WORK IN PROGRESS - NOT FOR CONSTRUCTION

BIRK RESIDENCE
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2023 Eagle Ranch Road
Town of Eagle, CO 81631

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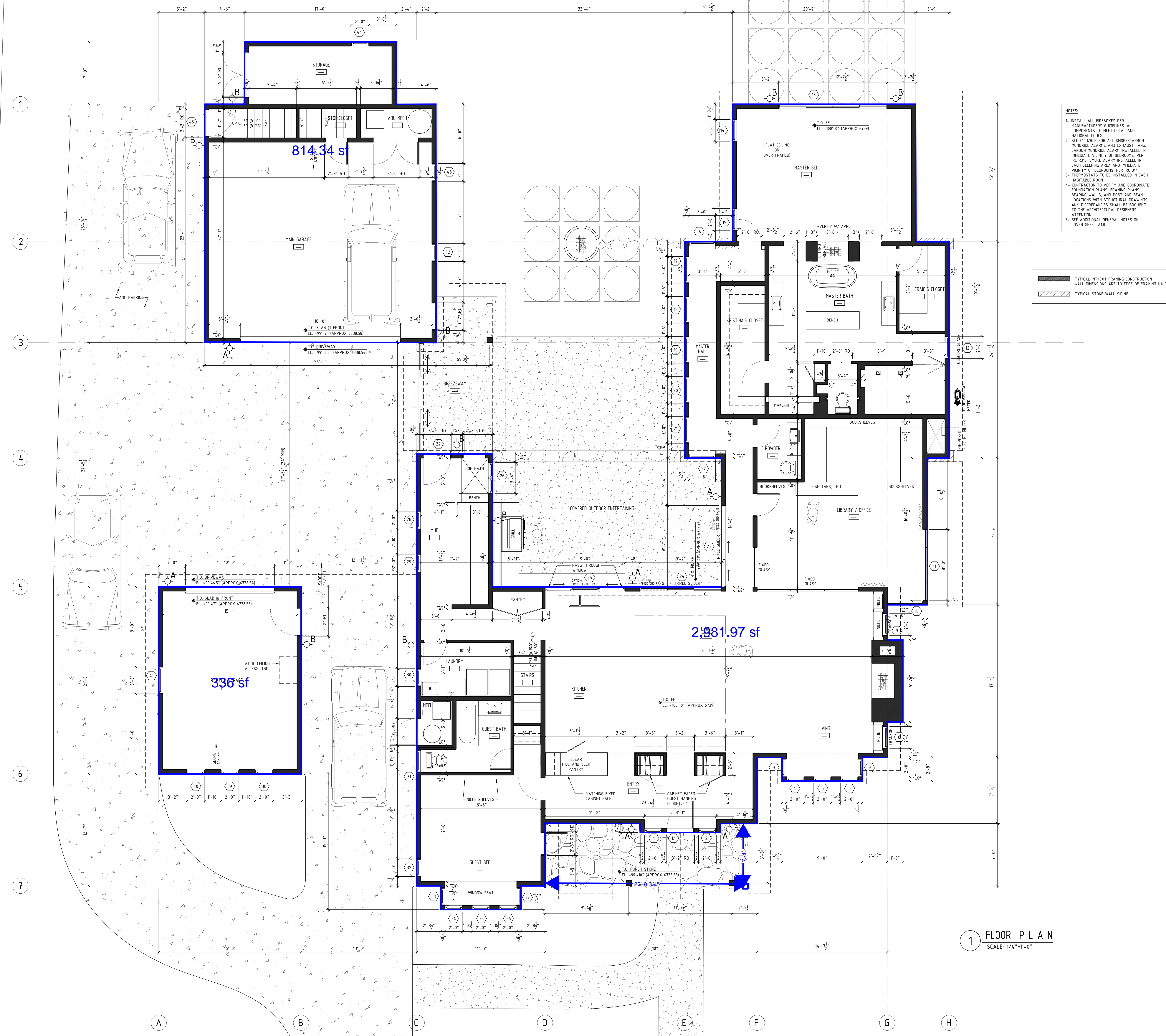
REVISIONS:

SCALE: 1/4"=1'-0"

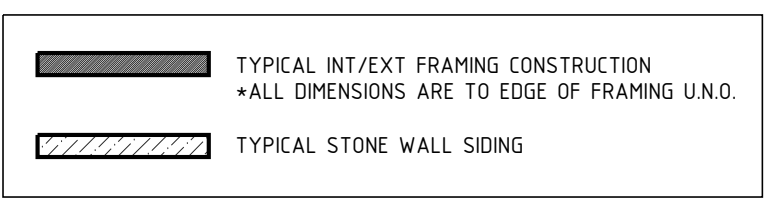


FLOOR PLAN

A3.1



- NOTES:**
1. INSTALL ALL FIREWORKS PER MANUFACTURERS GUIDELINES. ALL COMPONENTS TO MEET LOCAL AND NATIONAL CODES.
 2. SEE ETO/VRCP FOR ALL SMOKE/CARBON MONOXIDE ALARMS AND EXHAUST FANS. CARBON MONOXIDE ALARM INSTALLED IN IMMEDIATE VICINITY OF BEDROOMS, PER IRC R314. SMOKE ALARM INSTALLED IN EACH SLEEPING AREA AND IMMEDIATE VICINITY OF BEDROOMS, PER IRC R314.
 3. THERMOSTATS TO BE INSTALLED IN EACH HABITABLE ROOM.
 4. CONTRACTOR TO VERIFY AND COORDINATE FOUNDATION PLANS, FRAMING PLANS, BEARING WALLS, AND POST AND BEAM LOCATIONS WITH STRUCTURAL DRAWINGS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ARCHITECTURAL DESIGNERS ATTENTION.
 5. SEE ADDITIONAL GENERAL NOTES ON COVER SHEET A10.



1 FLOOR PLAN
SCALE: 1/4"=1'-0"

WORK IN PROGRESS - NOT FOR CONSTRUCTION

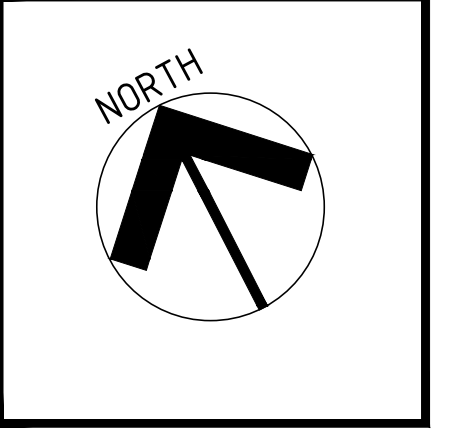
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REVISIONS:

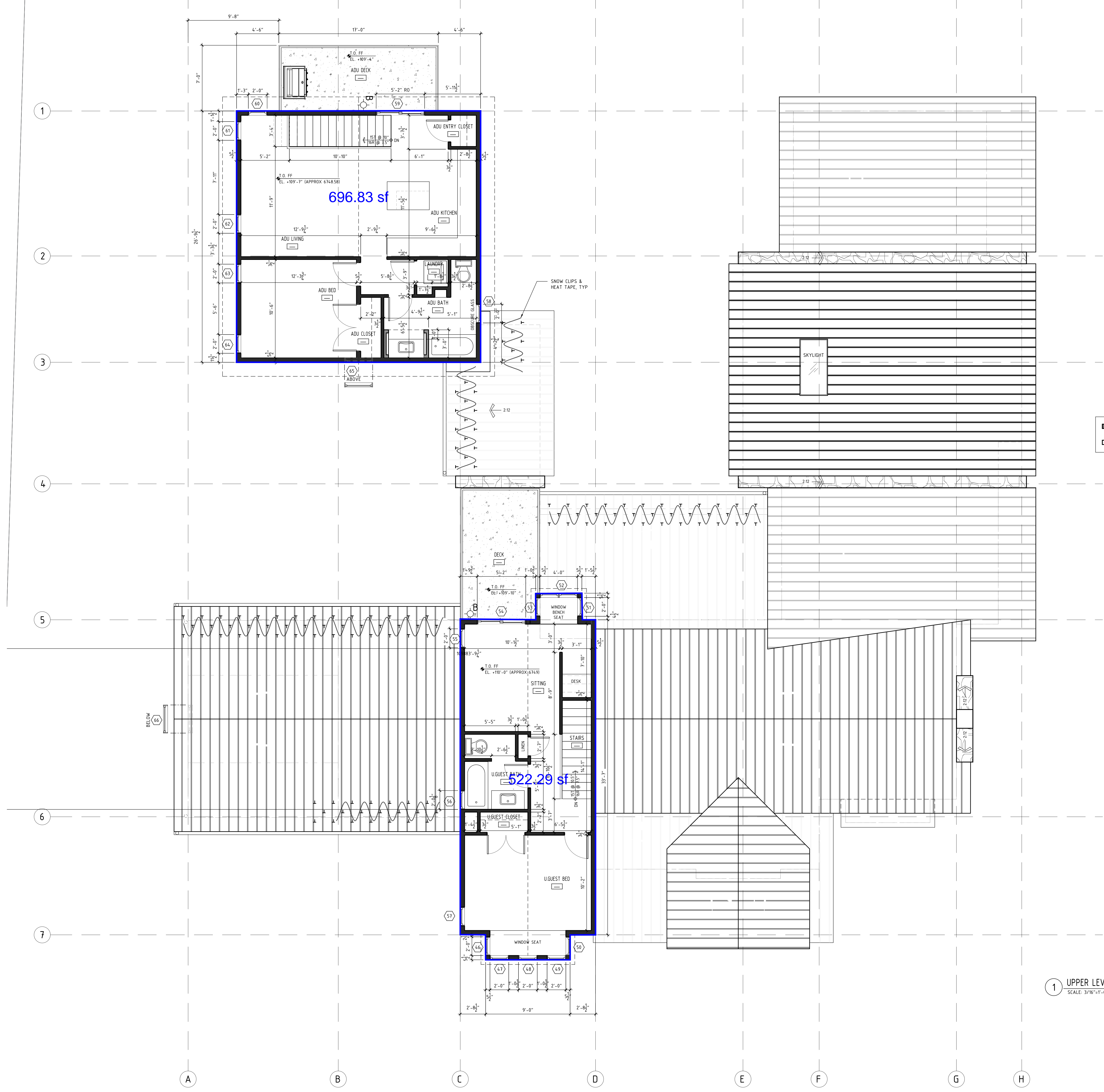
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SCALE: 3/16" = 1'-0"



FLOOR PLAN

A3.2



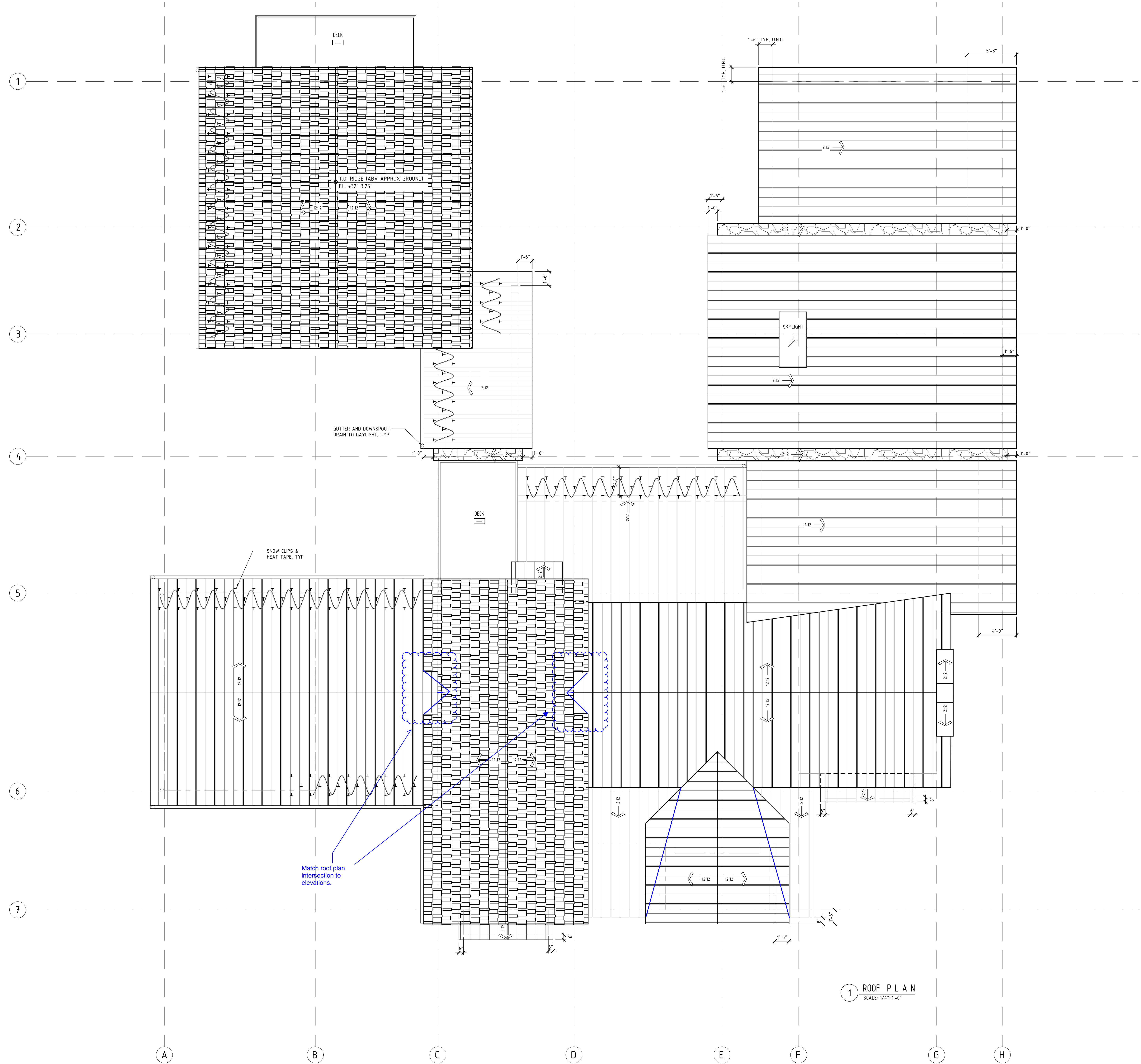
- NOTES:
1. INSTALL ALL FIREBOXES PER MANUFACTURERS GUIDELINES. ALL COMPONENTS TO MEET LOCAL AND NATIONAL CODES.
 2. SEE E10/1/REP FOR ALL SMOKE/CARBON MONOXIDE ALARMS AND EXHAUST FANS. CARBON MONOXIDE ALARM INSTALLED IN IMMEDIATE VICINITY OF BEDROOMS. PER IRC R310. SMOKE ALARM INSTALLED IN EACH SLEEPING AREA AND IMMEDIATE VICINITY OF BEDROOMS. PER IRC S14.
 3. THERMOSTATS TO BE INSTALLED IN EACH HABITABLE ROOM.
 4. CONTRACTOR TO VERIFY AND COORDINATE FOUNDATION PLANS, FRAMING PLANS, BEARING WALLS, AND POST AND BEAM LOCATIONS WITH STRUCTURAL DRAWINGS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ARCHITECTURAL DESIGNERS ATTENTION.
 5. SEE ADDITIONAL GENERAL NOTES ON COVER SHEET A10.

- TYPICAL INT/EXT FRAMING CONSTRUCTION
- ALL DIMENSIONS ARE TO EDGE OF FRAMING UNO.
- TYPICAL STONE WALL SILING

1 UPPER LEVEL FLOOR PLAN
SCALE: 3/16"=1'-0"

WORK IN PROGRESS - NOT FOR CONSTRUCTION

WORK IN PROGRESS - NOT FOR CONSTRUCTION



LEGEND

- MATTE DARK BRONZE STAINING SEAM METAL ROOFING
- ASPHALT ROOFING
- EXTERIOR STONE

NOTES

- ALL DIMENSIONS SHALL BE VERIFIED IN FIELD
- ALL ROOF PENETRATIONS TO BE INSTALLED PER CODE AND MANUFACTURER'S RECOMMENDATIONS.
- CONSULT FOR THE PERMITS AND CONCRETE FOUNDATION PLANS, FRAMING PLANS, BEARING WALLS, AND FOOT AND BEAM LOCATIONS WITH STRUCTURAL DRAWINGS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ARCHITECTURAL DESIGNER'S ATTENTION.
- SEE ADDITIONAL GENERAL NOTES ON COVER SHEET A10

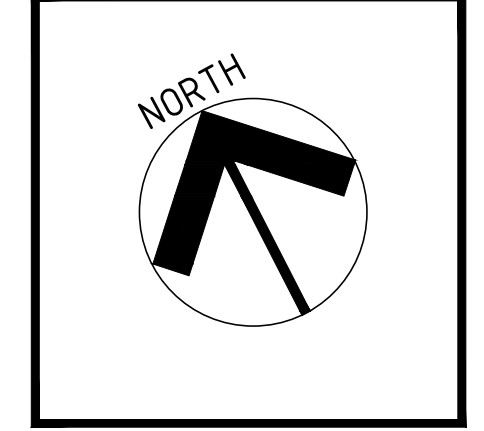
1 ROOF PLAN
SCALE: 1/4"=1'-0"

FILE: 01-29-24
DATE: 01-29-24
DRAWN BY: GM
ISSUE: DRB FINAL (MEETING 02-15-24)

REVISIONS:

NO.	DESCRIPTION

SCALE: 1/4"=1'-0"



ROOF PLAN

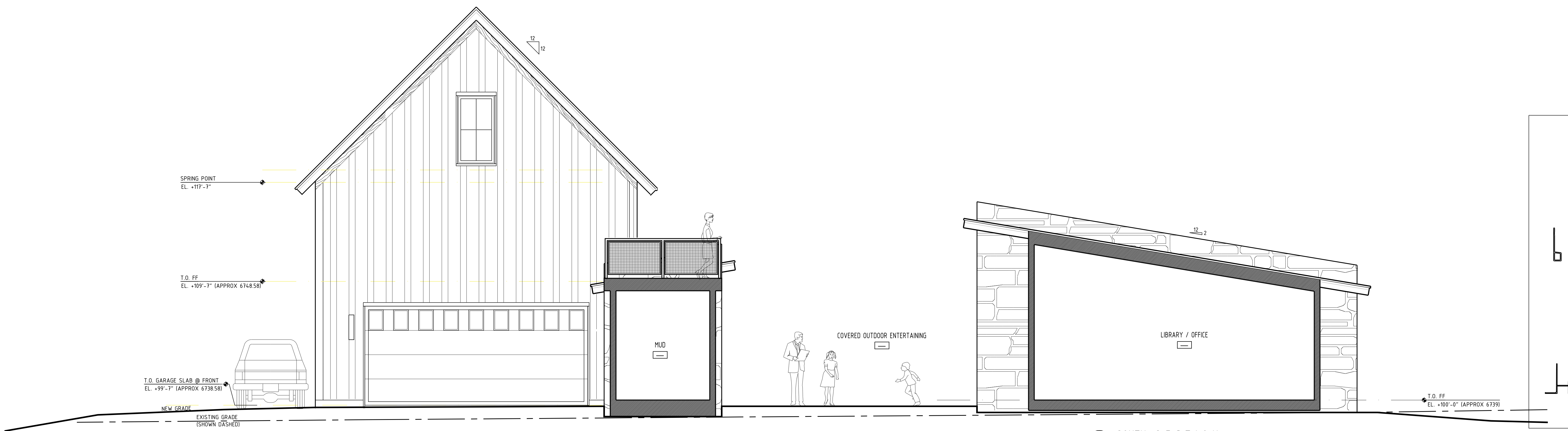
A3.3



1.1 SOUTH ELEVATION
SCALE: 1/4"=1'-0"

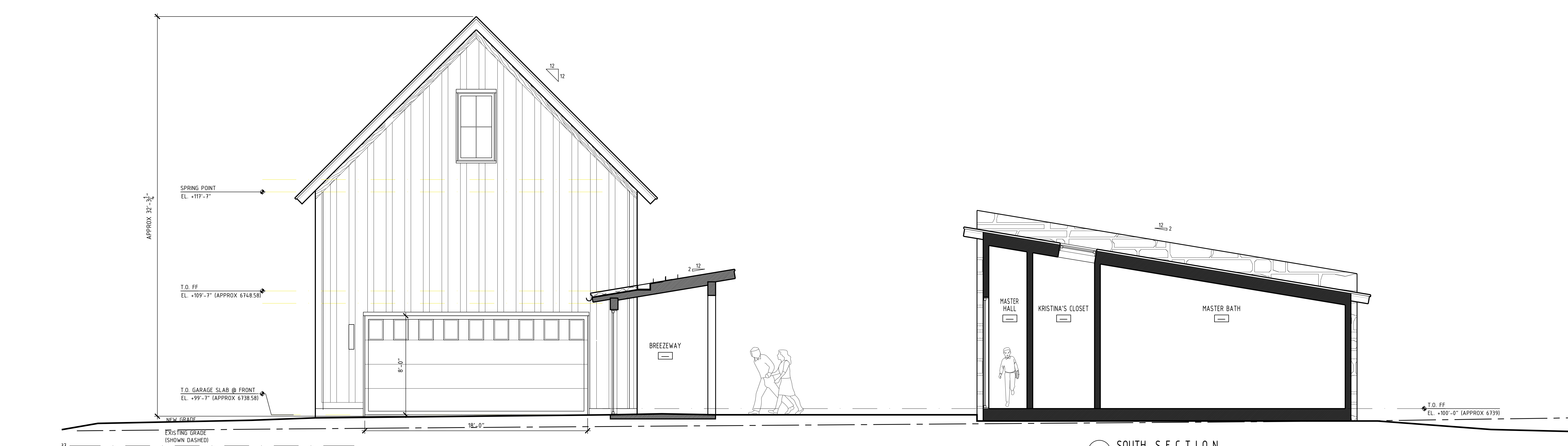
EXTERIOR MATERIALS

	EXTERIOR STONE AS RANDOM HORIZONTAL ASHLAR LAY-UP
	EXTERIOR WOOD SIDING, BOARD & BATTEN 12" REVEAL, 4" BATTEN STAGGERED APPLICATION
	EXTERIOR SOFFIT, FASCIA, GABLE TRIM, WINDOW & DOOR TRIM, POST & BEAMS, COVERED PORCH EXTERIOR WALL
	MATTE DARK BRONZE STANDING SEAM METAL ROOFING
	ASPHALT SHAKE



1.2 SOUTH SECTION
SCALE: 1/4"=1'-0"

- NOTES**
- EXTRUDED ALUMINUM BASE AT ALL SIDING LOWER TERMINATIONS, CLEAR
 - 6x" CORNER BOARDS, TO MATCH TYP SIDING
 - 12x" GABLE TRIM @ SIDING
 - EXTRUDED ALUMINUM DRIP SCREED AT ALL FASCIA BOARDS, CLEAR
 - CARBON STEEL WIRE MESH & RAILING
 - ROOF FLASHING TO MATCH ROOF COLOR
 - FASCIA AND SOFFIT BOARDS TO MATCH TYP. SIDING



1.3 SOUTH SECTION
SCALE: 1/4"=1'-0"

BIRK RESIDENCE
Lot 4.0, Eagle Ranch, Filing 4
2023 Eagle Ranch Road
Town of Eagle, CO 81631

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REVISIONS:

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SCALE: 1/4"=1'-0"

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ELEV / SECT

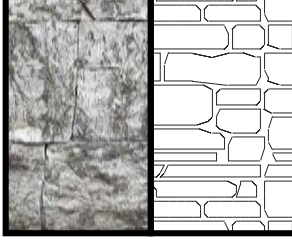
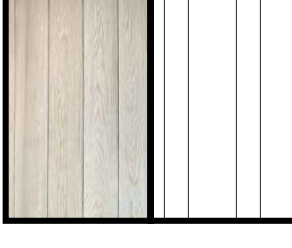

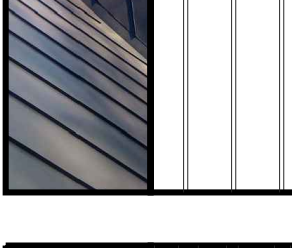
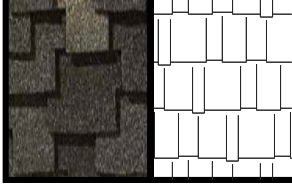
A4.1

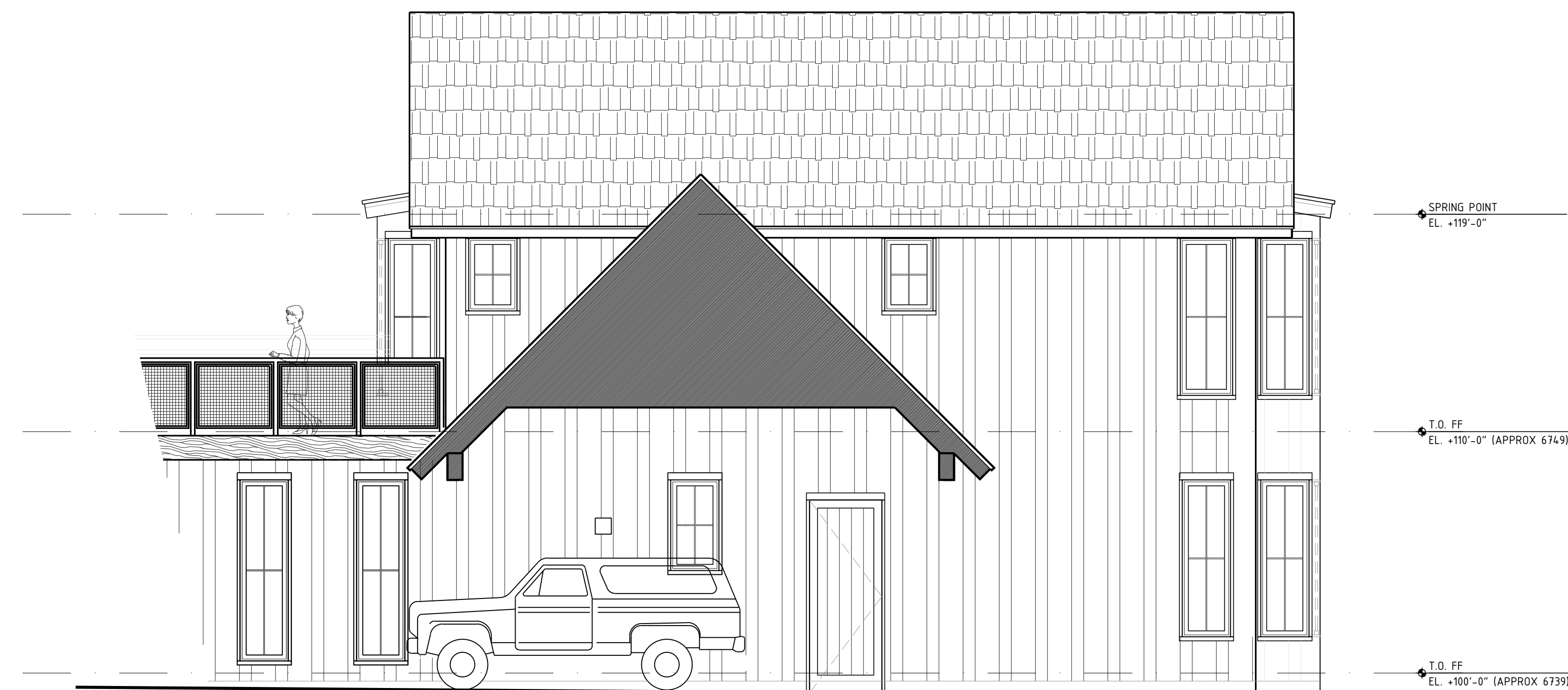
35' ABV MOST RESTRICTIVE EXISTING/FINISHED GRADE - MAX ALLOWABLE BLDG HEIGHT



2.1 WEST ELEVATION
SCALE: 1/4"=1'-0"

EXTERIOR MATERIALS

-  EXTERIOR STONE AS RANDOM HORIZONTAL ASHLAR LAY-UP
-  EXTERIOR WOOD SIDING, BOARD & BATTEN, 12" REVEAL, 6" BATTEN STAGGERED APPLICATION
-  EXTERIOR SOFFIT, FASCIA, GABLE TRIM, WINDOW & DOOR TRIM, POST & BEAMS, COVERED PORCH EXTERIOR WALL
-  MATTE DARK BRONZE STANDING SEAM METAL ROOFING
-  ASPHALT SHAKE



2.2 WEST SECTION
SCALE: 1/4"=1'-0"

NOTES

- EXTRUDED ALUMINUM BASE AT ALL SIDING LOWER TERMINATIONS, CLEAR
- 6x" CORNER BOARDS, TO MATCH TYP SIDING
- 12x" GABLE TRIM @ SIDING
- EXTRUDED ALUMINUM DRIP SCREED AT ALL FASCIA BOARDS, CLEAR
- CARBON STEEL WIRE MESH & RAILING
- ROOF FLASHING TO MATCH ROOF COLOR
- FASCIA AND SOFFIT BOARDS TO MATCH TYP. SIDING



2.3 WEST SECTION
SCALE: 1/4"=1'-0"

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REVISIONS:

SCALE: 1/4"=1'-0"

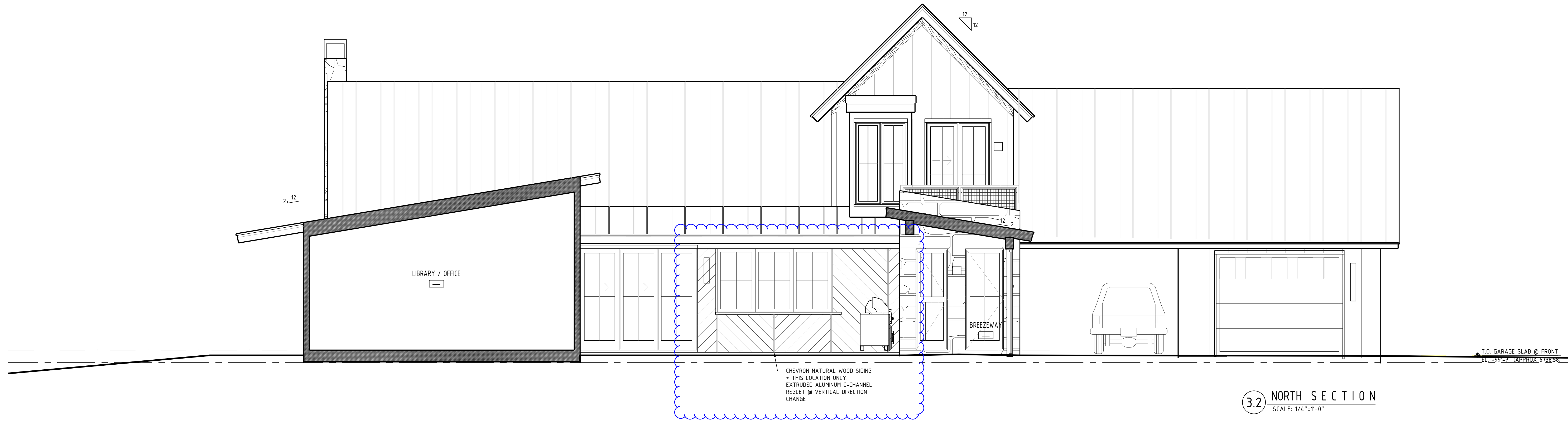
ELEV / SECT

A4.2



3.1 NORTH ELEVATION
SCALE: 1/4"=1'-0"

EXTERIOR MATERIALS



3.2 NORTH SECTION
SCALE: 1/4"=1'-0"

Get DRB input on Chevron siding:
3.2.7 (1) Horizontal wood or simulated wood siding is most typical to the vernacular and is appropriate. Vertical siding may be appropriate in certain applications. Shingle siding may be appropriate in gable ends and as accents

NOTES

- EXTRUDED ALUMINUM BASE AT ALL SIDING LOWER TERMINATIONS, CLEAR
- 6x" CORNER BOARDS, TO MATCH TYP SIDING
- 12x" GABLE TRIM @ SIDING
- EXTRUDED ALUMINUM DRIP SCREEN AT ALL FASCIA BOARDS, CLEAR
- CARBON STEEL WIRE MESH & RAILING
- ROOF FLASHING TO MATCH ROOF COLOR
- FASCIA AND SOFFIT BOARDS TO MATCH TYP. SIDING



4 EAST ELEVATION
SCALE: 1/4"=1'-0"

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Town of Eagle, CO 81631

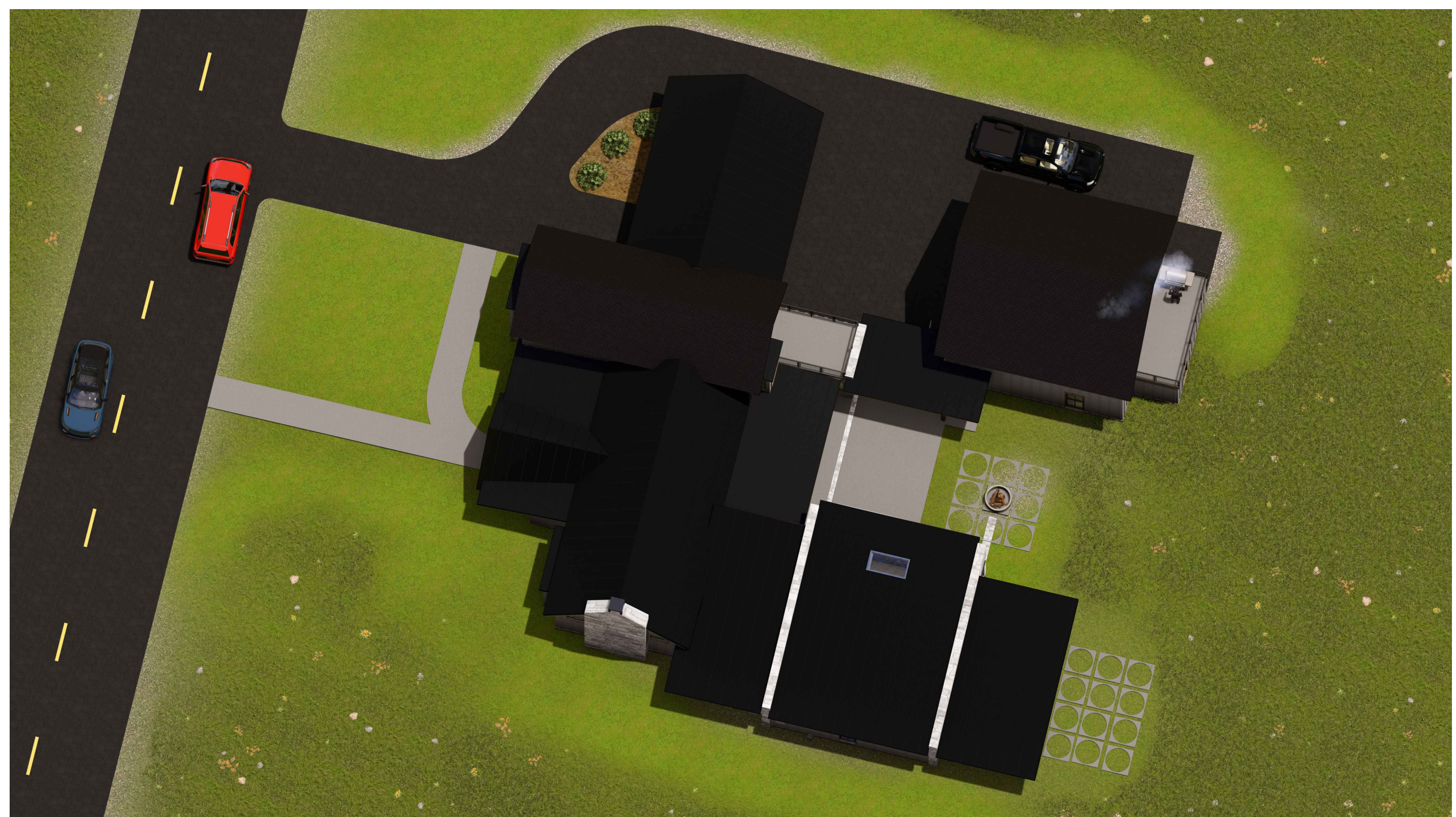
FILE:
DATE: 01-29-24
DRAWN BY: GP
ISSUE: DRB FINAL
(MEETING 02-15-24)

REVISIONS:

SCALE:
1/4"=1'-0"

ELEV / SEC

A4.3



BIRK RESIDENCE
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ISSUE: DRB FINAL
(MEETING 02-15-24)

REVISIONS:

SCALE: NTS

RENDERINGS

A4.4

BIRK RESIDENCE
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2023 Eagle Ranch Road
Town of Eagle, CO 81631

FILE:
DATE: 01-29-24
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ISSUE: DRB FINAL
(MEETING 02-15-24)

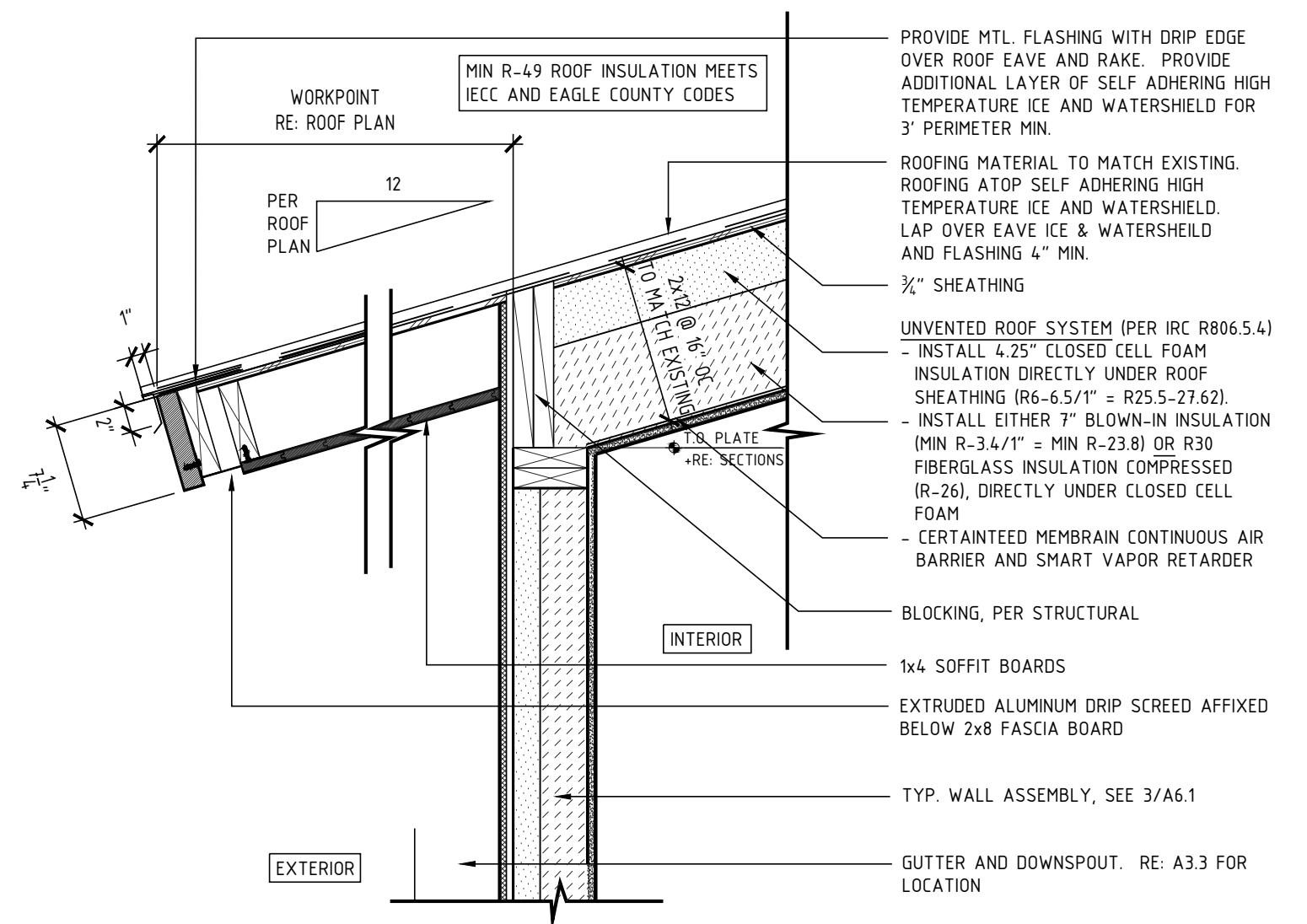
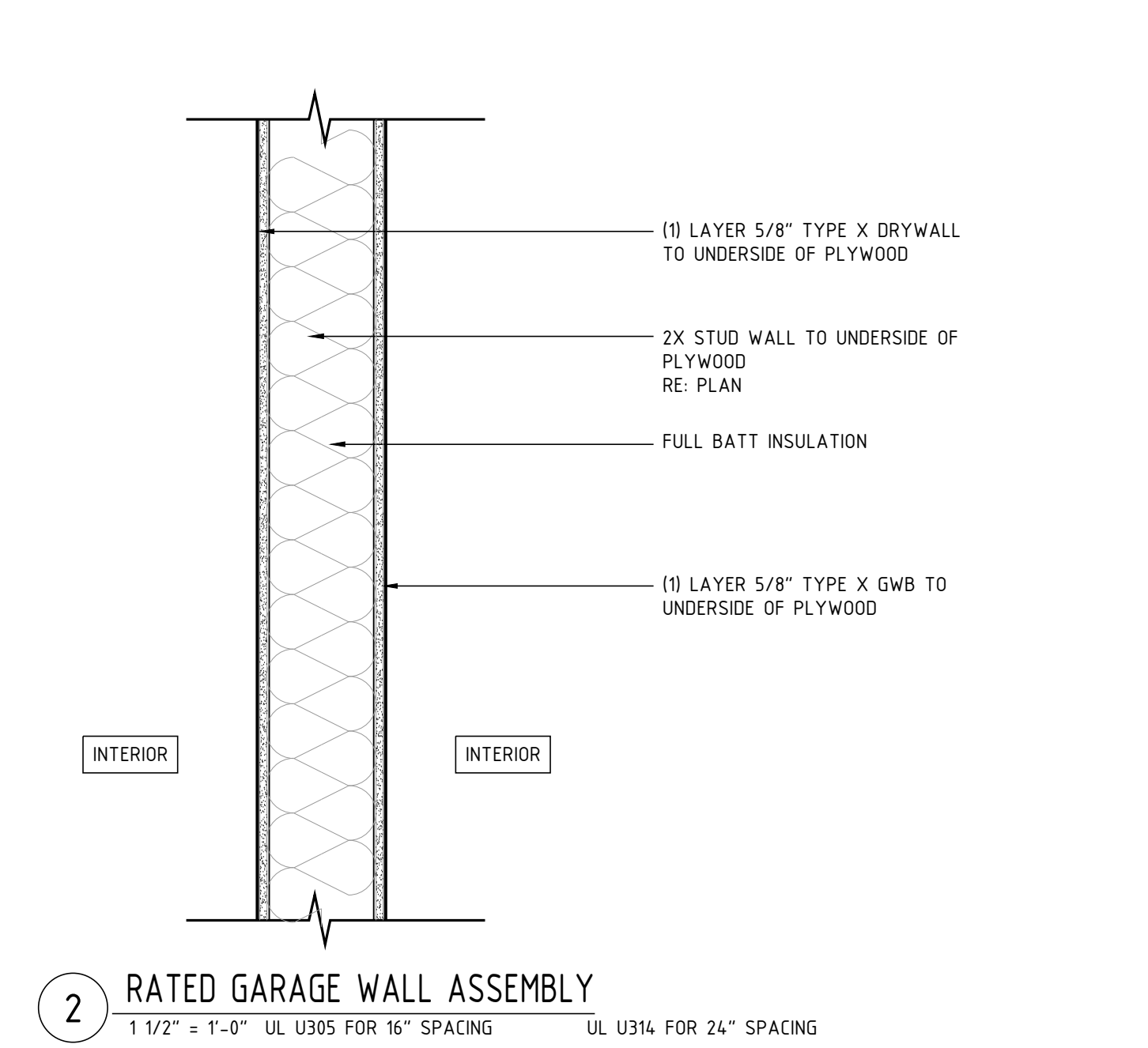
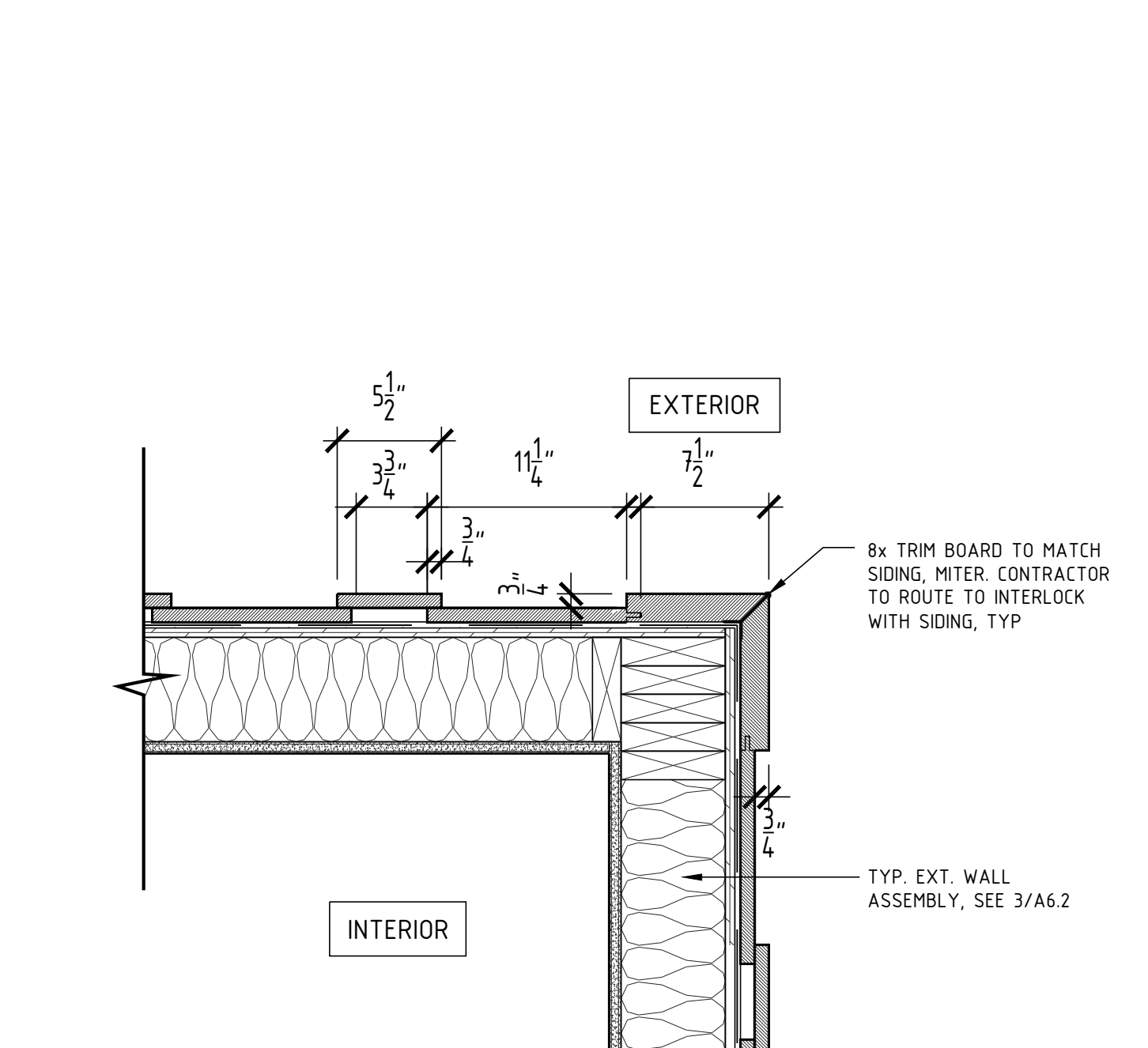
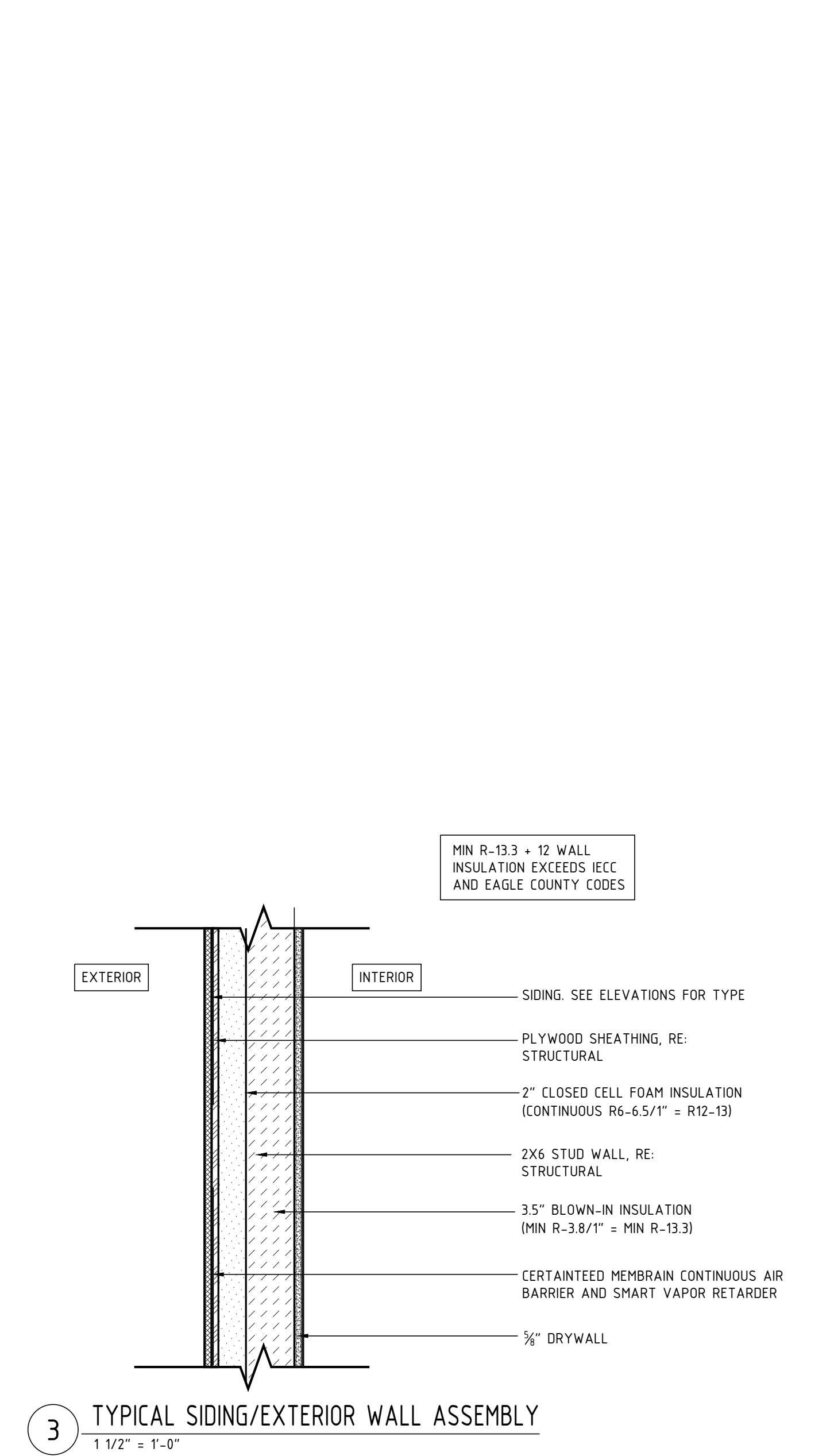
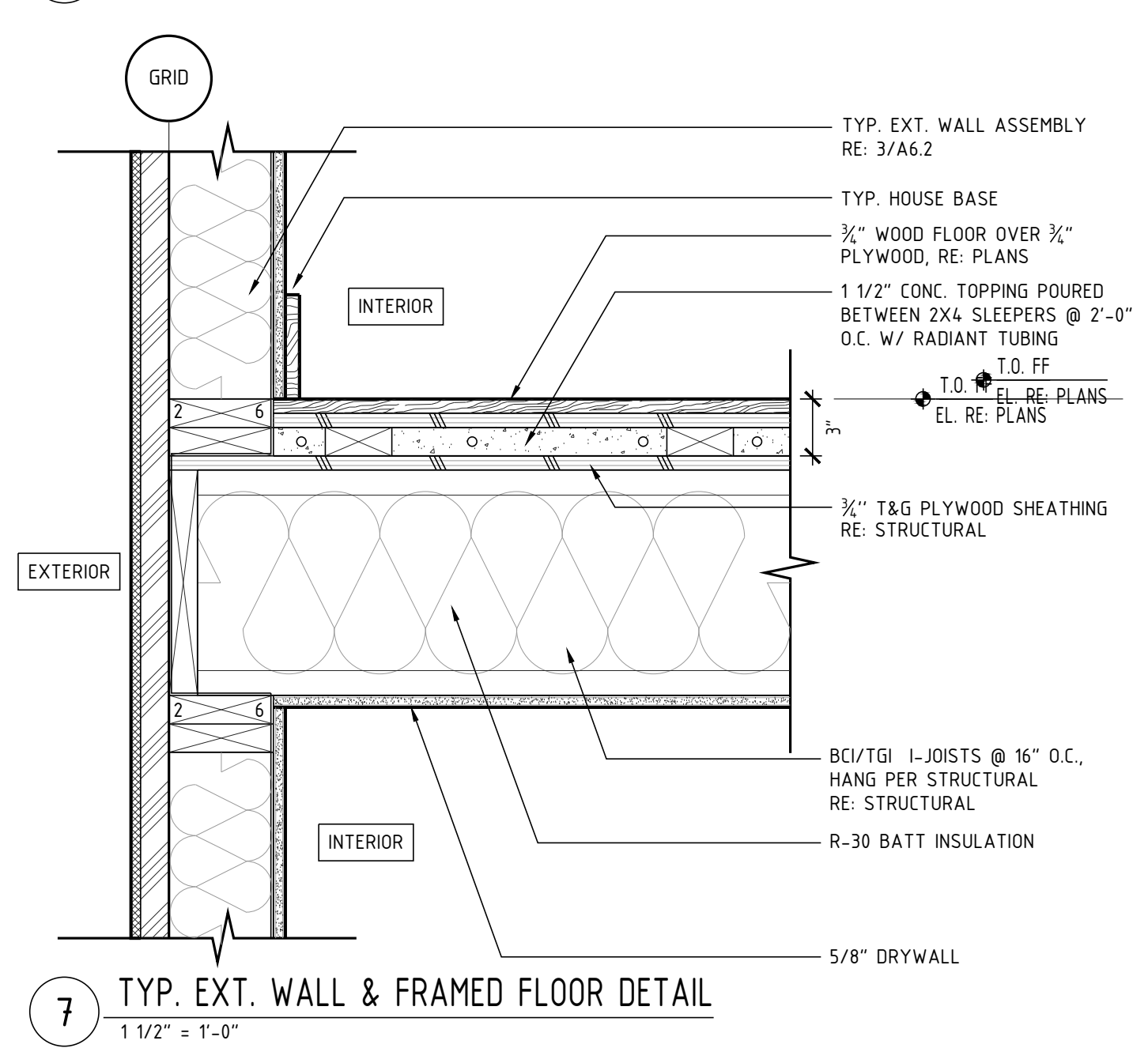
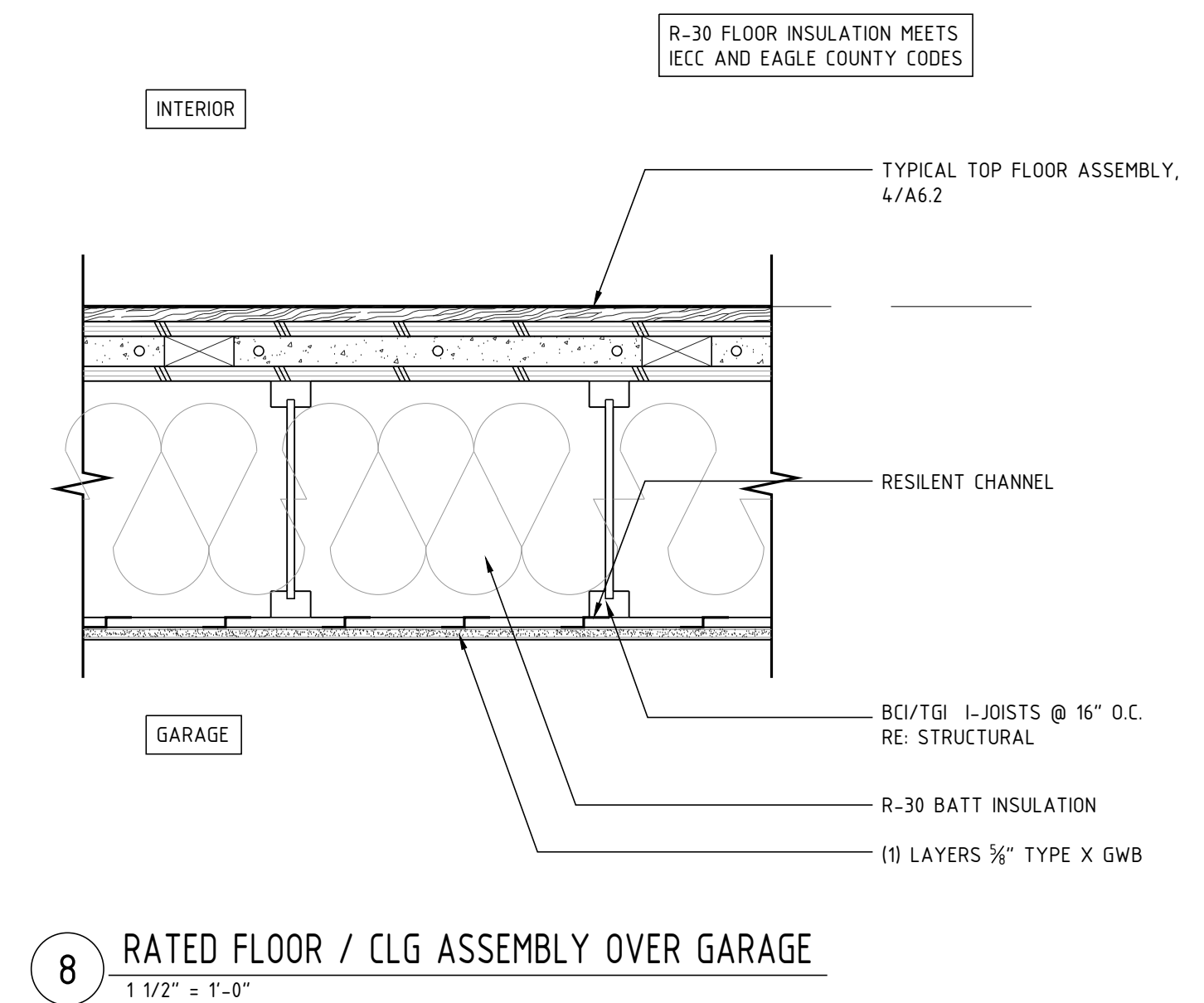
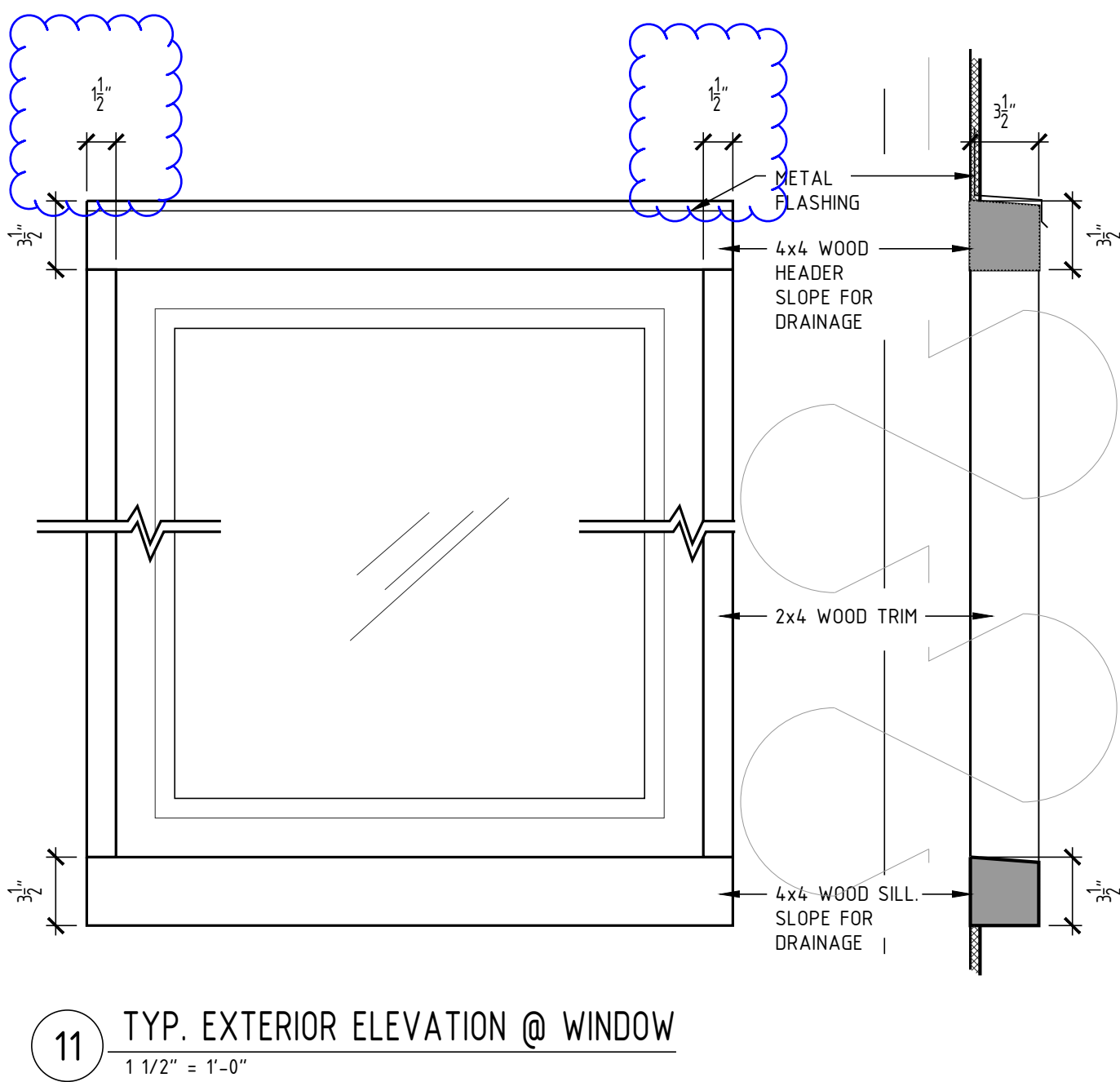
REVISIONS:

SCALE:
VARIES

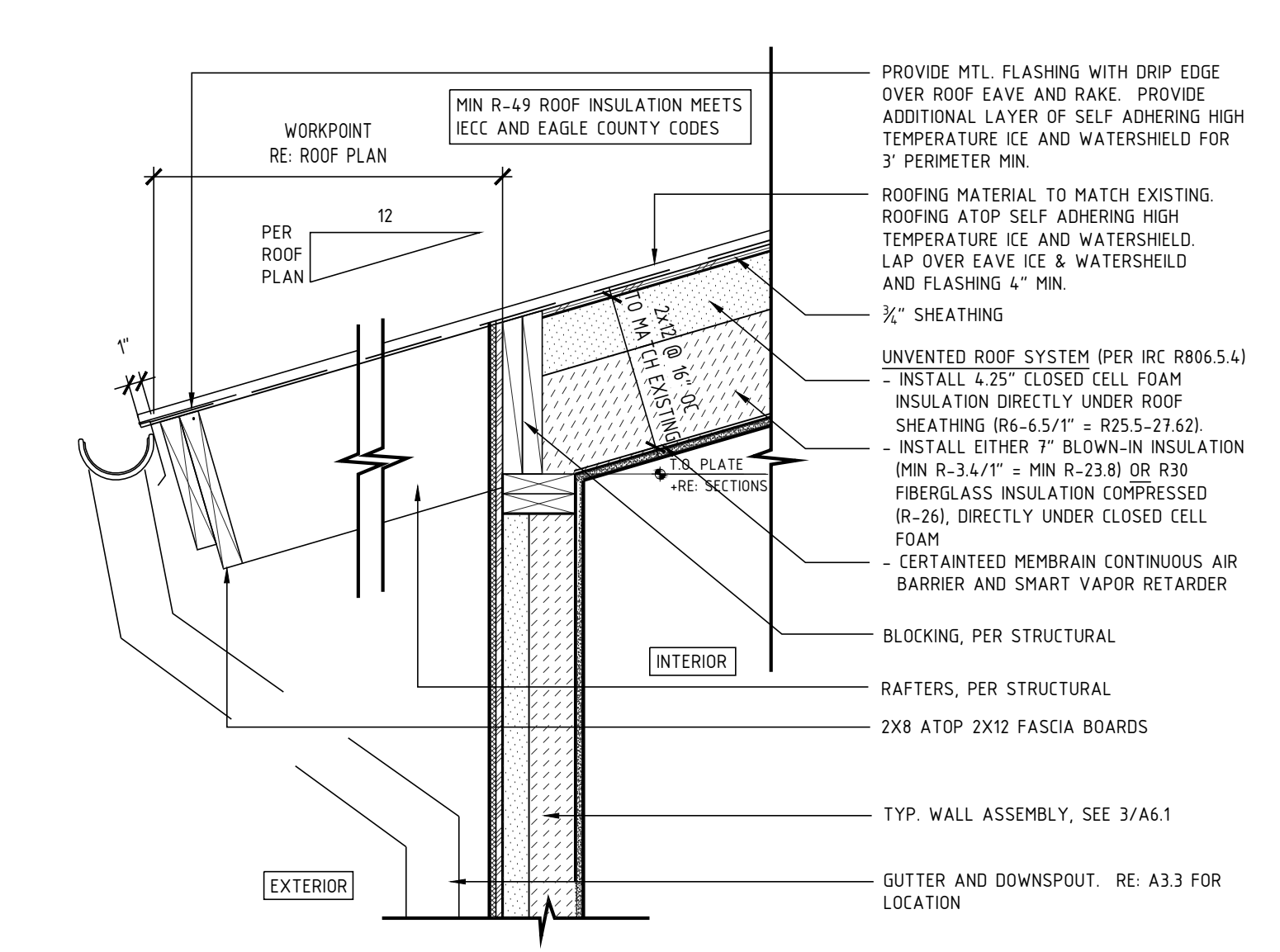
DETAILS

A6.1

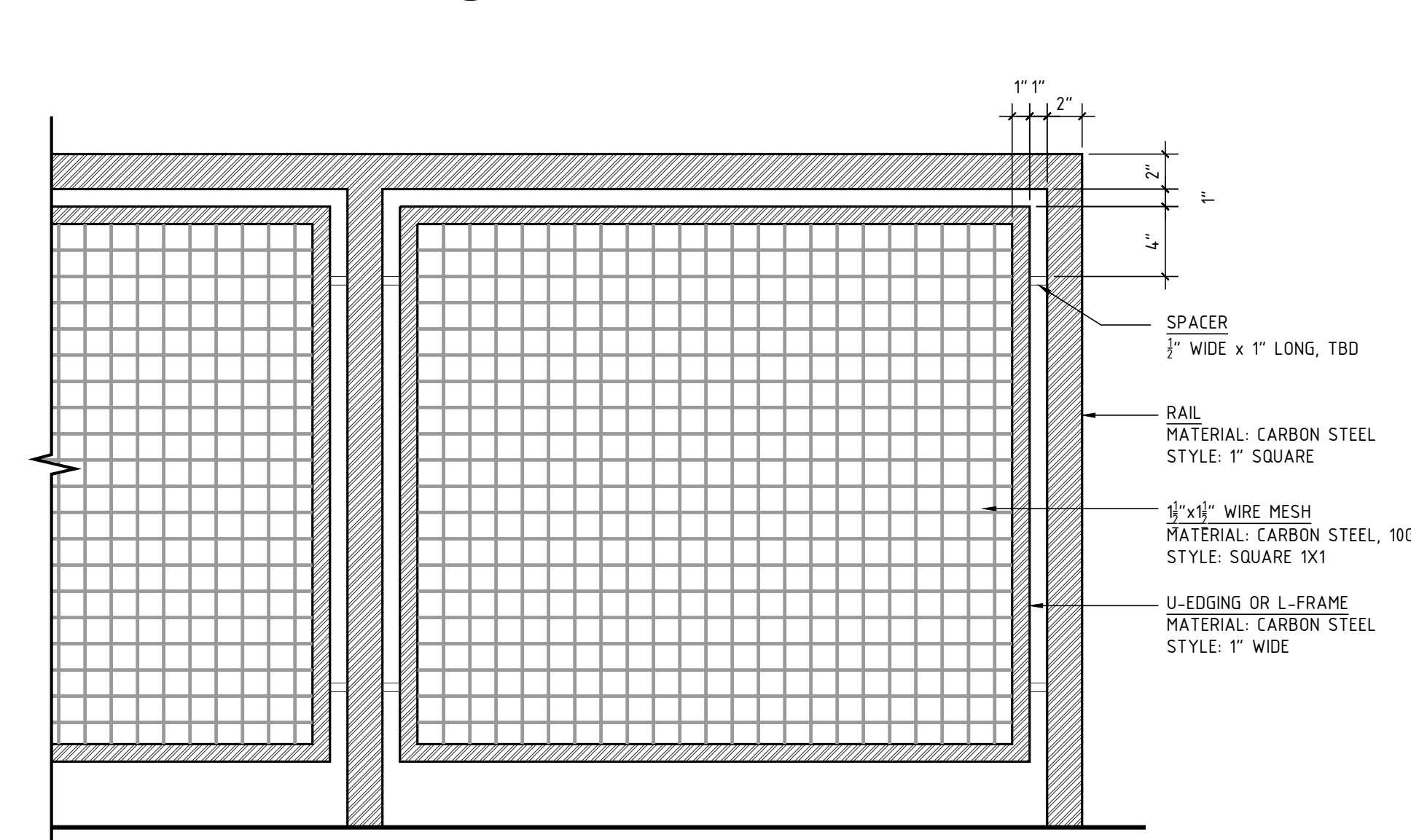
WORK IN PROGRESS - NOT FOR CONSTRUCTION



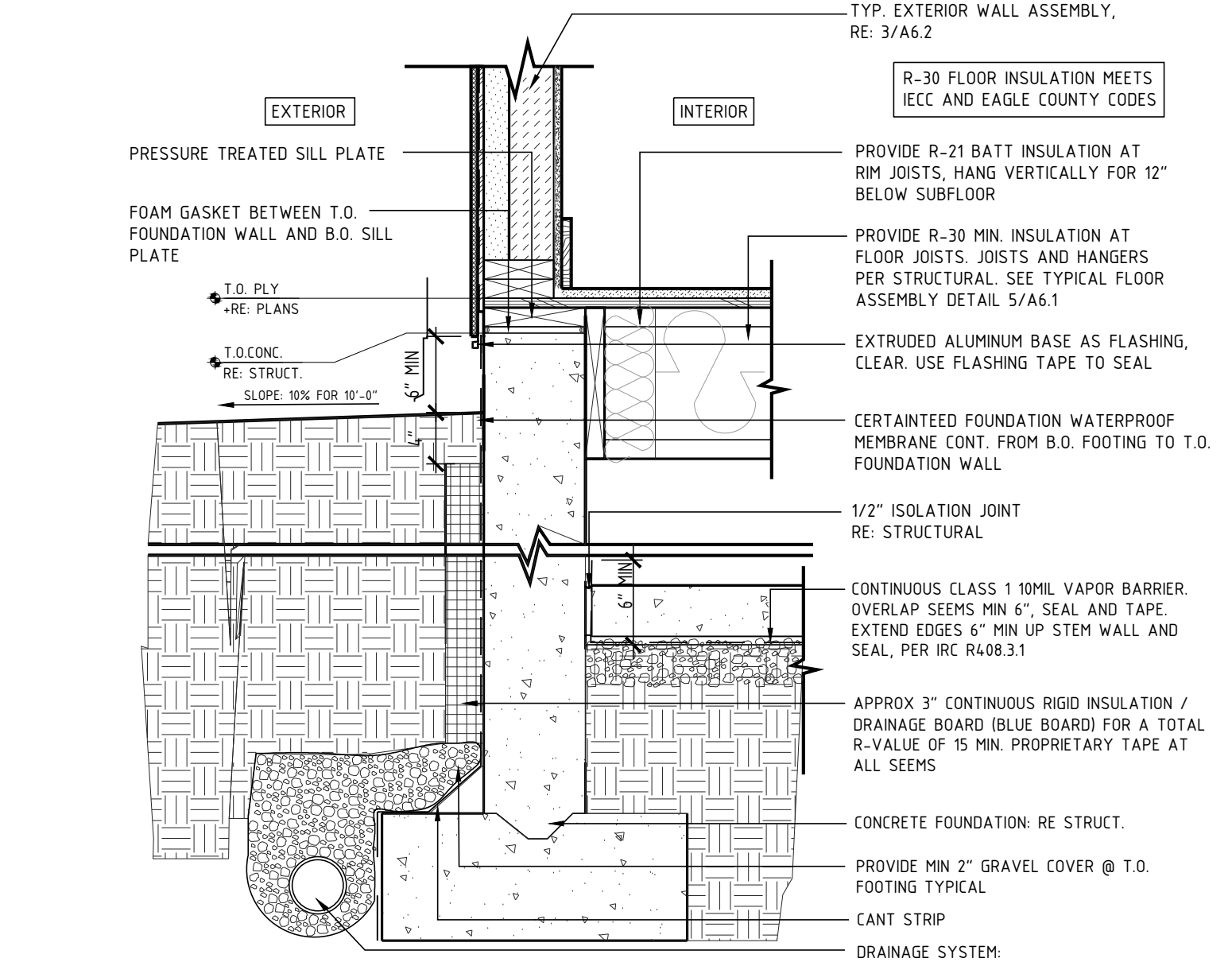
15 TYP. ROOF & EAVE ASSEMBLY @ CLOSED SOFFIT
1" = 1'-0"



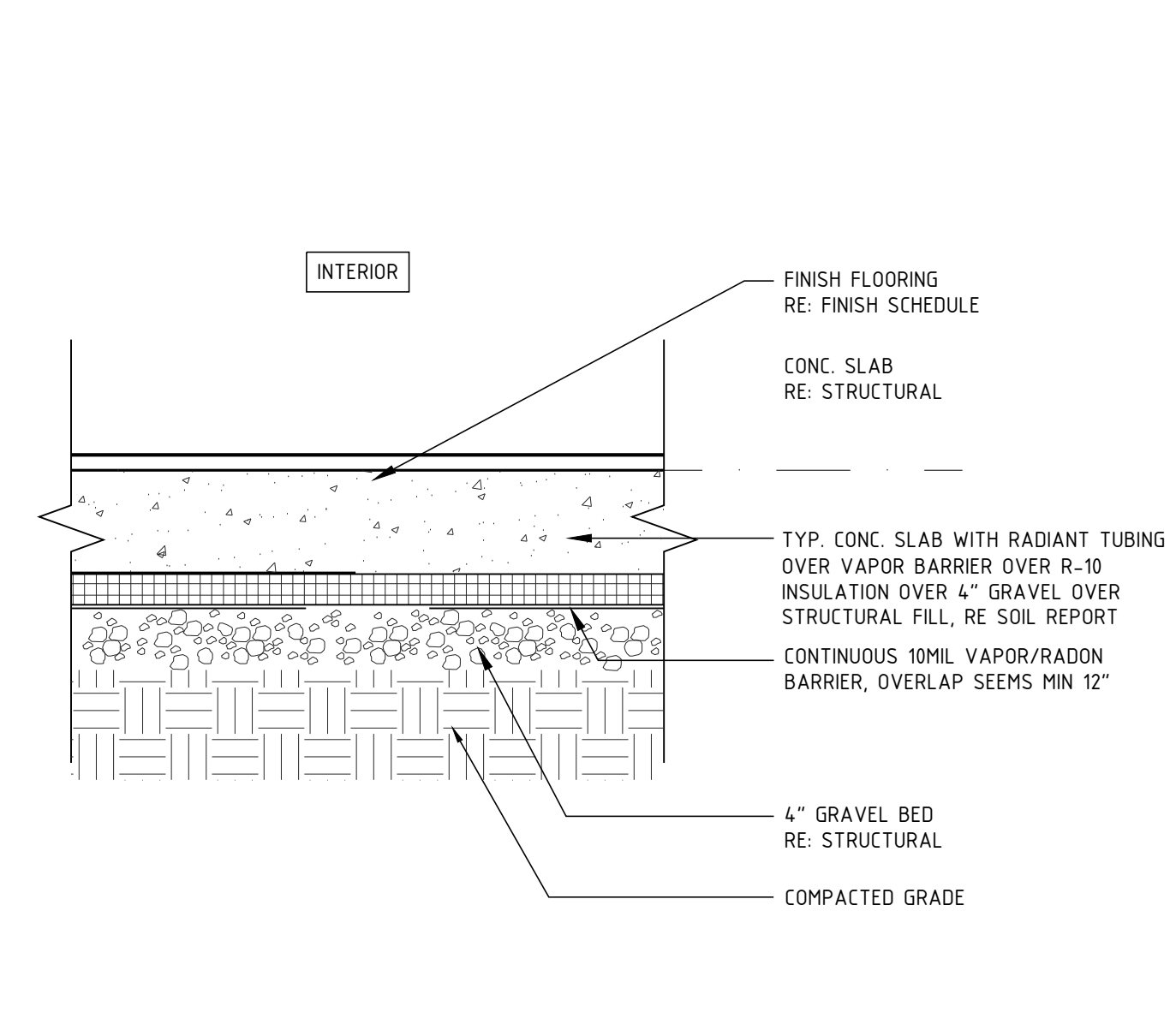
14 TYP. ROOF & EAVE ASSEMBLY @ EXPOSED UNDERSIDE
1" = 1'-0"



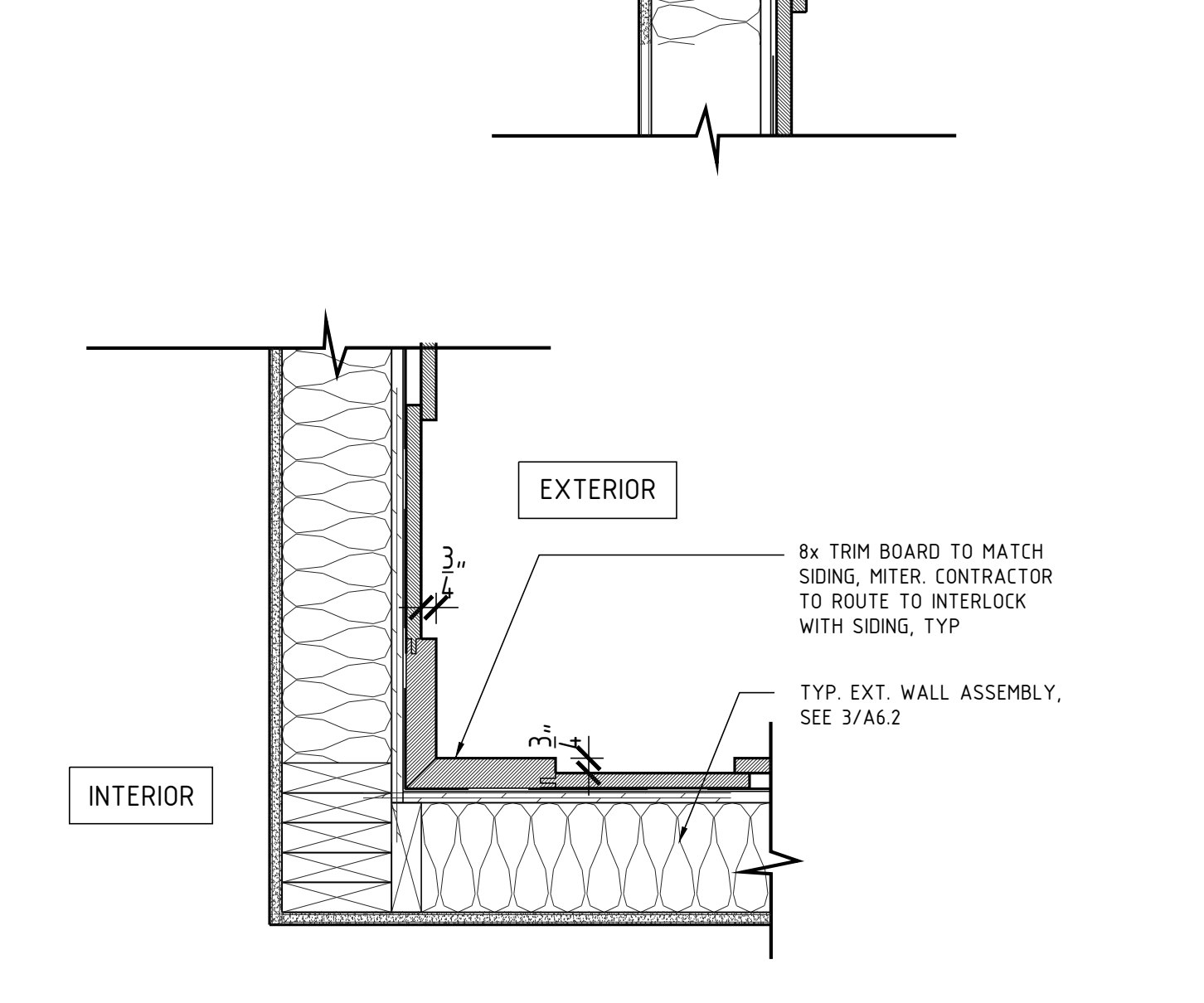
10 TYPICAL RAILING DETAIL
1 1/2" = 1'-0"



13 DETAIL OF TYP. FOUNDATION @ FRAMING
1" = 1'-0"

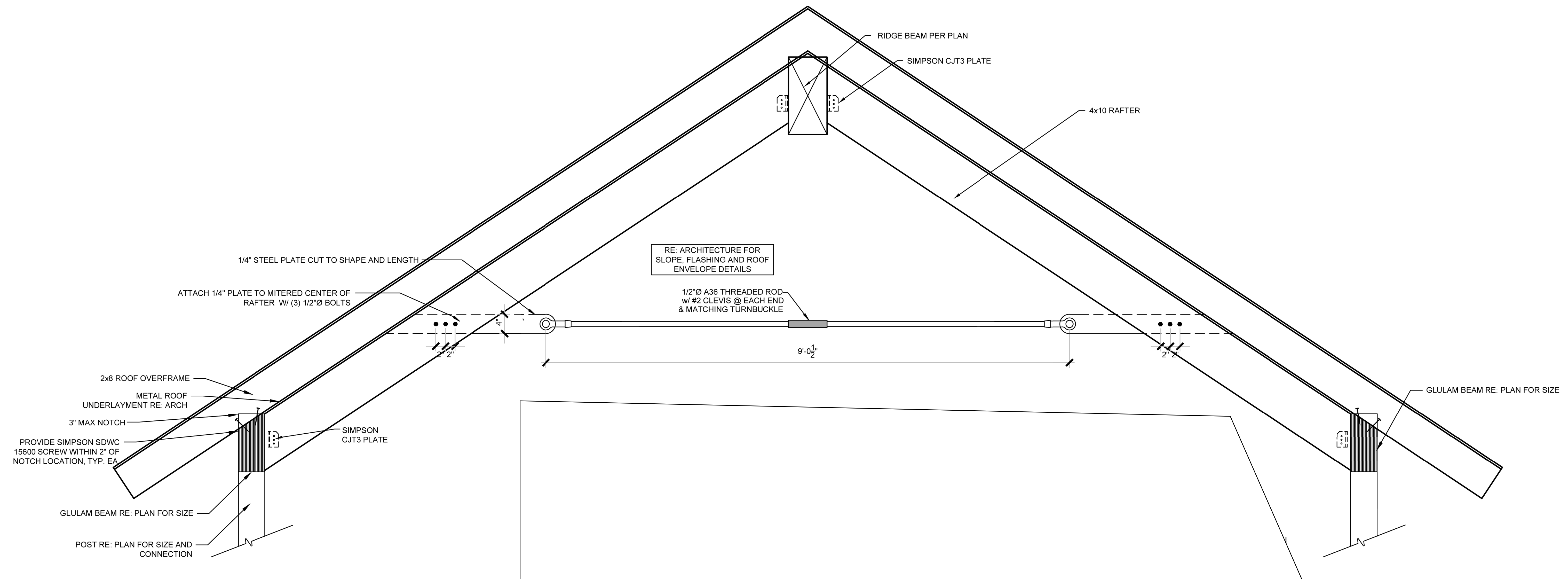


9 TYPICAL CONCRETE FLOOR ASSEMBLY
1 1/2" = 1'-0"



5 TYPICAL CORNER SIDING ASSEMBLIES
1 1/2" = 1'-0"

2.3.2.2 Window Trim (1) Windows set in wood or simulated wood siding must have trim around them. Trim thickness should be 2-inch (nominal) stock...



1 ENTRY RIDGE TRUSS D E T A I L - S I M
SCALE: NTS

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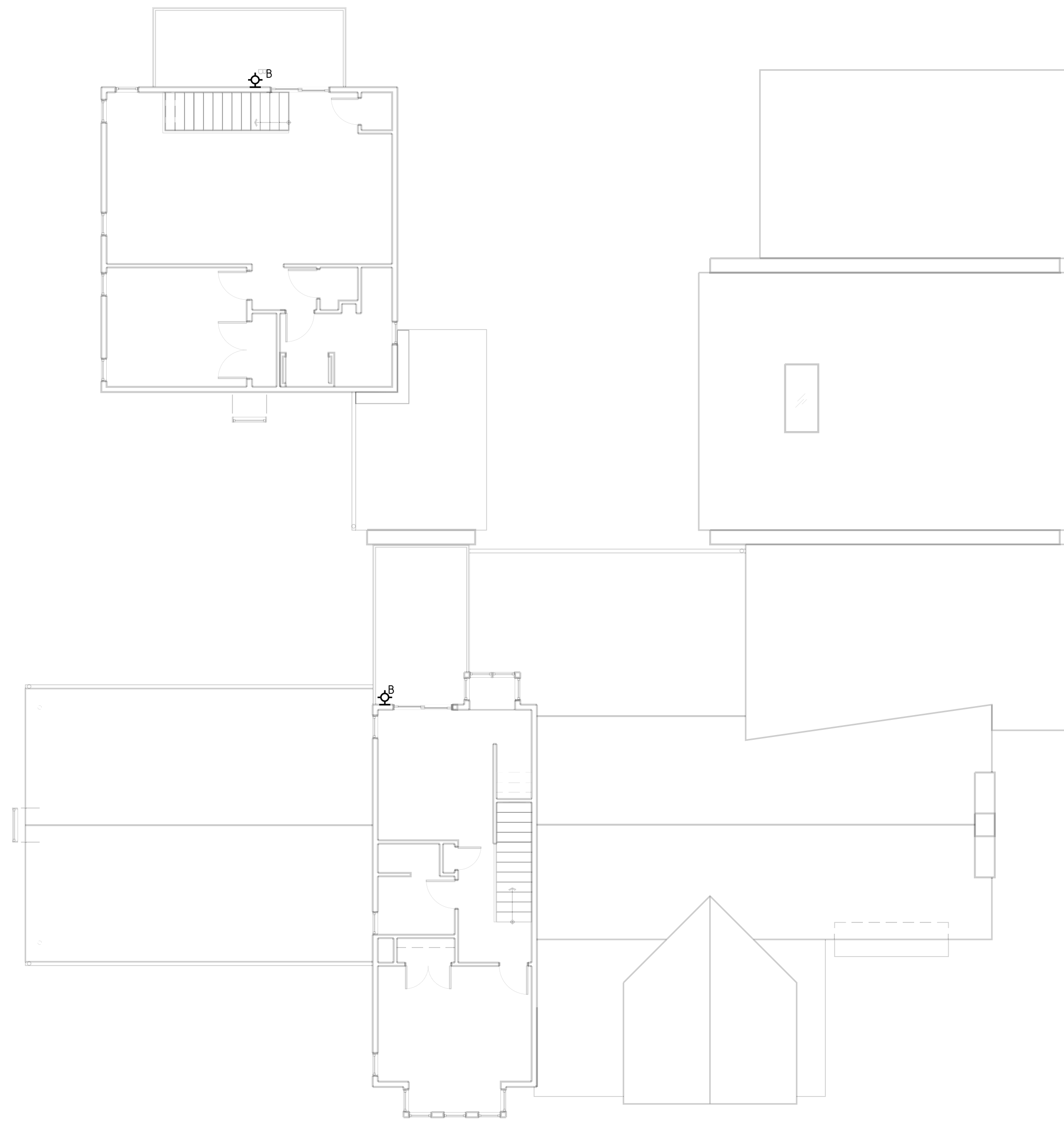
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SCALE: NTS

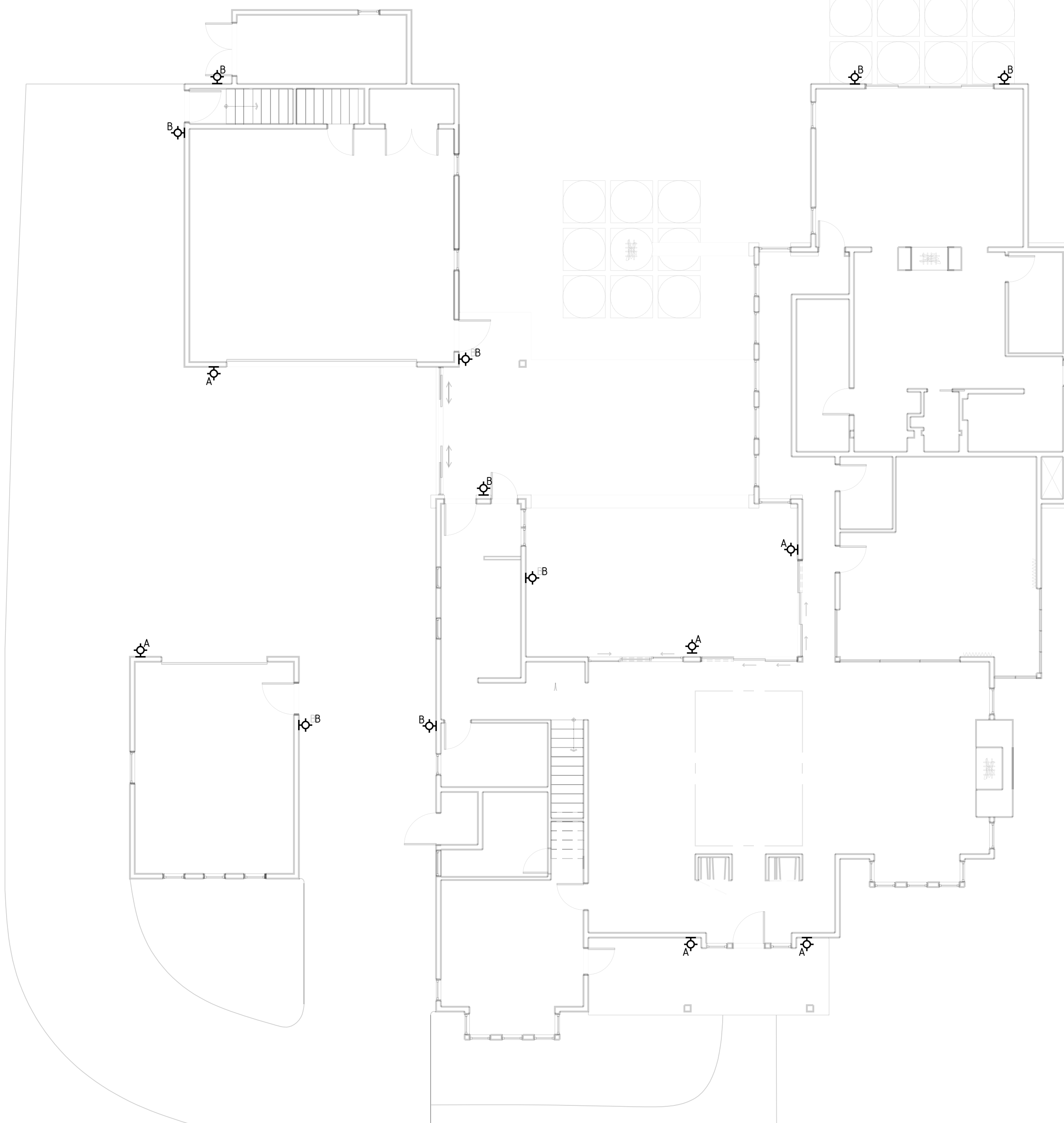
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DETAILS

A6.2



2 PROPOSED UPPER LEVEL LIGHTING PLAN
SCALE: 1/8"=1'-0"



1 PROPOSED MAIN LEVEL LIGHTING PLAN
SCALE: 1/8"=1'-0"

LIGHTING KEY:
K-A EXTERIOR SURFACE MOUNT LIGHT, UNSHIELDED, PER DRB MEADOWS GUIDELINES 2.3.6
K-B EXTERIOR SURFACE MOUNT LIGHT, DARK-SKY COMPLIANT, PER DRB MEADOWS GUIDELINES 2.3.6

FIXTURE KEY:
A MODERN FORMS / SQUARE, WS-W38608
B WAC / REVEL 24", WS-W13324-40-BK
* ALL FIXTURE LUMENS AND REQUIREMENTS TO MEET DRB GUIDELINES 2.3.8 *

WAC LIGHTING

Revels

Outdoor Wall Sconce

Model & Size	Color Temp	Finish	LED Watts	LED Lumens	Delivered Lumens
WS-W13324 24"	3000K	BK Black	13W	300	193
	3500K		13W	300	193
	4000K		13W	300	193

Example: **WS-W13324-40-BK**

For custom requests please contact customs@wacighting.com

DESCRIPTION
Balanced with geometric precision, A slim bar of light glowing between the lines of a minimal profile.

FEATURES
• Illumination on both sides with acrylic diffuser
• Built in color temperature adjustability. Switch from 3000K/3500K/4000K
• 3CCT switch installs in the junction box
• ACLED driverless technology
• 5 year warranty

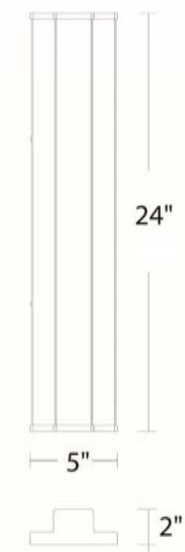
SPECIFICATIONS

Color Temp: 3000K,3500K,4000K
Input: 120 VAC,50/60Hz
CRI: 90
Dimming: ELV: 100-10%
Rated Life: 54000 Hours
Mounting: Can be mounted on wall in all orientations
Standards: ETL, cETL,IP65
Construction: Extruded aluminum body with PC diffuser

FINISHES:

Black

LINE DRAWING:



WS-W13324

Fixture Type: _____
Catalog Number: _____
Project: _____
Location: _____

Project: _____
Location: _____
Fixture Type: _____
Catalog Number: _____

AVAILABLE FINISHES:



Square

WS-W38608

PRODUCT DESCRIPTION
Four equal sides and a stream of light. Square artfully provides geometry to wall surfaces in the daytime when mounted in multiples while providing safe illumination of pathways and dramatic visual intrigue in the evening. Perfect for wall grazing surfaces.

FEATURES
• 277V option available for special order.
• ACLED driverless technology
• State of the art LEDs in a geometric form
• IDA Dark Sky compliant when mounted in a downward orientation

SPECIFICATIONS

Rated Life: 54000 Hours
Standards: ETL, cETL, Wet Location Listed, IP65, Title 24 JA8: 2019 Compliant, Dark Sky Friendly
Input: 120 VAC, 50/60Hz
Dimming: ELV
Color Temp: 3000K
CRI: 90
Construction: Aluminum hardware

REPLACEMENT PARTS
RPL-GLA-38608 - Glass
HDW-WS-W38608 - Hardware Pack

Model & Size	Color Temp	Finish	LED Watts	LED Lumens	Delivered Lumens
WS-W38608 8"	3000K	BK Black	10.7W	800	391
	3000K	BZ Bronze	10.7W	800	391

Example: **WS-W38608-BZ**

*For 277V special order, add an "F" before the finish: WS-W38608F-BZ

For custom requests please contact customs@modernforms.com

Exterior Lighting Worksheet – Eagle Ranch Design Review

Filing/Block/Lot: Filing No. 4 / Lot 40 Address: 2023 Eagle Ranch Road

Luminaire (Fixture) Location	Luminaire (Fixture) Data		Lamp (Bulb) Data			Lumens by Luminaire Type			
	Brand/Model # - Attach Manufacturer Cut Sheet(s)	Qty	Lamp Type ¹	Lamps per Luminaire	Watts per Lamp ²	Lumens per Lamp ³	Unshielded Luminaires ⁴	IDA Certified Luminaires ⁵	Switch Type ⁶
6	WAC Lighting / WS-W13324-40-BK		LED	13	193		<input checked="" type="checkbox"/>	<input type="checkbox"/>	M
11	Modern Forms / WS-W38608-BK		LED	1	10.7	391	<input type="checkbox"/>	<input checked="" type="checkbox"/>	M
							<input type="checkbox"/>	<input type="checkbox"/>	M
							<input type="checkbox"/>	<input type="checkbox"/>	
							<input type="checkbox"/>	<input type="checkbox"/>	
Subtotal Lumens by Luminaire Shielding Category (Unshielded or IDA Certified ⁴)							1,158 ± 2,000 lumens	4,301	
Total Lumens all Luminaire Categories (not to exceed 5,500 Lumens)							5,459	± 5,500 lumens	

Prepared by: Gabrielle Meola / gabrielle designs ARCHITECTURE Date: 01-29-24
Owner Signature: Date: 1/29/2024
Print Name: KRISTINA BIRK

- Notes:
- Lamp (Bulb) Type = Incandescent (I), Compact Fluorescent (CFL), Low-voltage Halogen (LV), Light Emitting Diode (LED), etc.
 - Watts as marked on lamp.
 - Lumen comparisons for lamp types. General retail outlets (i.e. grocery, hardware store, etc.) may not carry all wattages. Consider specialty stores or internet sources.

Typical Lumens/Lamp ¹ :						
Incandescent		Compact Fluorescent		Lo-Voltage Halogen		
Watts	Lumens	Watts	Lumens	Lamp Base	Watts	Lumens
25	200	5	200	G4	5	55
40	500	8-10	450	G4	10	140
60	800-890	13-18	890	G4	20	320
75	1080-1200	18-22	1210	G6Y.35	35	600
100	1420-1750	23-28	1750	G6Y.35	50	950

- The International Dark-Sky Association (<http://www.darksky.org>) certifies luminaires that minimize glare, reduce light trespass, and don't pollute the night sky.
- Luminaire Shield Category is Unshielded unless specifically certified with International Dark-Sky Association Fixture Seal of Approval.
- Switch Type = manual (M), motion detector (MD), photocell (P), rheostat (R), timer (T)

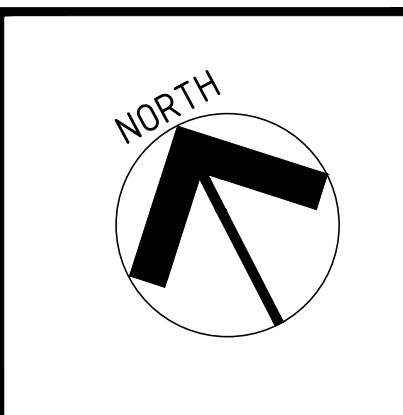
P:\DRB\forms\ExtLight\Wksh2017.docx

WORK IN PROGRESS - NOT FOR CONSTRUCTION

FILE: _____
DATE: 01-29-24
DRAWN BY: GM
ISSUE: DRB FINAL
(MEETING 02-15-24)

REVISIONS:

SCALE: 1/8"=1'-0"



EXT. ELECTRICAL

E3.1



Design Review Memorandum Final Review

Project Number: 21-00-33
Owner Name: Joshua Walker
Architect: Turnipseed, AIA
Address: 213 Harvester Court
Legal: EAGLE RANCH FILING 21 Lot: 33
Final DRB Meeting Date: February 15, 2024

PROJECT OVERVIEW

- Lot Size: 27,288 sf
- Accessory Dwelling Unit: No
- Slopes in Excess of 30%: No
- Design Guidelines: The Uplands
- Style: Craftsman
- Fire Suppression System: Refer to GERFPD and EVW for fire suppression requirements



LIMITATIONS

Standard	Allowed	Proposed
Floor Area Maximum	7,000 sf	6,983 sf
Floor Area Minimum	2,000 sf	Complies
Site Coverage	30% = 8,186 sf	3,916 sf
Impervious Area	50% = 13,644 sf	8,291 sf
Height	35 ft	Complies
Setbacks	35 ft front 25 ft rear 15 ft side	Complies
Driveway Setback	7.5 ft from side property line	Complies
Development Disturbance	Property Boundary	

This project was previously approved for Final Review in April of 2021.

1. Site and Landscape Comments

- a. Generally, staff believes that the proposed site and landscape plan is consistent with the Uplands Design Guidelines.
- b. Refer to Colorado State Forest Service guidelines for defensible zones: https://csfs.colostate.edu/wp-content/uploads/2021/04/2021_CSFS_HIZGuide_Web.pdf
- c. Include AC unit(s) on planting plan to verify appropriate screening for Technical Review.
- d. Provide cost estimate for final landscaping and irrigation and anticipated landscape completion date for Technical Review.
- e. Include address marker detail for Technical Review.
- f. Include Construction sign detail for Technical Review.

2. Architecture Comments

- a. Generally, staff believes the proposed architecture is consistent with the Uplands Design Guidelines relative to the Craftsman Style.

3. Staff Recommendation

Staff recommends approval of the Final Plan Review for the Walker Residence with the following conditions:

1. General Condition: Compliance with the Eagle Ranch Design Guidelines and process is not a substitute for compliance with Town of Eagle regulations, State regulations, or Federal regulations. Additional permits and approvals may be

- required by these agencies prior to commencing any work on the property. The property owner and its agents are responsible for ensuring compliance with all local, state, and federal regulations.
2. The applicant shall address the comments provided in this staff memorandum and any DRB comments prior to submittal for Technical Plan Review.

Minutes from DRB meeting April 29, 2021

Brasington Residence – Filing 21 – Block 00 – Lot 33_ 0213 Harvester Court – Final – Architect: Brennen

Fitzgerald, Turnipseed – Uplands, Craftsman

- a. ***Discussion Items: Exterior Materials***
 - i. *Window trim at stucco veneer. Detail #7/A5.2. Trim thickness should be 2-inch thick. UDG 2.3.3.2.*
 - ii. *Clarify cap at stucco. Formed stucco trim details are not permitted. UDG 2.3.1.1(3b). **Meeting the guide lines***
 - iii. *Corner trim at vertical siding: Metal X-Corner (reglet) proposed as typical detail #12/A5.2 **No***
 - iv. *Clarify trim and wall cladding at rear patio doors*
- b. *Provide Lighting worksheet for Technical Review.*
- c. *Update impervious calculations – new sun patio area does not appear to be included in calculations for Technical Review. **Using siding***

Summary: *Provide continuing compliance with the Meadows Design Guidelines.*

Board Review: ***See above comments in RED***

MOTION: *The Board approved the Brasington Residence for Final (0213 Harvester Ct.) with the following conditions. Window stucco trim will match the guide lines as written, the cap at the stucco will be 2X bellyband, the reglet will not be allowed and the trim and wall cladding at the rear patio doors will match the other siding on the home.*

UPLANDS MODERN CRAFTSMAN



WALKER & MILLER RESIDENCE ENTRY ELEVATION

PROJECT TEAM:

OWNER:

JOSHUA WALKER & WILLIAM MILLER
JWALKER@PRIORITYROOFS.COM

ARCHITECT:

SCOTT S. TURNIPSEED AIA
ARCHITECTURE & CONSTRUCTION, INC.
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P.O. BOX 3388
EAGLE, COLORADO 81631
T (970) 328-3900
brennen@stiaa.com

CONTRACTOR:

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ARCHITECTURE & CONSTRUCTION, INC.
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SOILS ENGINEER:

LKP ENGINEERING, INC.
LUIZA PETROVSKA, PE
CELL: 970-390-0307
luiza@lkpeng.com
www.lkpengengineering.com

STRUCTURAL ENGINEER:

NEWKIRK STRUCTURAL
ENGINEERS, INC.
PAUL NEWKIRK
T (210) 380-1837
newkirk56@gmail.com

SURVEYOR:

SLAGLE SURVEY SERVICES
MATTHEW S. SLAGLE PLS., CFEDS
PO BOX 751
EAGLE, CO 81631
970-471-1499
matthew@slaglesurvey.com
www.slaglesurvey.com

DRAWING INDEX:

A0.0 COVER SHEET	E2.2 MAIN LEVEL ELECTRICAL PLAN
A0.1 EXTERIOR MATERIALS/COLORS	E2.3 UPPER LEVEL ELECTRICAL PLAN
A0.2 TOPOGRAPHIC SURVEY	W2.2 WINDOWS @ PERMIT SUBMIT
A1.0 SITE PLAN-OVERALL	S1.1 FOOTING/FOUNDATION PLAN
A1.1 SITE PLAN HOUSE	S1.2 LOWER LEVEL FLOOR FRAMING
A1.2a LANDSCAPE PLAN-HOUSE	S1.3 MAIN LEVEL FRAMING
A1.2b LANDSCAPE PLAN-DRIVEWAY	S1.4 UPPER LEVEL FLOOR / ROOF FRAMING
A1.3 CONSTRUCTION MANG. PLAN	S1.5 UPPER ROOF FRAMING
A1.4 EXTERIOR LIGHTING PLAN	S1.6 NOTES & TRUSSES
A2.1 LOWER LEVEL / BASEMENT PLAN	S2.1 STRUCTURAL DETAILS 1
A2.2 MAIN LEVEL FLOOR PLAN	S2.2 STRUCTURAL DETAILS 2
A2.3 UPPER LEVEL FLOOR PLAN	
A2.4 ROOF LEVEL PLAN	
A3.1 BUILDING ELEVATIONS	
A3.2 BUILDING ELEVATIONS	
A3.3 BUILDING ELEVATIONS	
A3.4 BUILDING ELEVATIONS	
A4.1 BUILDING SECTIONS	
A4.2 BUILDING SECTIONS	
A4.3 BUILDING SECTIONS	
A5.1 BUILDING DETAILING	
A5.2 BUILDING DETAILING	

TOWN OF EAGLE

BUILDING DEPARTMENT:

CHARLIE DAVIS
Physical Address
PO Box 609
200 Broadway
Eagle, CO 81631
Phone: 970-328-9655
Fax: 970-328-9656
2015 - IBC
TOWN OF EAGLE BUILDING DEPARTMENT
ENERGY CODE REQUIRED - BLOWER DOOR TESTING IRC N1102.4.1.2
RADON MITIGATION REQUIRED - IRC AF103
WHOLE HOME VENTILATION SYSTEM REQUIRED - IRC M1507.1, N1103.6
WINDOW SCHEDULE & COMPLIANCE CUT SHEETS
SEE - SHEET W2.2

EAGLE RANCH DRB-ADMIN:


Alyson Leingang
Design Review Board Administrator
Eagle Ranch Association
1143 Capitol St, Suite 208
P.O. Box 5905
Eagle, CO 81631
phone: 970-328-2174
eagleranchhoa.com
DRB Office hours:
Tuesdays 12:00pm-3:00pm
Thursdays 1:00pm-4:00pm

Update to current

FLOOR AREAS/SQUARE FOOTAGES:

LOWER/BASEMENT LEVEL	
SQUARE FOOTAGES:	
LOWER LEVEL FUTURE FINISHED S.F.	= 1,148 S.F.
LOWER LEVEL UN-FINISHED S.F.	= 000 S.F.
MAIN LEVEL	
SQUARE FOOTAGES:	
MAIN LEVEL FINISHED S.F.	= 2,828 S.F.
MAIN LEVEL UN-FINISHED @ GAR/W.SHOP/MECH S.F.	= 1,203 S.F.
UPPER LEVEL	
SQUARE FOOTAGES:	
UPPER LEVEL FINISHED S.F.	= 1,804 S.F.
TOTALS	
ALL FINISHED TOTAL S.F.	= 4,632 S.F.
ALL UN-FINISHED, FUTURE TOTAL S.F.	= 2,351 S.F.
ALL FINISHED & UN-FINISHED @ TOTAL S.F.	= 6,983 S.F.

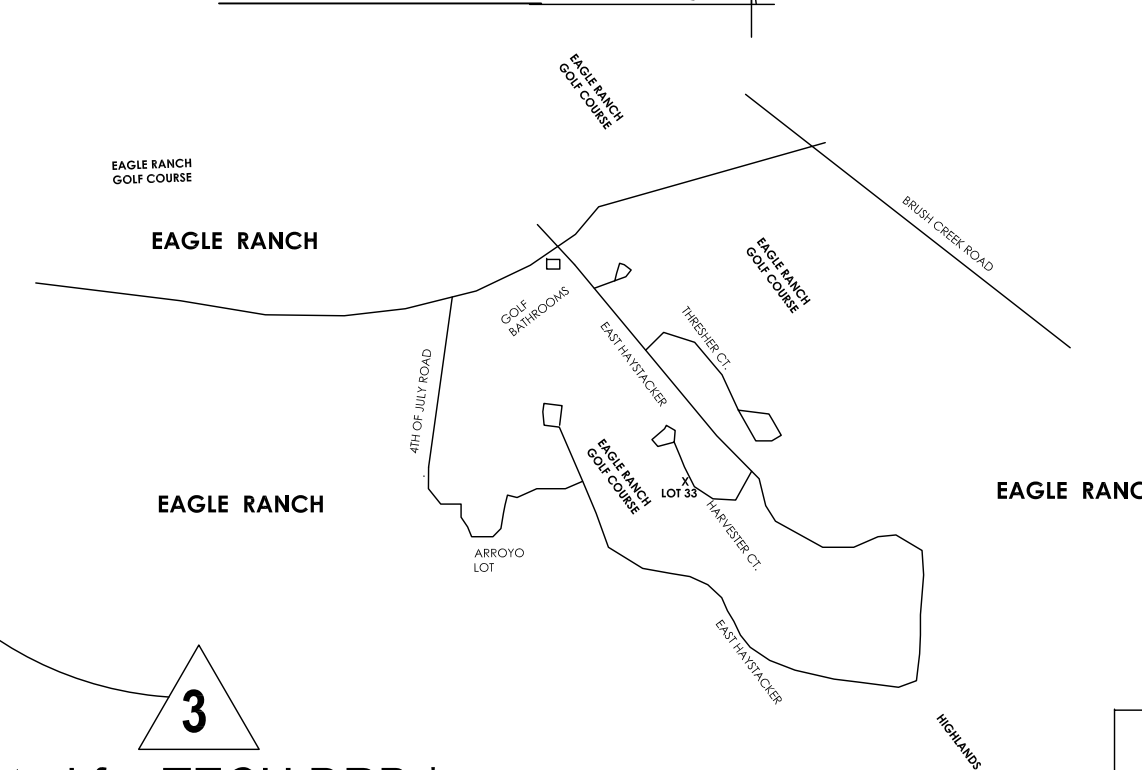
SITE AREAS / IMPERVIOUS COVERAGES:

LOT 33 TOTAL S.F.	= 27,278 SF
BUILDING FOOTPRINT (ALL PATIOS INCL.)	= 5,433 SF
IMPERVIOUS SURFACES (DRIVEWAY)	= 3,282 SF
TOTAL IMPERVIOUS	= 8,715 SF
%OF COVERAGE	= 32 % +/-

EXTERIOR PATIO AREAS/SQUARE FOOTAGES:

EXTERIOR COVERED PATIOS, UN-COVERED PATIOS, WALKWAYS	
SQUARE FOOTAGES:	
TOTALS	
MAIN LEVEL ALL EXTERIOR PATIOS @ ALL COVD & UNCOVD S.F.	= 1,365 S.F.

VICINITY MAP:



*Updated for TECH DRB *
Item 6. Re-Calc SF



VIEW out THE BACK



VIEW from GOLF COURSE



VIEW out THE FRONT

CONTEXT SITE PHOTOS



WALKER & MILLER RESIDENCE
0213 HARVESTER COURT / LOT 33
UPLANDS AT EAGLE RANCH, EAGLE, COLORADO 81631

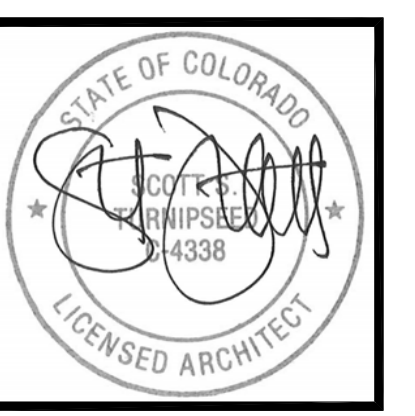
ISSUE:	DATE:
DRB PRE-DESIGN	FEB 2020
PRELIM SUBMITTAL	MAR 2020
FINAL SUBMITTAL	APRIL 2021
TECH & BID SUBMITTAL	MAY 2021
TECH & BID SUBMITTAL 2	JULY 2021
TECH & BID SUBMITTAL 3	AUG 2021

AUG 4, 2021
DRB TECH/PERMIT 3

SCOTT S. TURNIPSEED AIA
ARCHITECTURE & CONSTRUCTION INC.
P.O. BOX 3388
1143 CAPITOL STREET, SUITE 211
EAGLE, COLORADO 81631
970.328.3900 WWW.STIAA.COM

A0.0
COVER SHEET
PROJECT INFO.

DRB TECH. & BID SET ONLY



Back Patio Perspective -Render



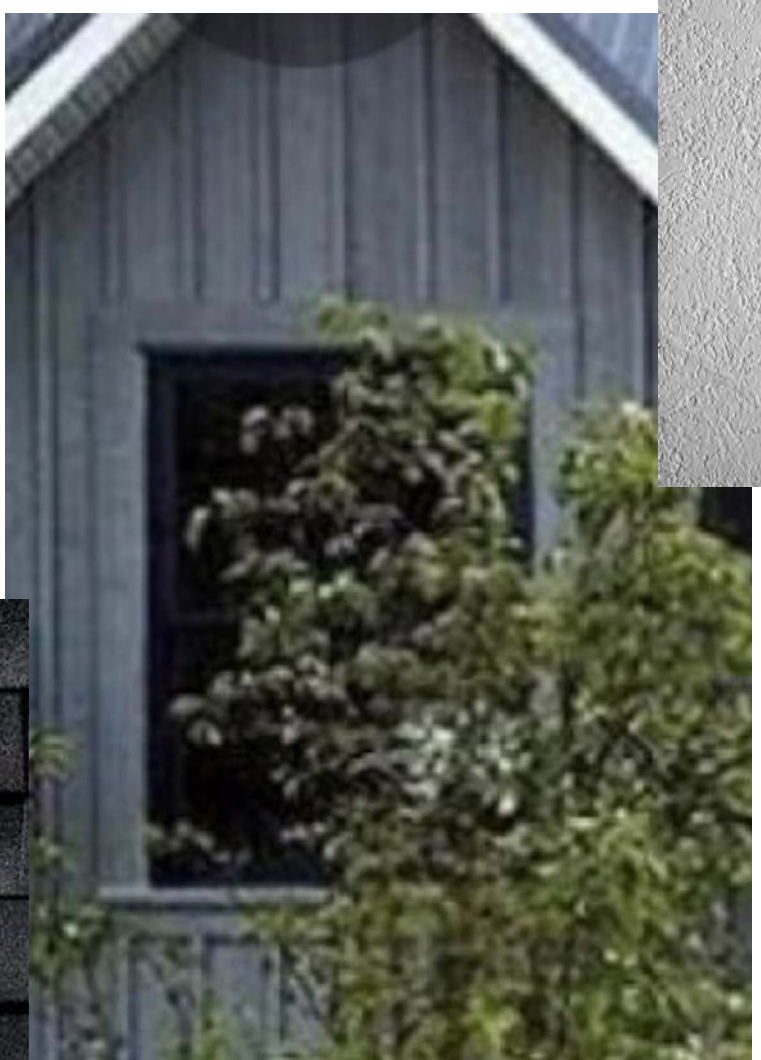
Entry Perspective -Render



Front Perspective -Render

WALKER & MILLER RESIDENCE
0213 HARVESTER COURT / LOT 33
UPLANDS AT EAGLE RANCH, EAGLE, COLORADO 81631

TYP. VERTICAL SIDING :
1"X8" SPF T&G WIRE
BRUSHED &
STAINED, DARK GREY/CHARCOAL



STUCCO SIDING, TYP:
PAPER,LATH, STUCCO/PAINT
SAND TEXTURE, ROUGH TEXTURE
FINISH, TYP.

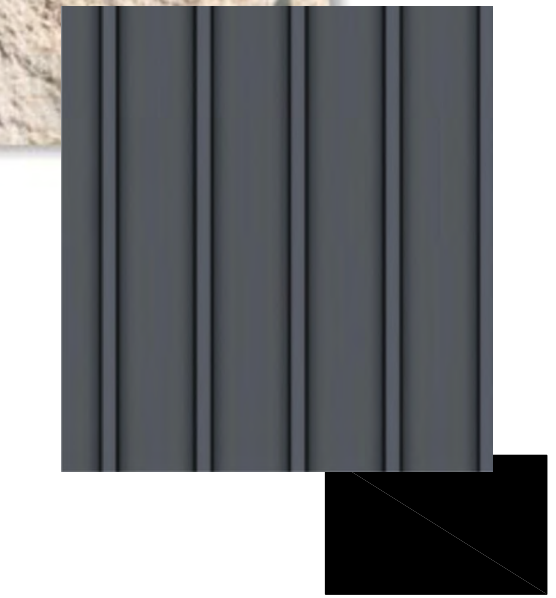
STONE VENEER, TYP:
FULL STONE VENEER,
TEXAS LIMESTONE, LIGHT GROUT



TYP. ASPHALT ROOF :
ELK PRESTIQUE 30 YEAR ASPHALT
COLOR TBD, BLACK OR WEATHERED WOOD GREY



METAL ROOF, TYP:
STANDING SEAM METAL ROOF,
BLACK, PRE-PAINTED.



WINDOWS, PATIO DOORS, TYP:
ALUM CLAD WOOD WINDOWS,
BLACK.

TYP. STEEL DETAILING :
STRUCTURAL STEEL, POWDER
COATED MATTE BLACK



TIMBER DETAILING:
STRUCTURAL, ARCHTECTURAL TIMBER FRAMING
PER PLAN AND STRUCTURAL. ALL R.S. D-FIR
STAINED\ SEMI TRANSPARENT, NATURAL



DRB EXTERIOR MATERIALS : INSPIRATION IMAGE

[DRB EXTERIOR MATERIALS]

DRB EXTERIOR MATERIALS : MOCK UP ON SITE TO BE PROVIDED



DRB EXTERIOR MATERIALS : INSPIRATION IMAGE

3
AUG 4, 2021
DRB TECH/PERMIT 3

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970.328.3000 WWW.SSTAIACOM

A0.1
PRELIM. EXTERIOR
MATERIALS

TOPOGRAPHIC MAP

LOT 33,

Eagle Ranch Filing No. 21

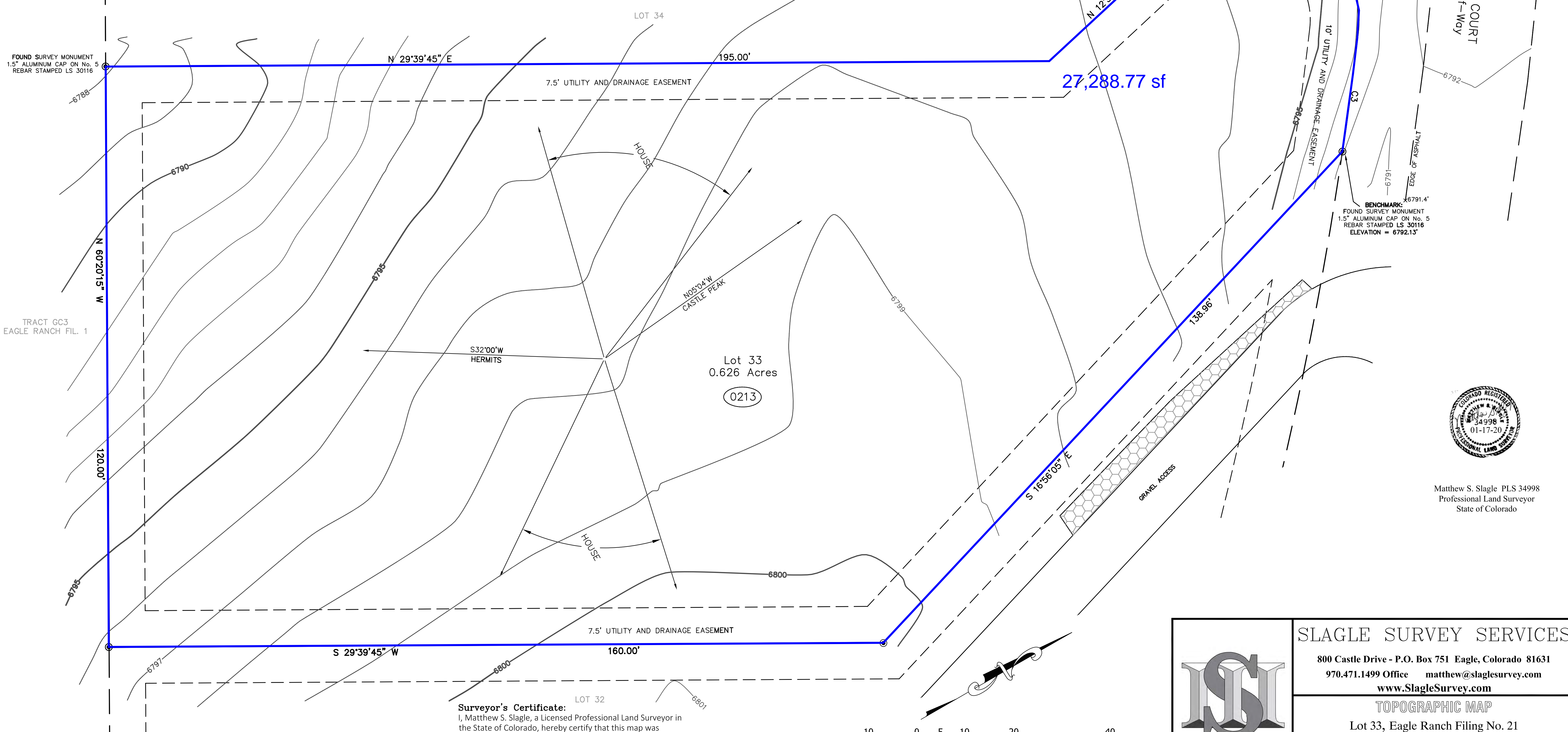
Town of Eagle, County of Eagle, State of Colorado

LEGAL DESCRIPTION:
 Lot 33, Eagle Ranch, Filing 21 according to the Final Plat thereof as filed for record August 18, 2005 at Reception No. 926565 in the Office of the Clerk and Recorder, County of Eagle, State of Colorado.

NOTES:

- 1) Survey Date: January 13, 2020.
- 2) Location of Improvements, Lot lines, and Easements are based upon the hereon referenced Final Plat of Eagle Ranch, Filing No. 21, and Survey Monuments found, as shown hereon. This topographic map was performed without the aid of a title commitment or policy.
- 3) Street Address: 0213 Harvester Court. (Not Posted)
- 4) This Lot is subject to all notes, restrictions, covenants and easements called out on the hereon referenced Final Plat of Eagle Ranch filing 21 along with the Amended PUD Guide for Eagle Ranch as filed, or as amended from time to time. This Lot may be subject to Building Setbacks as defined by Eagle Ranch DRB.
- 5) Elevation Datum: 6792.13' on the monument marking the Northeast Corner Lot 33, as shown hereon. This elevation is based on NAVD88.
- 6) Contour Interval: 1 foot.
- 7) Surveyor does not warrant or certify to the integrity of any Digital Data supplied in conjunction with this map and survey.
- 8) This Topographic Survey was prepared for the exclusive use of Scott Turnpseed AIA, and is valid only if print has original seal and signature of surveyor.
- 9) Lineal Units of the U.S. Survey Foot were used herein.

CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	TAN.	BEARING	CHORD
C1	14.00	57.00	14°04'18"	7.03'	N69°23'22"E	13.96'
C2	28.02	25.00	64°13'08"	15.69'	S85°32'13"E	26.58'
C3	24.64	805.00	1°45'13"	12.32'	S52°33'03"E	24.64'



FOUND SURVEY MONUMENT
 1.5" ALUMINUM CAP ON No. 5
 REBAR STAMPED LS 30116

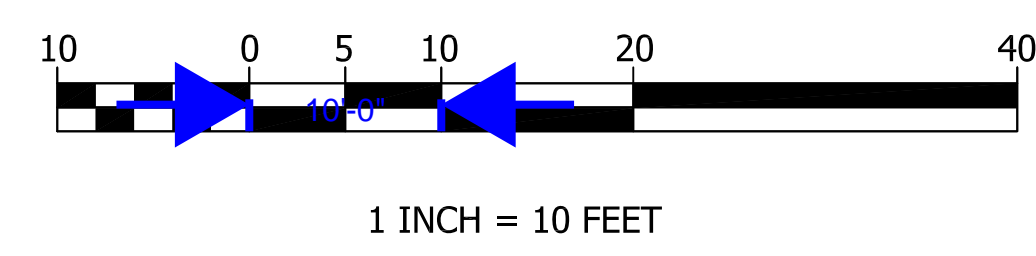
TRACT GC3
 EAGLE RANCH FIL. 1

BENCHMARK
 FOUND SURVEY MONUMENT
 1.5" ALUMINUM CAP ON No. 5
 REBAR STAMPED LS 30116
 ELEVATION = 6792.13'



Matthew S. Slagle PLS 34998
 Professional Land Surveyor
 State of Colorado

Surveyor's Certificate:
 I, Matthew S. Slagle, a Licensed Professional Land Surveyor in the State of Colorado, hereby certify that this map was prepared by me or under my responsible charge, is based upon my knowledge, information and belief, and is in accordance with applicable standards of practice, and is not a guaranty or warranty, either expressed or implied. The Notes hereon are a part of this certification.



NOTICE: According to Colorado law you must commence any legal action based upon any defect in this survey within three years after you first discovered such defect. In no event, may any action based upon any defect in this survey be commenced more than ten years from the date of certification shown hereon.

SLAGLE SURVEY SERVICES
 800 Castle Drive - P.O. Box 751 Eagle, Colorado 81631
 970.471.1499 Office matthew@slaglesurvey.com
 www.SlagleSurvey.com

TOPOGRAPHIC MAP
 Lot 33, Eagle Ranch Filing No. 21
 Town of Eagle, County of Eagle, State of Colorado

DRAWN BY:	JOB NUMBER:	DRAWING NAME:
MSS	20001	20001_Topo.dwg
SHEET 1 OF 1		DATE: 01-17-2020



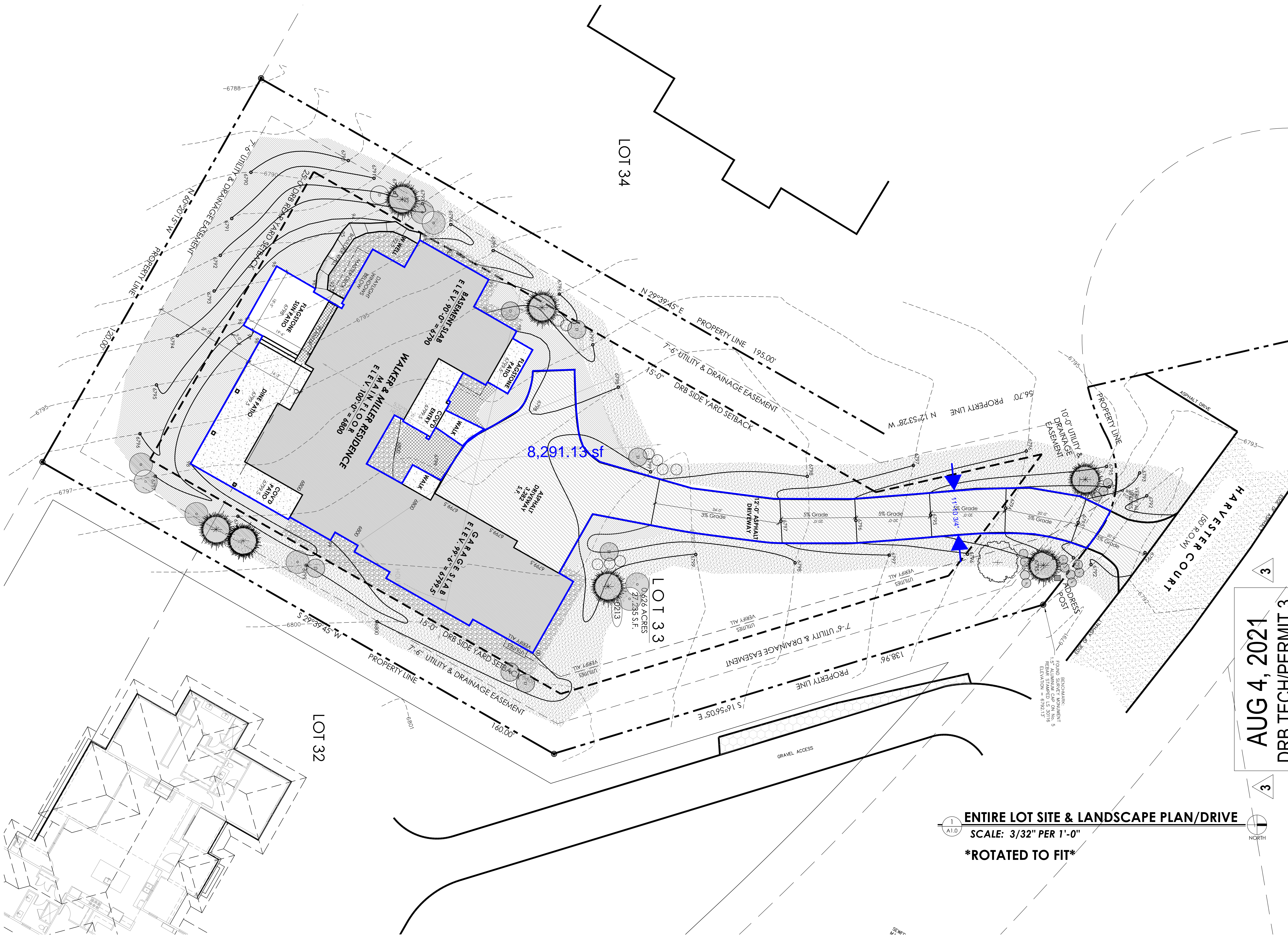
WALKER & MILLER RESIDENCE
0213 HARVESTER COURT / LOT 33
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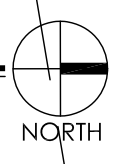
AUG 4, 2021
DRB TECH/PERMIT 3

SCOTT S. TURNIPSEED AIA
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970.321.3900 WWW.SSTAA.COM

A1.0
ENTIRE-OVERALL
SITE PLAN



ENTIRE LOT SITE & LANDSCAPE PLAN/DRIVE
SCALE: 3/32" PER 1'-0"
ROTATED TO FIT



1
A1.0

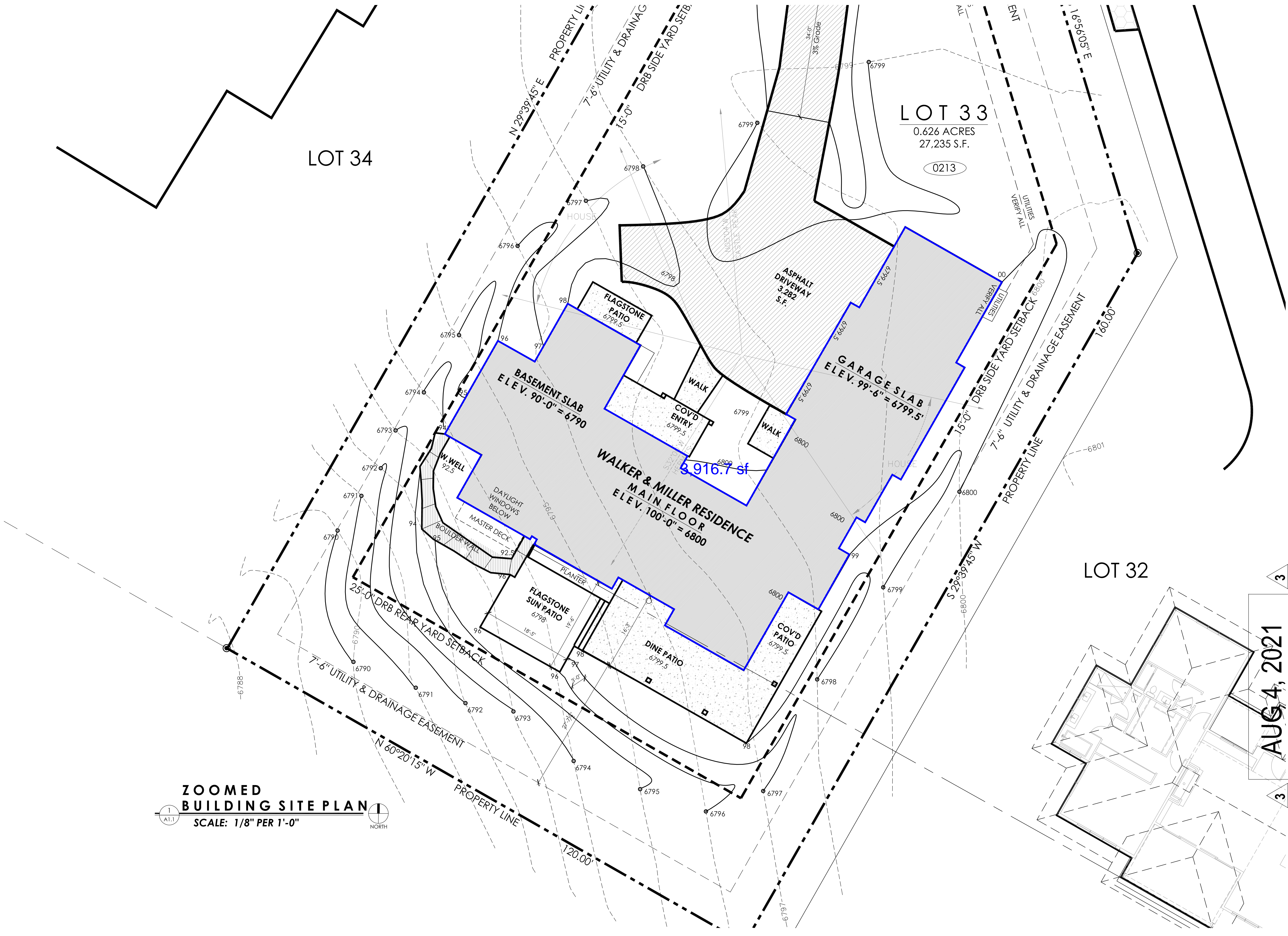


WALKER & MILLER RESIDENCE
0213 HARVESTER COURT / LOT 33
UPLANDS AT EAGLE RANCH, EAGLE, COLORADO 81631

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970.321.3900 WWW.SSTAA.COM

A1.1
OVERALL
SITE PLAN



ZOOMED BUILDING SITE PLAN
SCALE: 1/8" PER 1'-0"
A1.1 NORTH

AUG 4, 2021
DRB TECH/PERMIT 3

PARTIAL SHOWN, DRIVEWAY NEXT



WALKER & MILLER RESIDENCE
 0213 HARVESTER COURT / LOT 33
 UPLANDS AT EAGLE RANCH, EAGLE, COLORADO 81631

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AUG 4, 2021
 DRB TECH/PERMIT 3

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 & CONSTRUCTION INC.
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 1143 CAPITOL STREET, SUITE 211
 EAGLE, COLORADO 81631
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A1.2a
 OVERALL
 LANDSCAPE PLAN

LOT 34

LOT 33

0.626 ACRES
 27,235 S.F.

LOT 32

LANDSCAPE LEGEND

Plant Schedule -Eagle Ranch Uplands

Symbol	Common Name	Scientific Name	Flower	Growth Habit/Height	Exposure	Count	Size
	Colorado Spruce	<i>Picea canadensis</i>	None	21-37'	Sun/Filtered Shade	6	6' H, 12' W
	Flowering Cotonwood	<i>Salix alba</i>	None	11-20'	Sun	1	7' Gd.
	Quaking Aspen	<i>Populus tremula</i>	None	11-20'	Sun	8	2' Gd.
	Native Yellow Penstemon	<i>Penstemon brevis</i>	Yellow	2-7'	Sun	9	3' Gd.
	Redwing Dogwood	<i>Cornus canadensis</i>	White	3-8'	Adaptab.	9	7' Gd.
	Silver Sagebrush	<i>Artemisia can.</i>	Integrifol.	3-6-7'	Sun	5	3' Gd.
	Oral Fawn Sycamore	<i>Sorbus sibirica</i>	White	3-7'	Sun/Filtered Shade	5	3' Gd.
	White Pine	<i>Pinus strobus</i>	None	3-7'	Sun/Filtered Shade	1	3' Gd.
	Mixed Perennials	(80) var.				1 Gd.	18" ac.
	Gravel Cobble on Bark Mulch @ Planter Bed & Drop Edge			AS SHOWN			~520 Sq. Ft.
	SOD & Grasses, Irrigated & Maintained			AS SHOWN			~4,425 Sq. Ft.
	Native Grass-Mix to Match Existing Grasses, Irrigated & Maintained			AS SHOWN			~1,520 Sq. Ft.

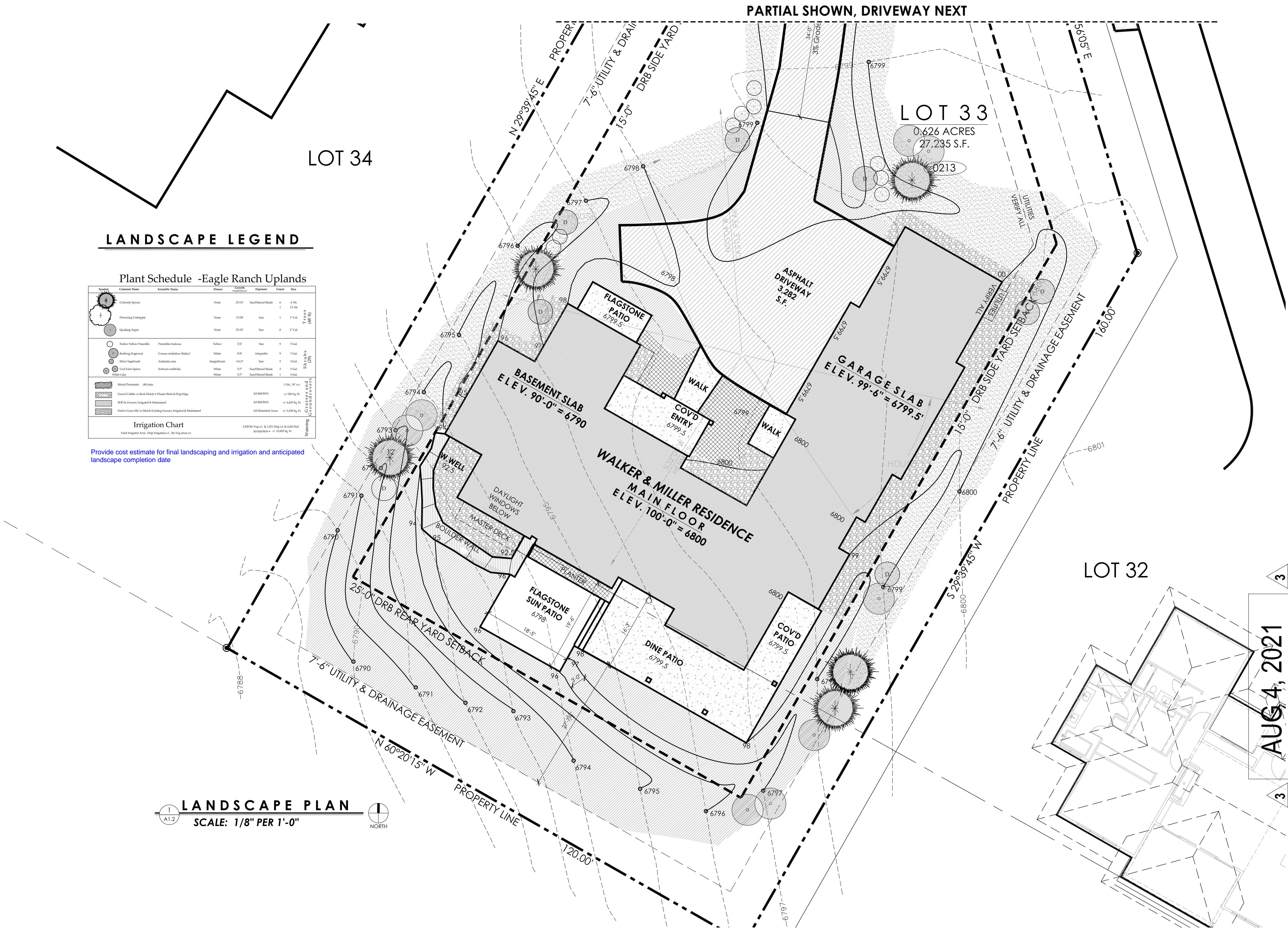
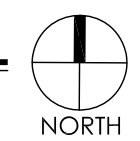
Irrigation Chart

5.280 In-Veg. & 1.211 Drop s.f. & 4.425 Sd
 AS SHOWN ~ 10,915 Sq. Ft.

Provide cost estimate for final landscaping and irrigation and anticipated landscape completion date

LANDSCAPE PLAN

SCALE: 1/8" PER 1'-0"



A1.2



WALKER & MILLER RESIDENCE
 0213 HARVESTER COURT / LOT 33
 UPLANDS AT EAGLE RANCH, EAGLE, COLORADO 81631

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TECH & BID SUBMITTAL 3	AUG 2021

AUG 4, 2021
 DRB TECH/PERMIT 3

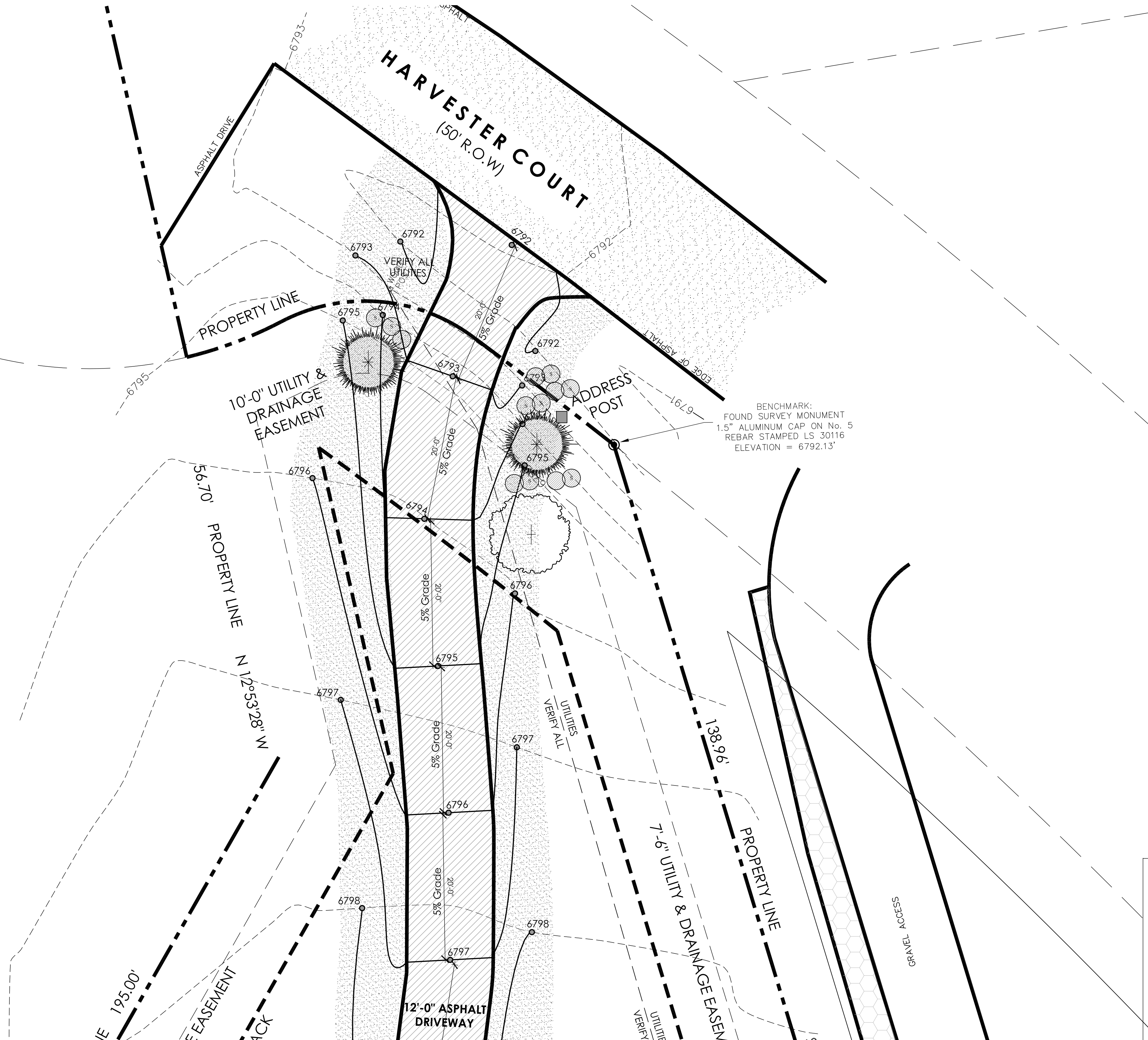
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A1.2b
 OVERALL
 LANDSCAPE PLAN

LANDSCAPE LEGEND

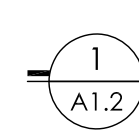
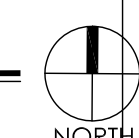
Plant Schedule -Eagle Ranch Uplands

Symbol	Common Name	Scientific Name	Flower	Growth Habit/Height	Exposure	Count	Size	Category
	Colorado Spruce		None	21/37'	Sun/Filtered Shade	6	6' H.	Trees (68' H)
	Flowering Crabapple		None	11/20'	Sun	1	7' Gd.	Trees (68' H)
	Quaking Aspen		None	31/25'	Sun	8	7' Gd.	Trees (68' H)
	Native Yellow Penstemon	Penstemon brevidens	Yellow	2/2'	Sun	9	1' Gd.	Shrubs (25')
	Redwing Dogwood	Cornus canadensis 'Ruby'	White	4/8'	Adaptab.	9	7' Gd.	Shrubs (25')
	Silver Sagebrush	Artemisia cana	Integrifol.	3/6/7'	Sun	5	3' Gd.	Shrubs (25')
	Orchid Yellow Spruce	Salix glauca	White	3/7'	Sun/Filtered Shade	5	3' Gd.	Shrubs (25')
	White Lily		White	3/7'	Sun/Filtered Shade	1	3' Gd.	Shrubs (25')
	Mixed Perennials (80 spec.)						1 Gal. 18" x 6"	Grass/Perennials
	Gravel Cobble on Bark Mulch @ Planter Beds & Drop Edge			AS SHOWN			~ 528 Sq. Ft.	Grass/Perennials
	SOD & Grasses, Irrigated & Maintained			AS SHOWN			~ 4,425 Sq. Ft.	Grass/Perennials
	Native Grass-Mix to Match Existing Grasses, Irrigated & Maintained			AS SHOWN			~ 1,250 Sq. Ft.	Grass/Perennials
Irrigation Chart				5,280 Sq. Ft. @ 1.211 Drip @ 1.442 Gal. AS SHOWN = ~ 10,600 Sq. Ft.				Watering
Total Irrigated Area, Drip Irrigation: ~ 10,600 Sq. Ft.								



PARTIAL SHOWN, HOUSE AREA NEXT

PARTIAL LANDSCAPE PLAN
 SCALE: 1/8" PER 1'-0"





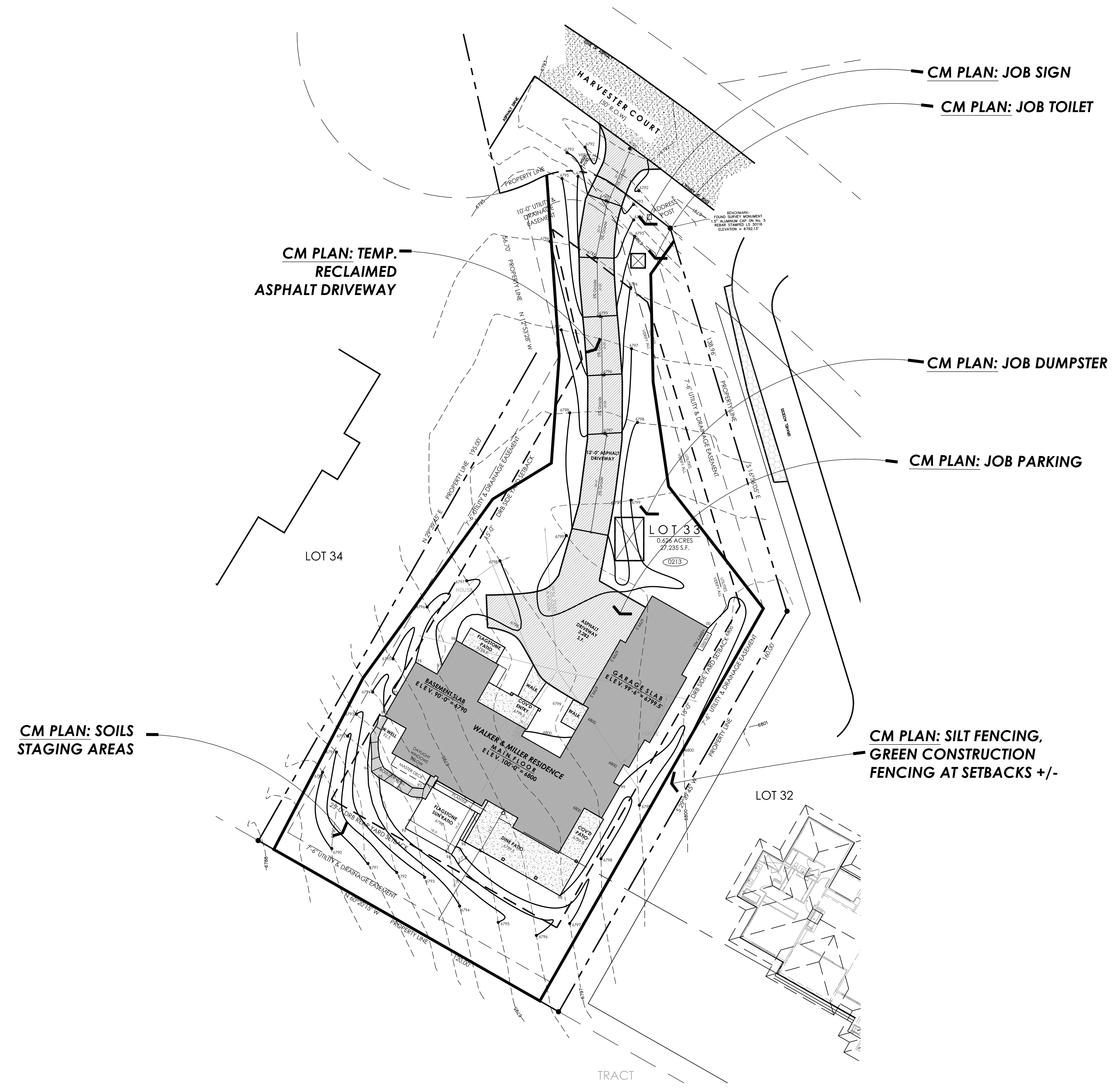
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TECH & BID SUBMITTAL 3	AUG 2021

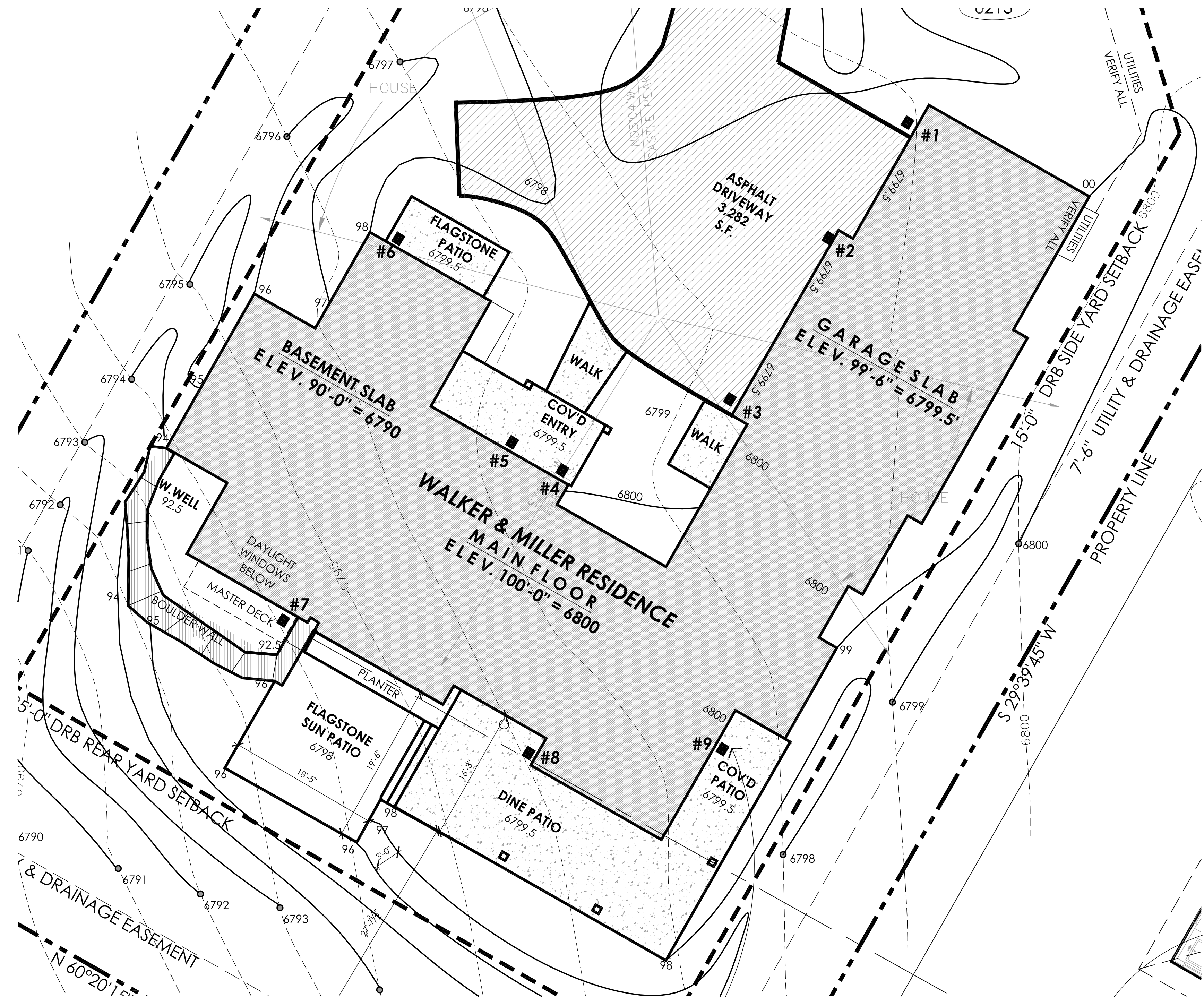
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DRB TECH/PERMIT 3

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A1.3
CONSTR. MNGMT.
PLAN



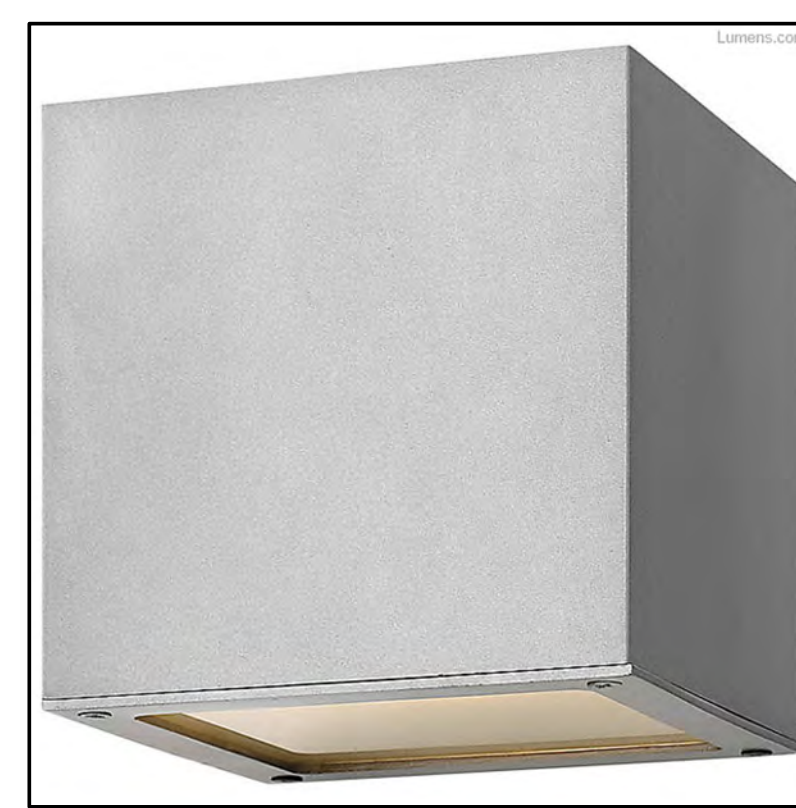
CONSTRUCTION MANAGEMENT PLAN
SCALE: 1" PER 20'-0"
NORTH



EXTERIOR DRB LIGHTING
SCALE: 1/8" PER 1'-0"

*Updated for TECH DRB *
Item 5. IF we use the downlight provided, it is shown to the left of the worksheet, and is simply called a KUBE LED FLUSHMOUNT Fixture

EXTERIOR LIGHTING SPEC
(LOCATIONS) NOT TO SCALE



Kube LED Outdoor Downlight (BLACK FINISH)
The Kube LED Outdoor Flushmount is available with the following:
Details:
Designed in 2017
Material: Extruded aluminum
Shade Material: Etched glass lens
Dimmable When Used With a Electronic low voltage (ELV) Dimmer (Not Included)
Dark Sky compliant, Title 24 compliant
UL Listed Damp. Install indoors or protected, fully covered outdoor areas.
Warranty: 2 year finish warranty and LED components carry a 5-year limited Made In China
Options:
Finish: Bronze, Satin Black, Satin White, Titanium
Lighting:
4-5 Watt (450 Lumens) 120 Volt Integrated LED; CRI: 90 Color Temp: 2700K
Compare Brightness:
VIEW CHART
Dimensions:
Canopy: Diameter 6"
Fixture: Width 6", Height 6", Depth 6", Weight 2Lbs

FINAL LIGHT FIXTURES
IF CHANGED TO BE APPROVED BY DRB
PRIOR TO INSTALLATION

Exterior Lighting Worksheet - Eagle Ranch Design Review
Filing/Block/Lot: LOT 33 UPLANDS Address: 0213 HARVESTER COURT - BRASINGTON RESIDENCE

Luminaire (Fixture) Location	Brand/Model # - Attach Manufacturer Cut Sheet(s)	Luminaire (Fixture) Data		Lamp (Bulb) Data		Watts per Lamp	Lumens per Lamp	Lumens by Luminaire Type		Switch Type ⁵
		Lamp Qty	Luminaire	Lamp Type	Luminaire			Unshielded Luminaire ⁴	IDA Certified Luminaire ⁴	
SEE A1.4	KUBE DOWNLIGHT Kube LED Outdoor Flushmount	9	LED	1	4-5	450				M
Subtotal Lumens by Luminaire Shielding Category (Unshielded or IDA Certified ⁴)								4,050		
Total Lumens all Luminaire Categories (not to exceed 5,500 Lumens)								4,050		

Prepared by: BRENNEN FITZGERALD Date: 4-15-2021
Owner Signature: _____ Date: _____
Print Name: BRENNEN FITZGERALS

Notes:
1. Lamp (Bulb) Type = Incandescent (I), Compact Fluorescent (CFL), Low-voltage Halogen (LV), Light Emitting Diode (LED), etc.
2. Watts as marked on lamp.
3. Lumen comparisons for lamp types. General retail outlets (i.e. grocery, hardware store, etc.) may not carry all wattages. Consider specialty stores or internet sources.

Incandescent		Compact Fluorescent		Lo-Voltage Halogen	
Watts	Lumens	Watts	Lumens	Lamp Base	Lumens
25	200	5	200	G4	25
40	500	8-10	450	G4	140
60	800-890	13-18	890	G4	320
75	1050-1200	18-22	1210	G6V.35	600
100	1420-1750	23-28	1750	G6V.35	850

4. The International Dark-Sky Association (<http://www.darksky.org>) certifies luminaires that minimize glare, reduce light trespass, and don't pollute the night sky.
5. Luminaire Shielding Category is Unshielded, unless specifically certified with International Dark-Sky Association Fixture Seal of Approval.
6. Switch Type = manual (M), motion detector (MD), photocell (P), rheostat (R), timer (T)

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A1.4
EXTERIOR LIGHTING
PLAN



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ARCHITECTURE
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INTERIOR DESIGN
SINCE 1995

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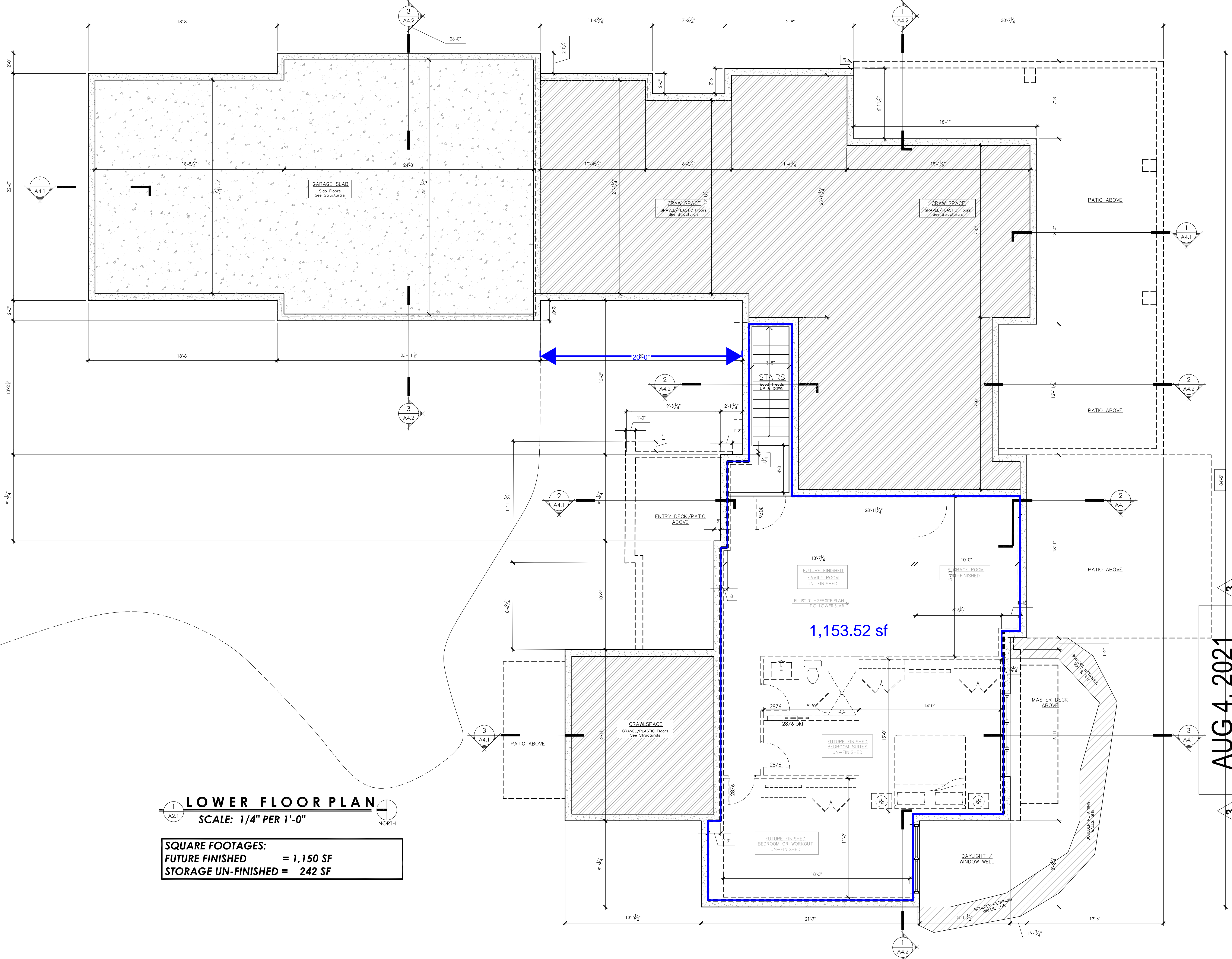


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A2.1
LOWER LEVEL
FLOOR PLAN



1 A2.1 LOWER FLOOR PLAN
SCALE: 1/4" PER 1'-0"
NORTH

SQUARE FOOTAGES:
FUTURE FINISHED = 1,150 SF
STORAGE UN-FINISHED = 242 SF

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CONSTRUCTION
INTERIOR DESIGN
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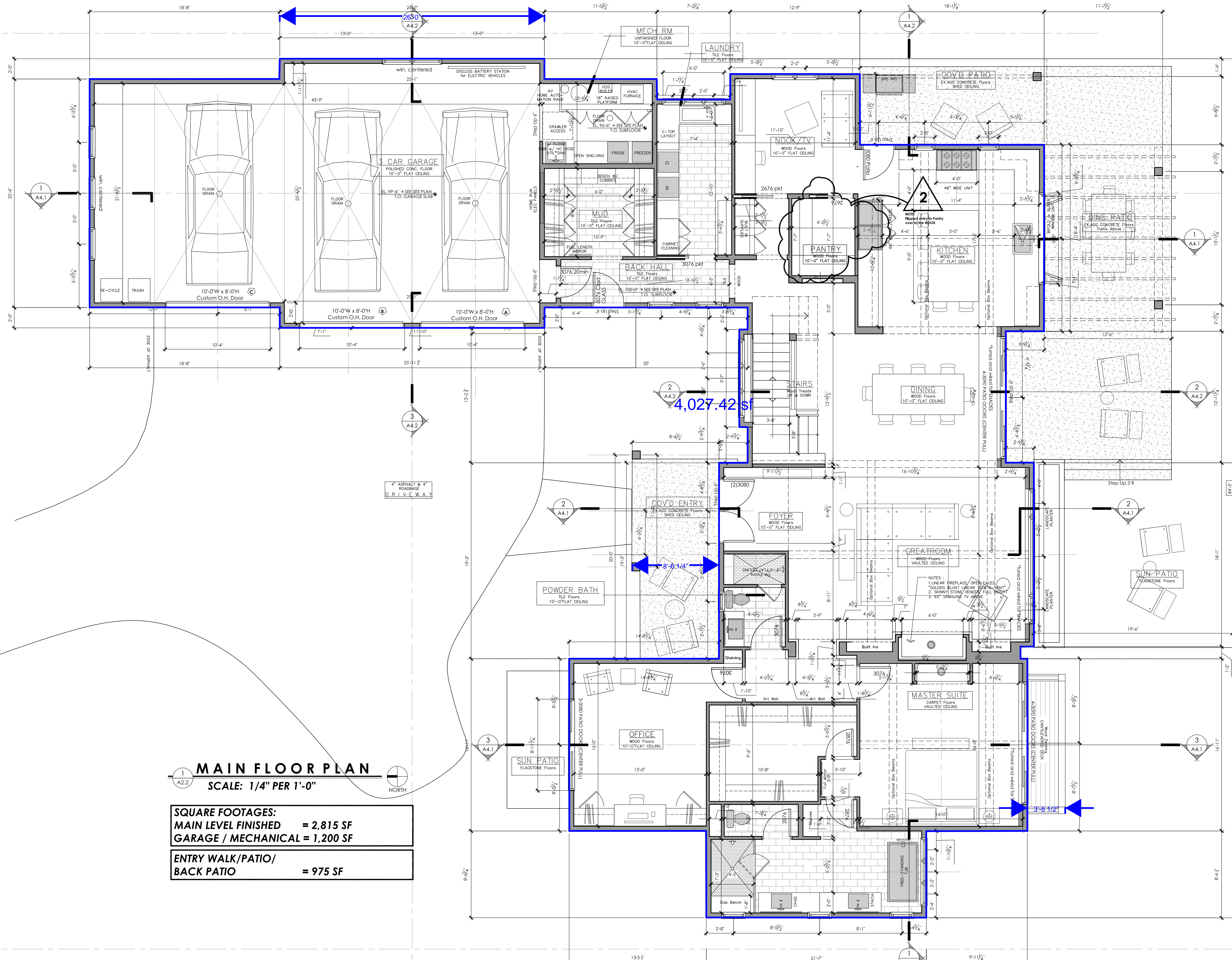
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A2.2
MAIN LEVEL
FLOOR PLAN

AUG 4, 2021
DRB TECH/PERMIT 3



1
A4.2

MAIN FLOOR PLAN
SCALE: 1/4" PER 1'-0"

SQUARE FOOTAGES:
MAIN LEVEL FINISHED = 2,815 SF
GARAGE / MECHANICAL = 1,200 SF

**ENTRY WALK/PATIO/
BACK PATIO = 975 SF**

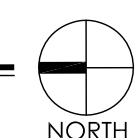
4,027.42 SF

8'-6 1/4"

3

3

4" ASPHALT & 4" ROADBASE
D.R.I.V.E.W.A.Y





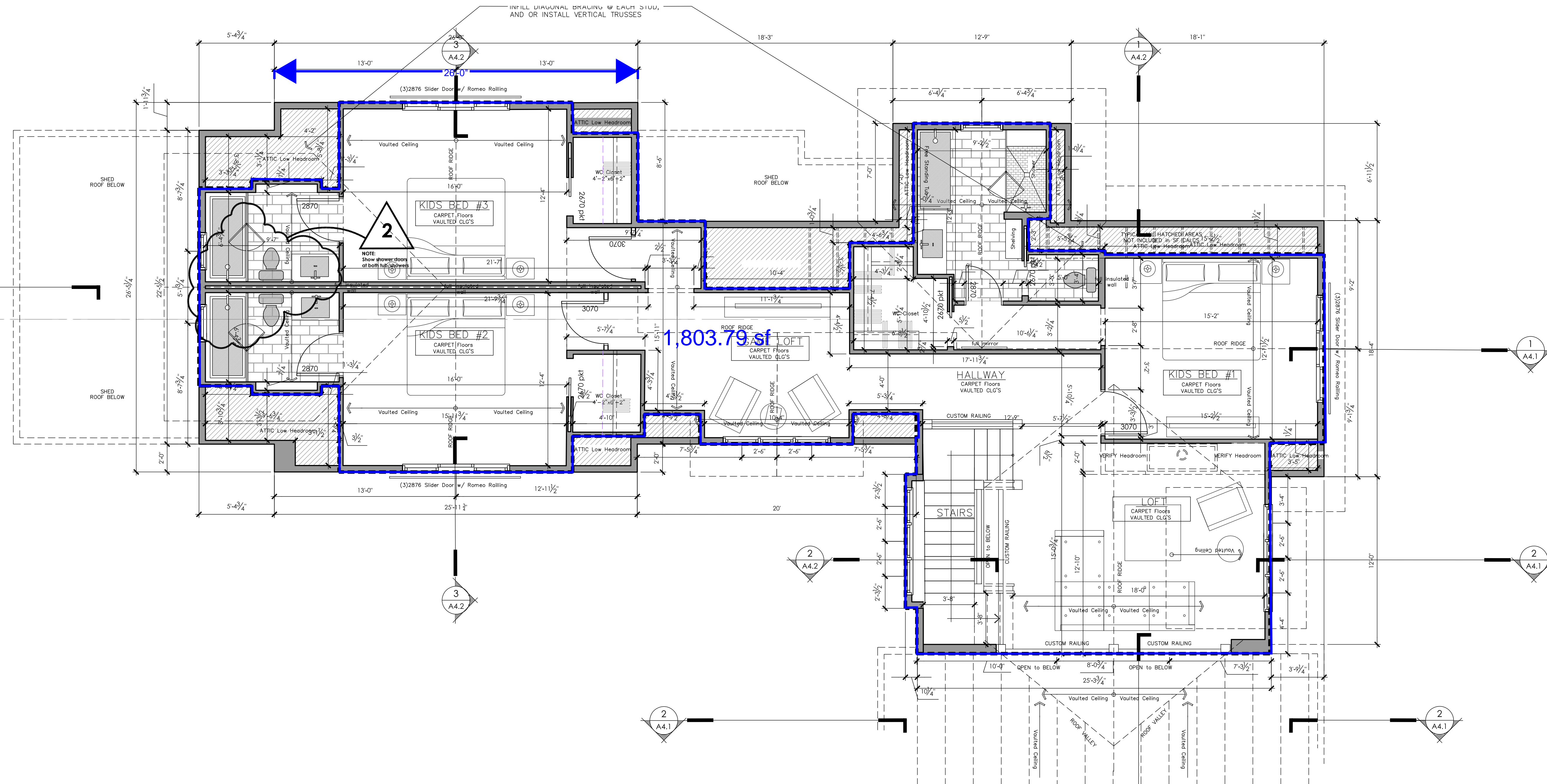
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0213 HARVESTER COURT / LOT 33
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A2.3
UPPER LEVEL
FLOOR PLAN



1.803.79 sf

UPPER FLOOR PLAN
SCALE: 1/4" PER 1'-0"
SQUARE FOOTAGES:
UPPER LEVEL FINISHED = 1,585 SF

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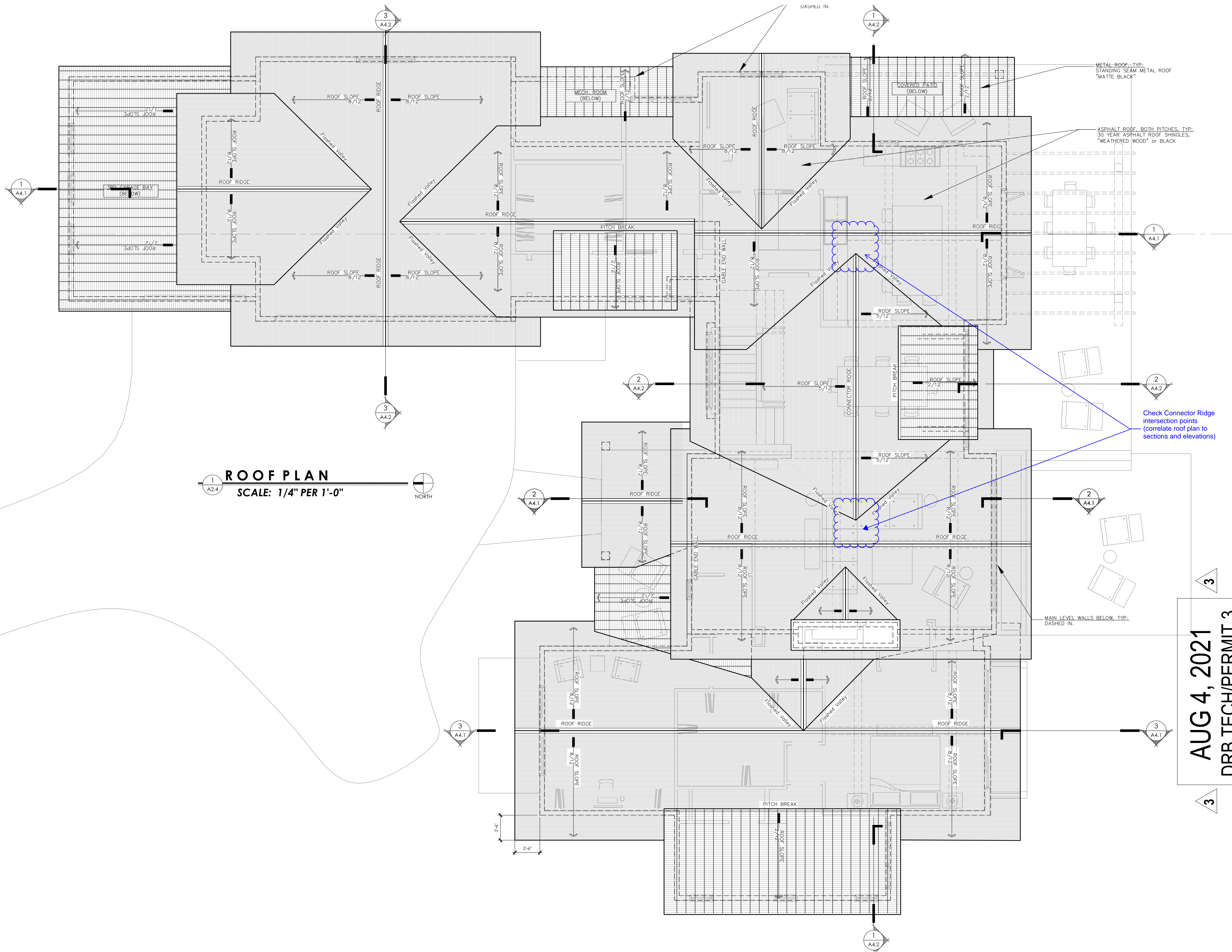


WALKER & MILLER RESIDENCE
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A2.4
 ROOF
 LEVEL PLAN



ROOF PLAN
 SCALE: 1/4" PER 1'-0"
 NORTH

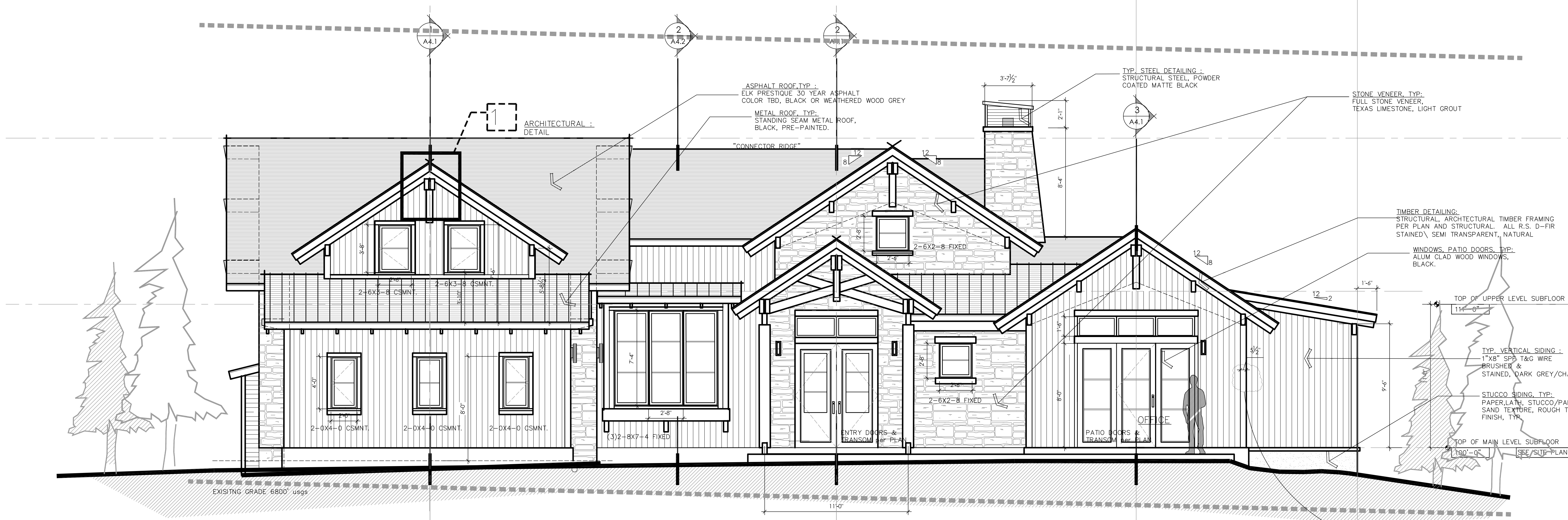
Check Connector Ridge
 intersection points
 (correlate roof plan to
 sections and elevations)

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 DRB TECH/PERMIT 3



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NORTH / ENTRY ELEVATION
SCALE: 1/4" PER 1'-0"

***Updated for TECH DRB ***
Item 2. If we use the siding product i proposed, we would use a 2x6 Corner Board, stained the same color as shown on the Elevations from the beginning of this process .

***Updated for TECH DRB ***
Item 1. Faux Rafter are at 32" Max, this helps to make sure the Rafter break on an 8'-0" increment in case the owners would like to switch to a plywood type soffit product and cover the seam between sheets.

***Updated for TECH DRB ***
Item 2. If we use the product i proposed, we would use a .

AUG 4, 2021
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WEST ELEVATION
SCALE: 1/4" PER 1'-0"

***Updated for TECH DRB ***
Item 4. Basement Slab @ 90'-0" (ALL)

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A3.1
OVERALL LOOK & BUILDING STYLE



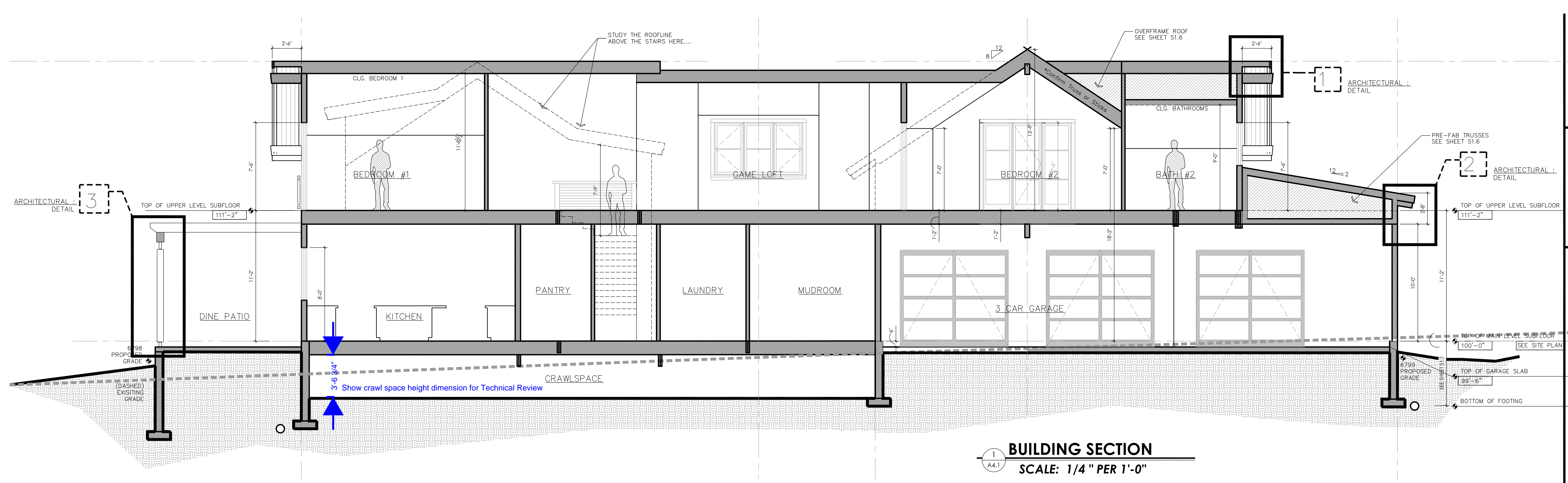
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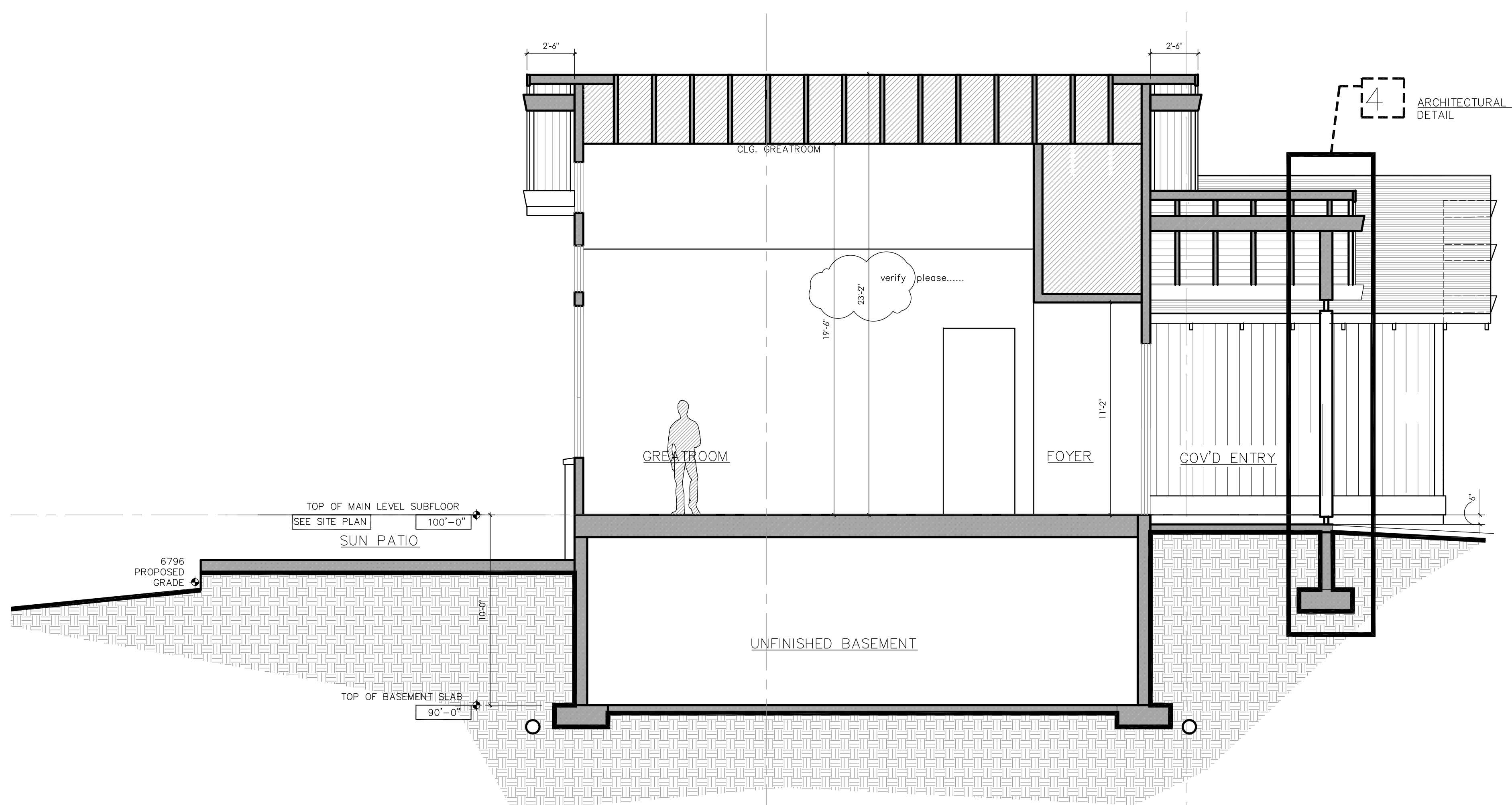
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A4.1
 BUILDING SECTIONS



BUILDING SECTION
 SCALE: 1/4" PER 1'-0"



BUILDING SECTION
 SCALE: 1/4" PER 1'-0"

3

3



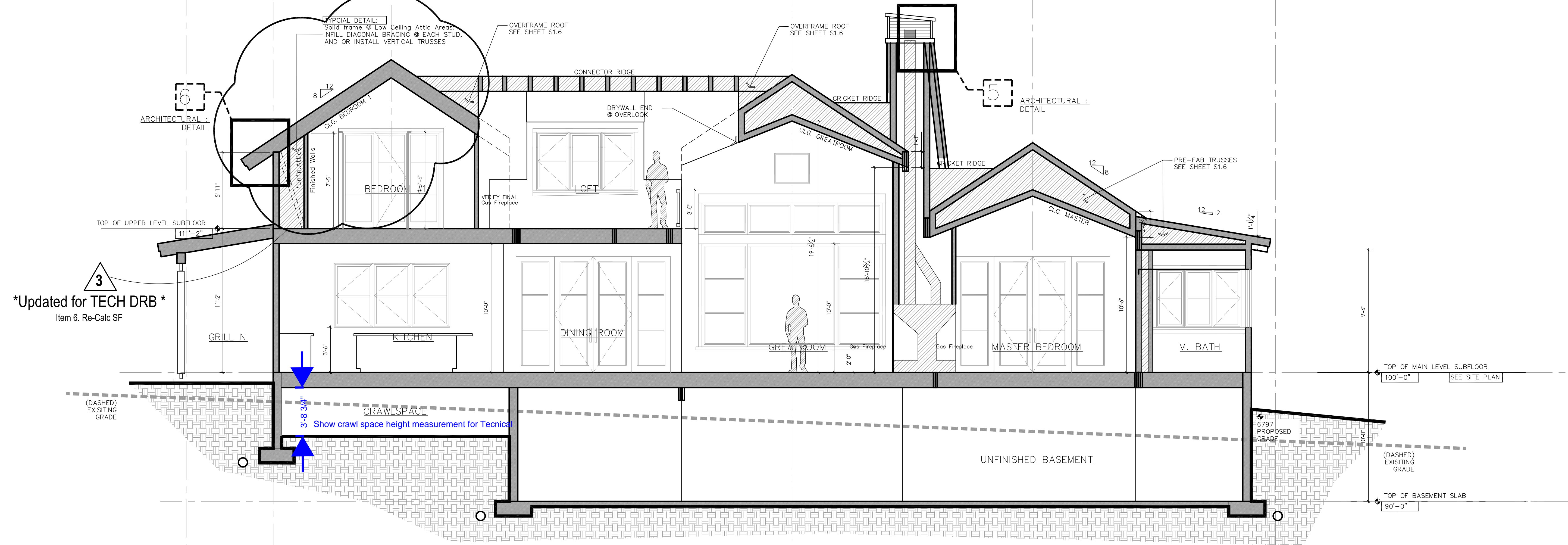
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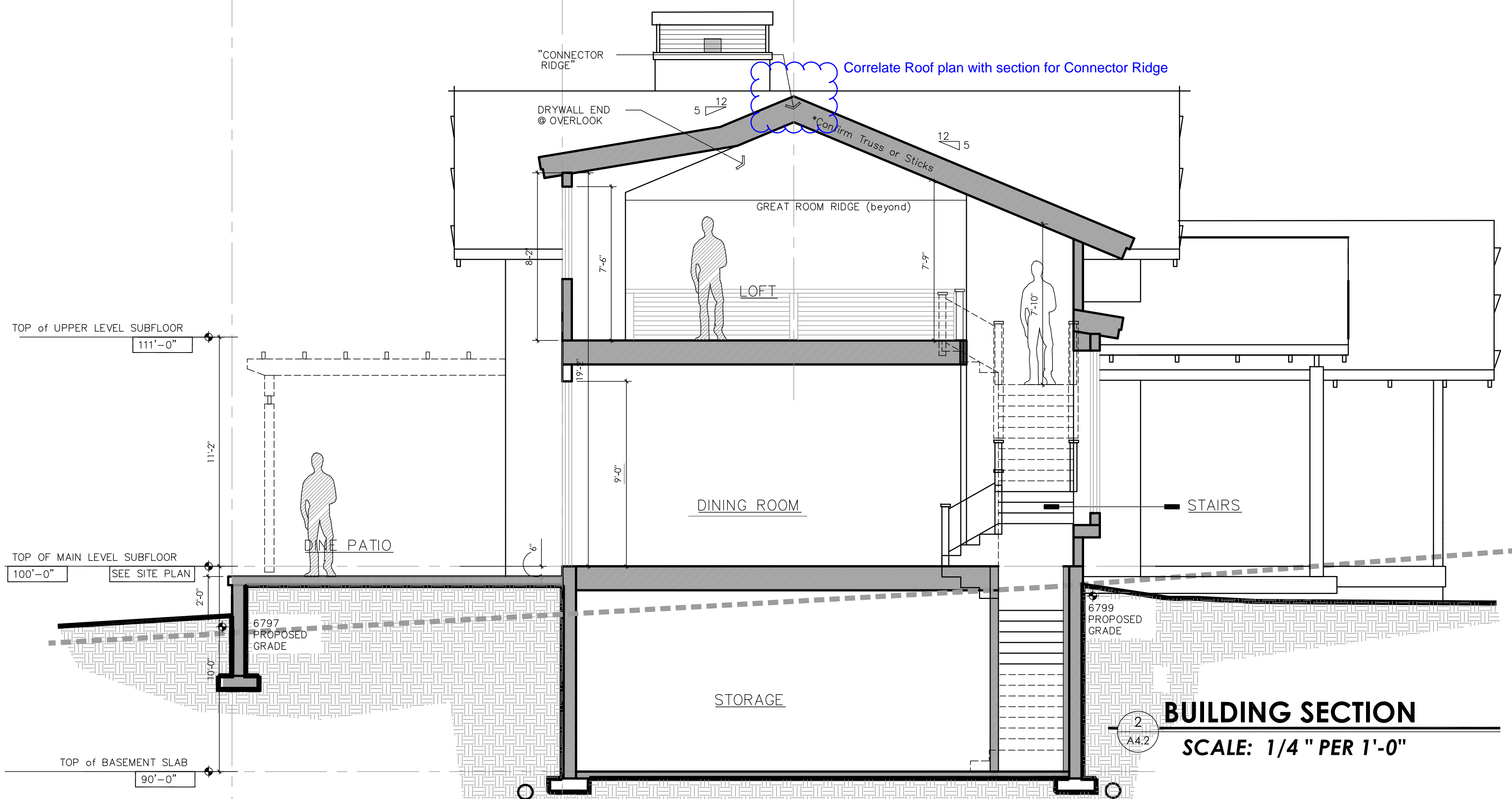
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A4.2
BUILDING
SECTIONS

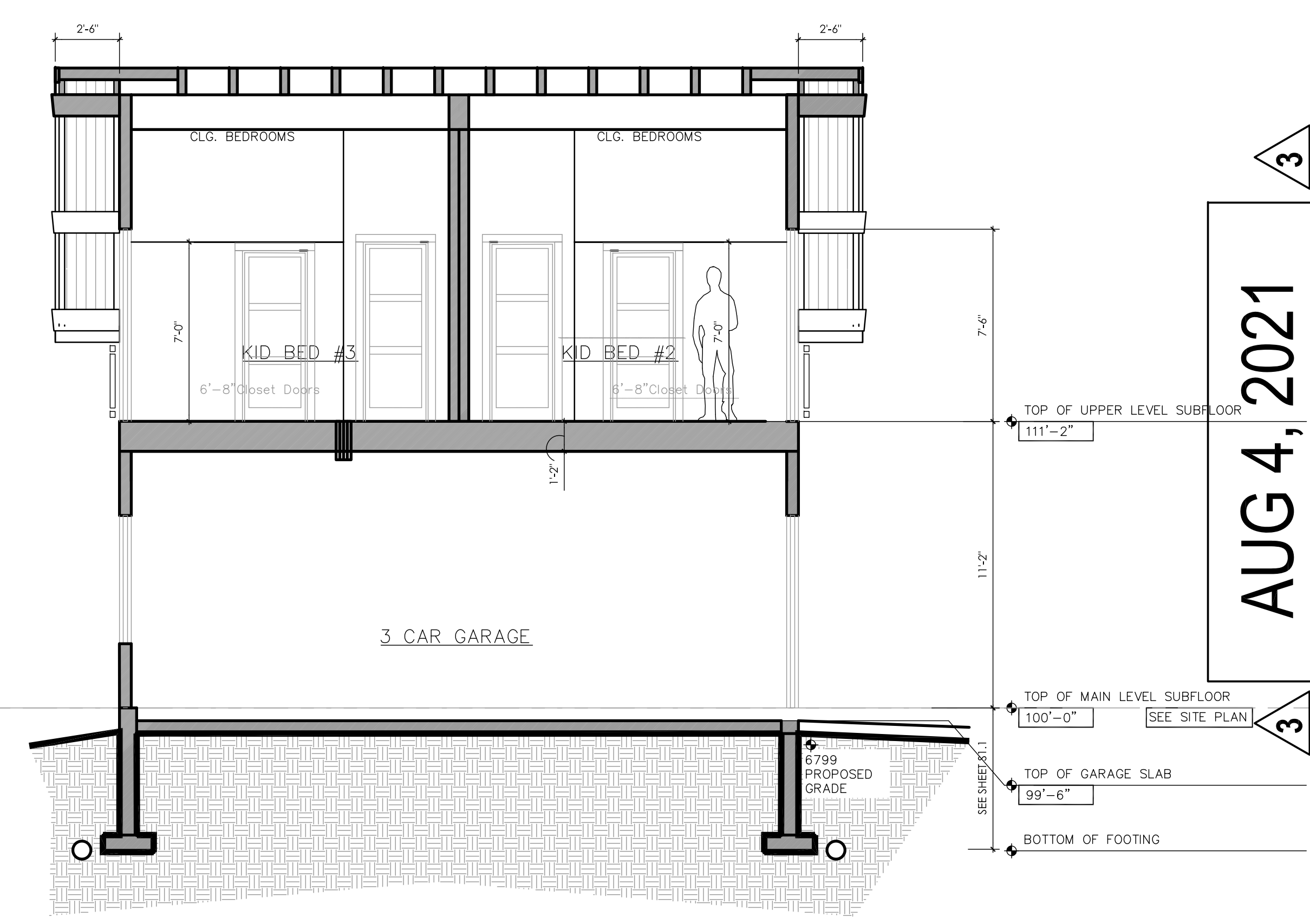


3
*Updated for TECH DRB *
Item 6. Re-Calc SF

1
A4.2 **BUILDING SECTION**
SCALE: 1/4" PER 1'-0"



2
A4.2 **BUILDING SECTION**
SCALE: 1/4" PER 1'-0"



3
A4.2 **BUILDING SECTION**
SCALE: 1/4" PER 1'-0"

3
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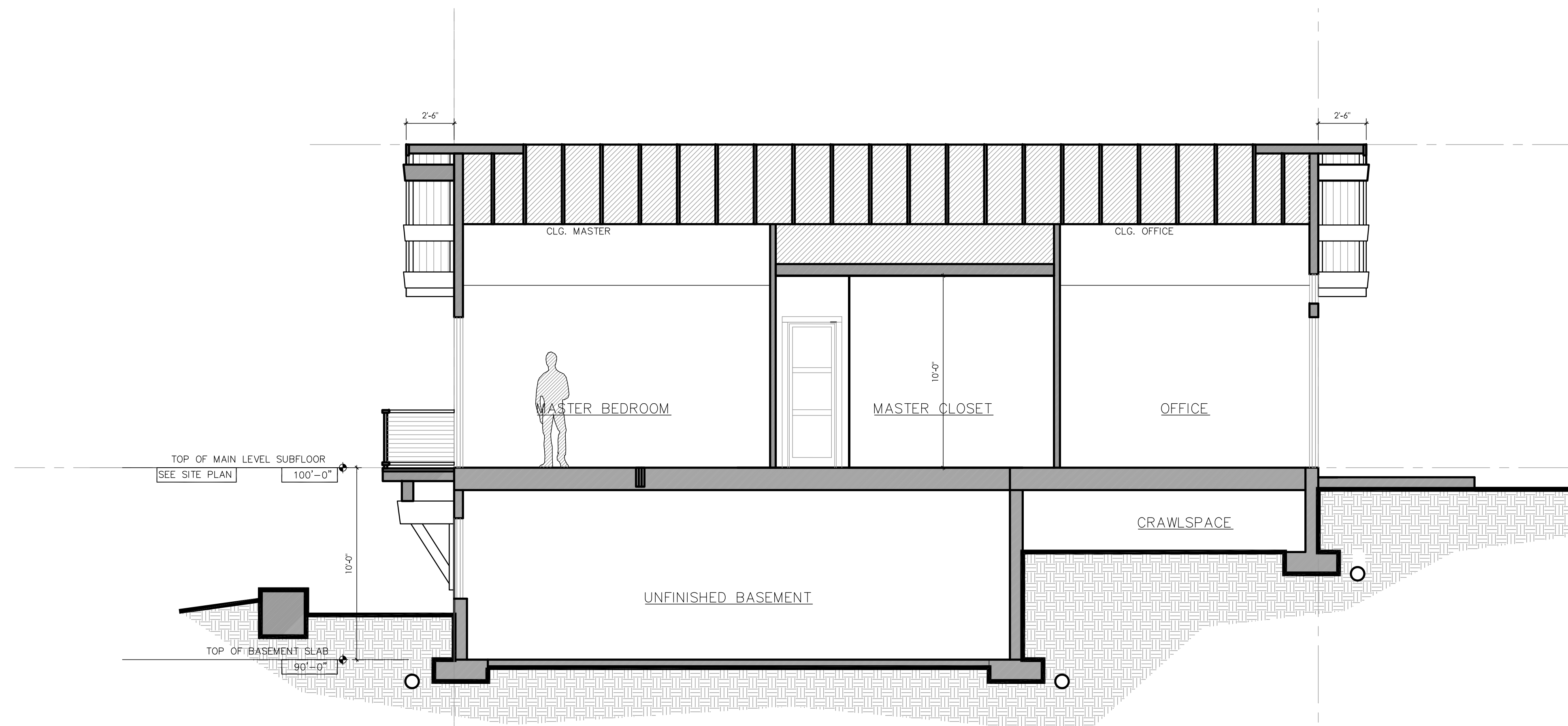
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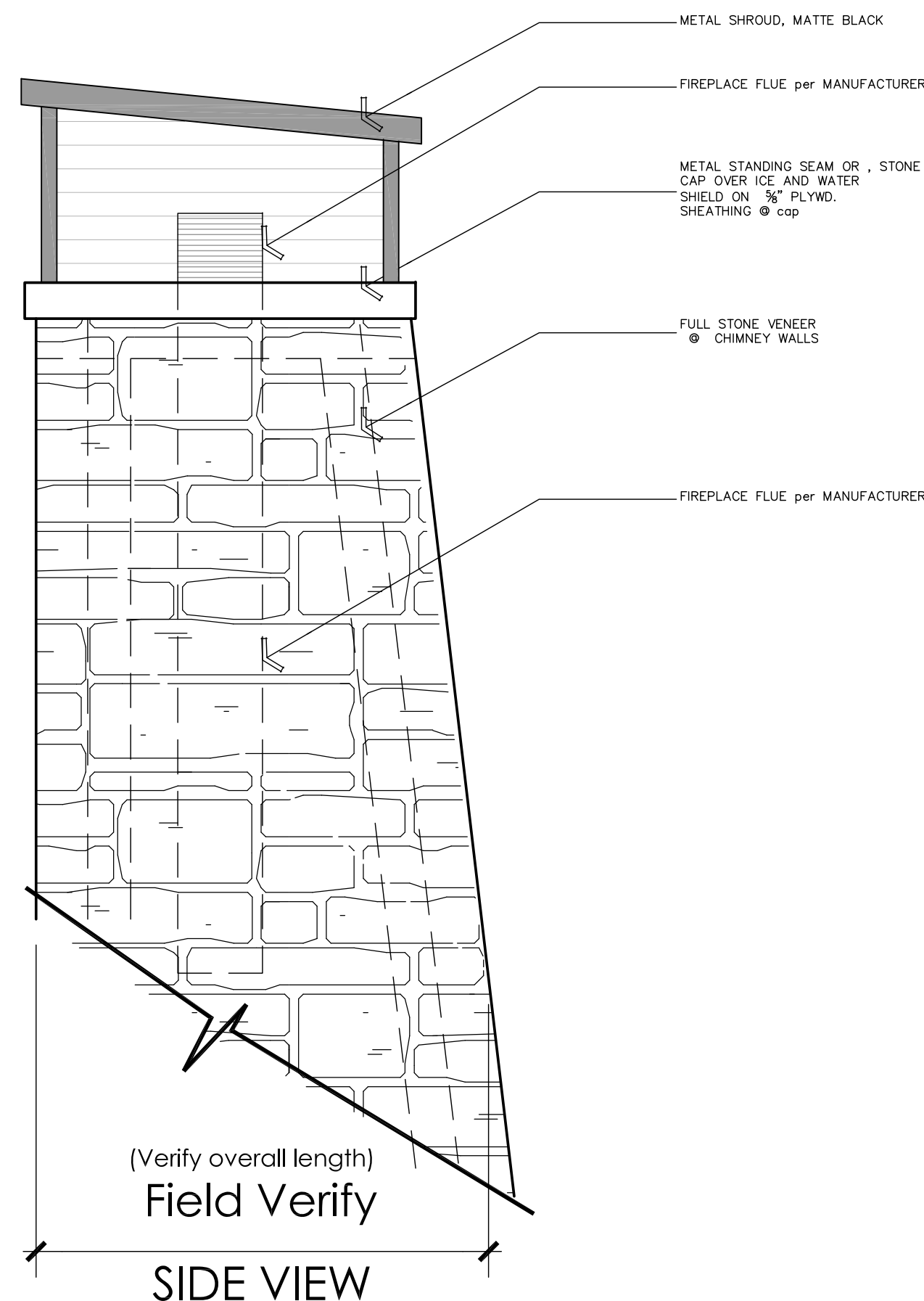
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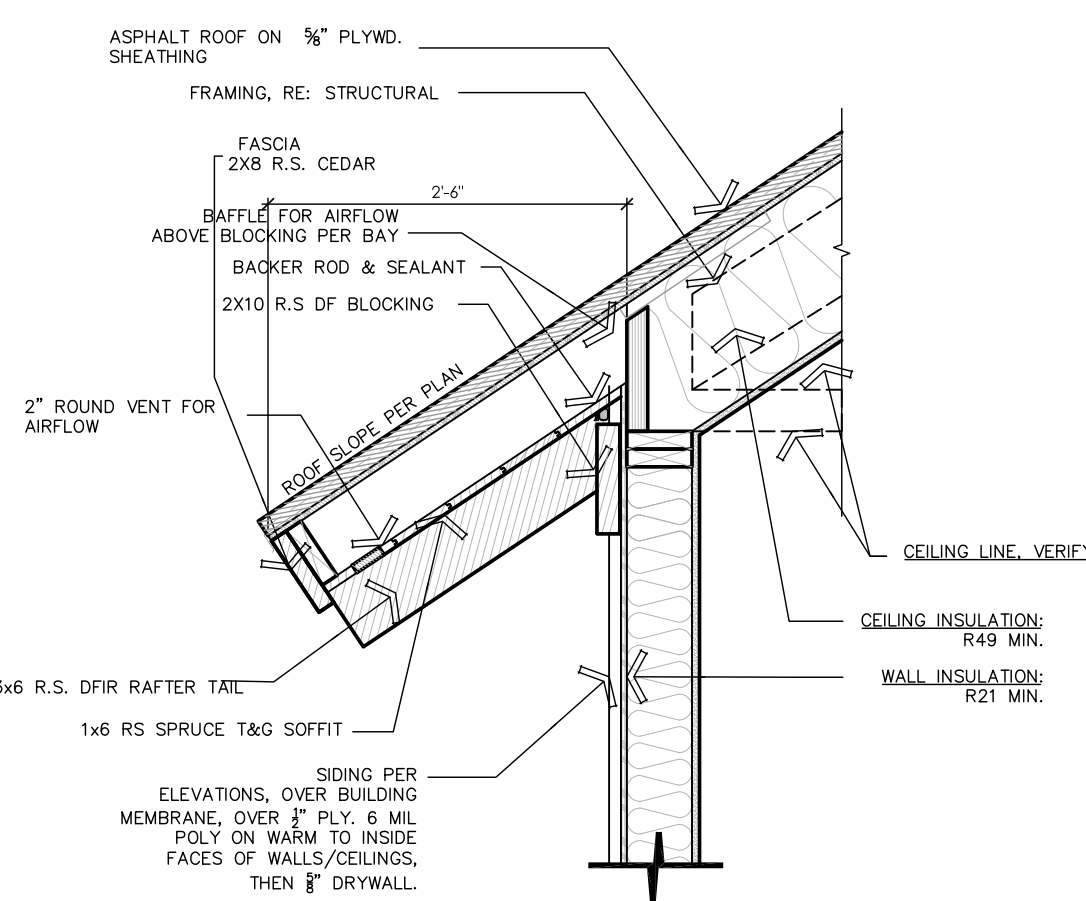
A4.3
 BUILDING
 SECTIONS



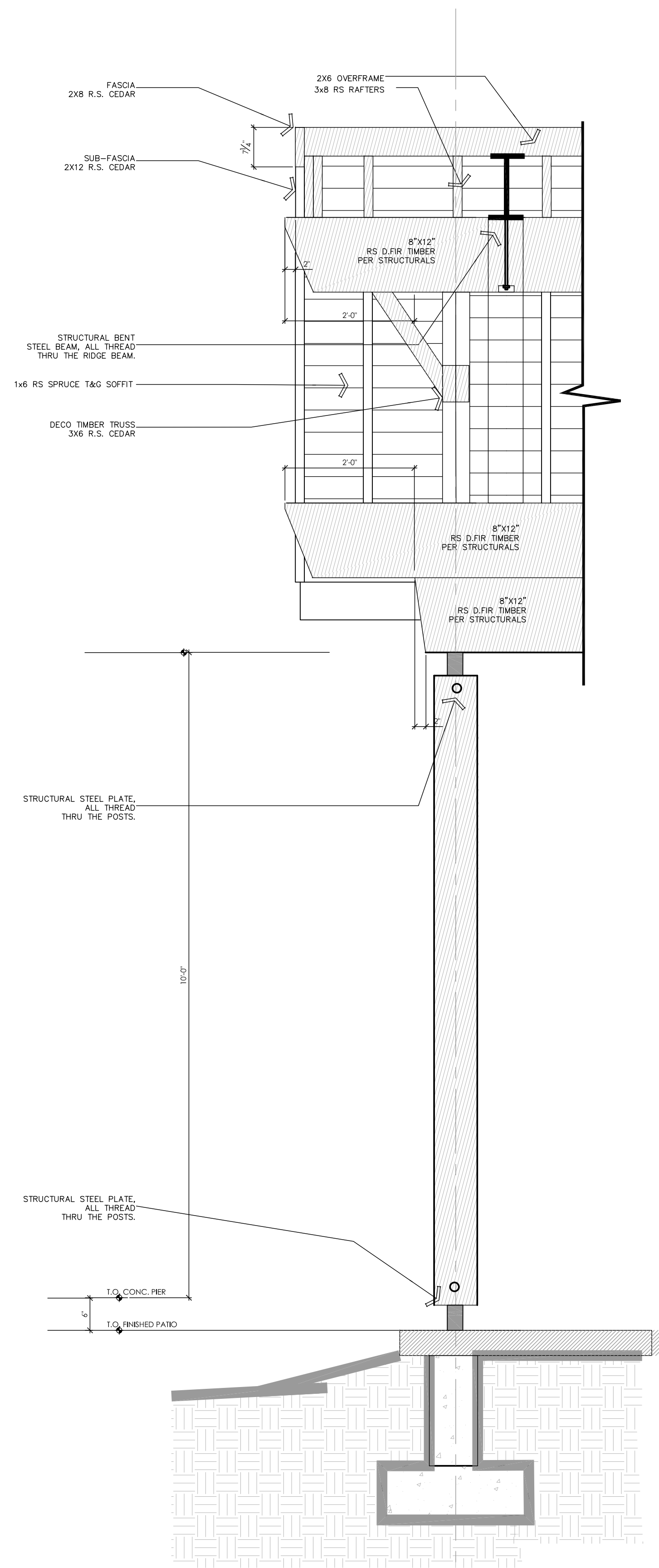
BUILDING SECTION
 SCALE: 1/4" PER 1'-0"



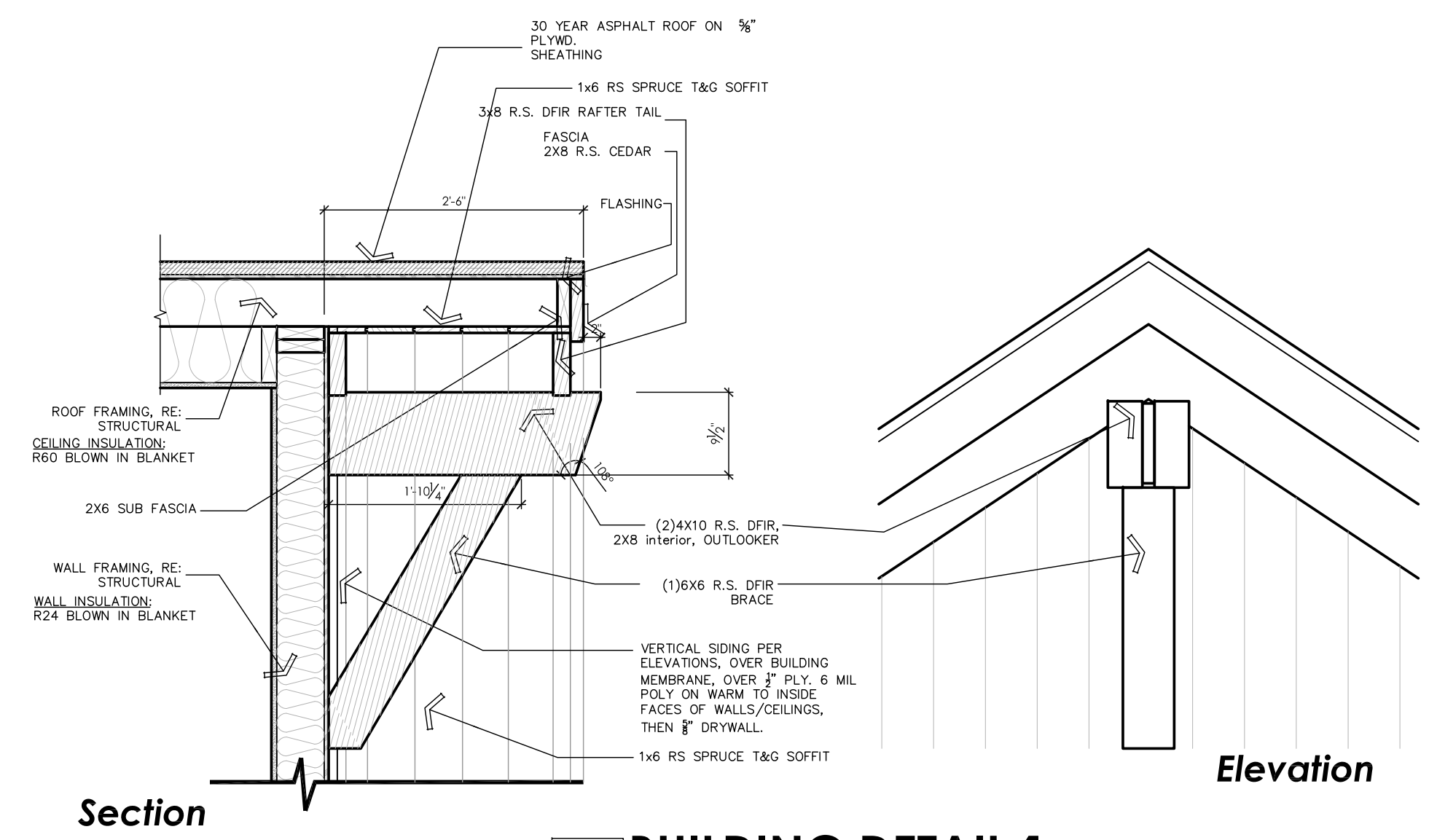
5 BUILDING DETAIL 5
SCALE: 3/4" PER 1'-0"



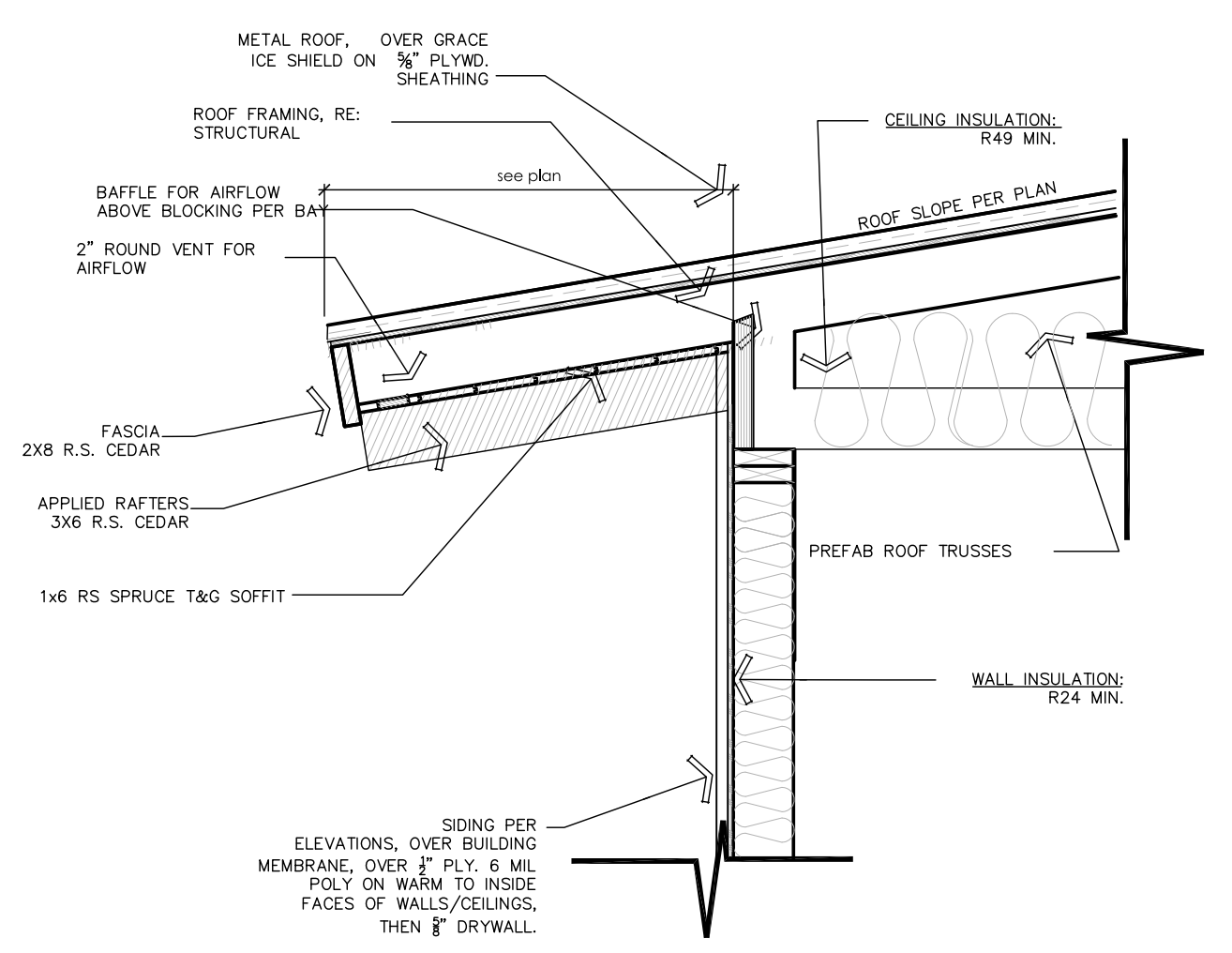
6 BUILDING DETAIL 6
SCALE: 3/4" PER 1'-0"



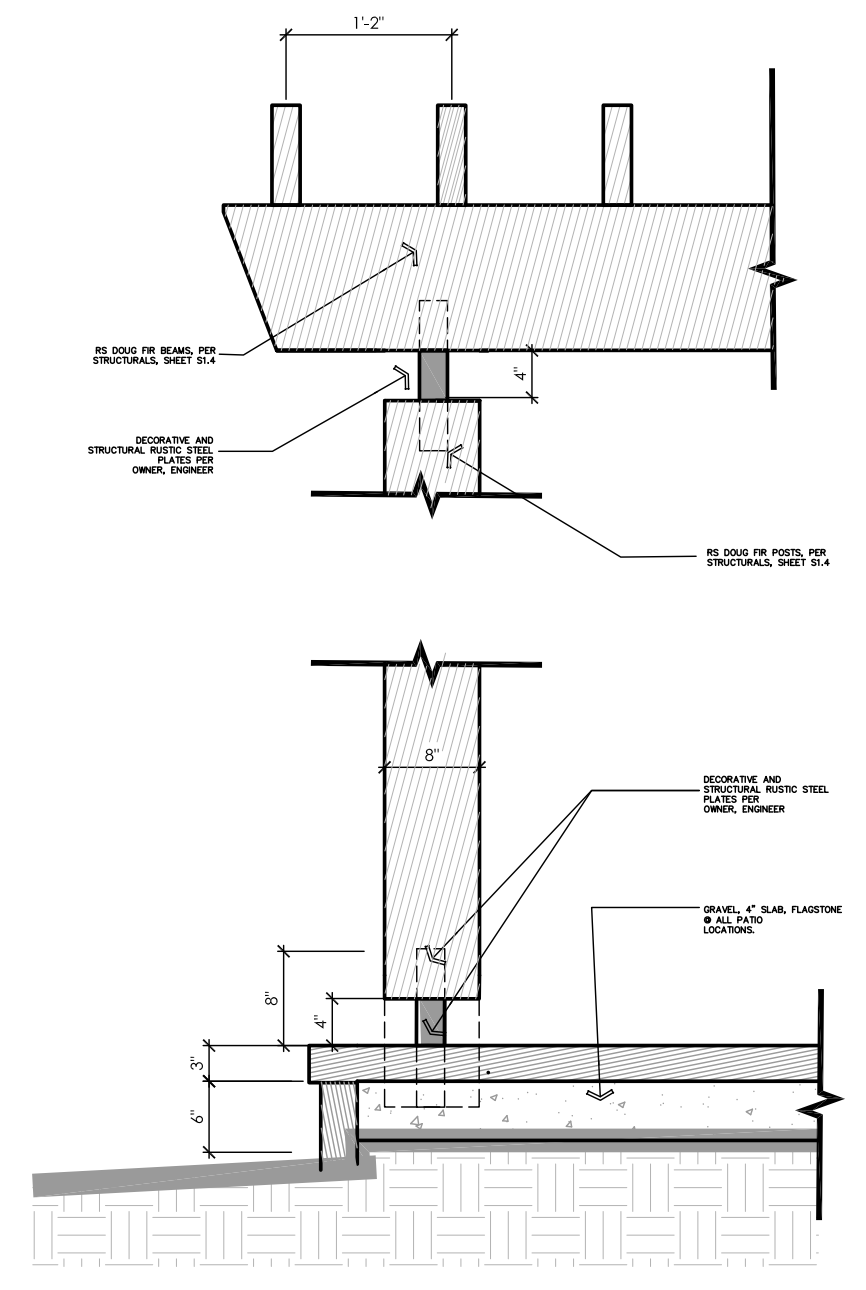
4 BUILDING DETAIL 4
SCALE: 3/4" PER 1'-0"



1 BUILDING DETAIL 1
SCALE: 3/4" PER 1'-0"



2 BUILDING DETAIL 2
SCALE: 3/4" PER 1'-0"



3 BUILDING DETAIL 3
SCALE: 3/4" PER 1'-0"



TURNIPSEED
ARCHITECTURE
CONSTRUCTION
INTERIOR DESIGN
SINCE 1995

WALKER & MILLER RESIDENCE
0213 HARVESTER COURT / LOT 33
UPLANDS AT EAGLE RANCH, EAGLE, COLORADO 81631

AUG 4, 2021
DRB TECH/PERMIT 3

ISSUE:	DATE:
DRB PRE-DESIGN	FEB 2020
PRELIM SUBMITTAL	MAR 2020
FINAL SUBMITTAL	APRIL 2021
TECH & BID SUBMITTAL	MAY 2021
TECH & BID SUBMITTAL 2	JULY 2021
TECH & BID SUBMITTAL 3	AUG 2021

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A5.1
BUILDING
DETAILING



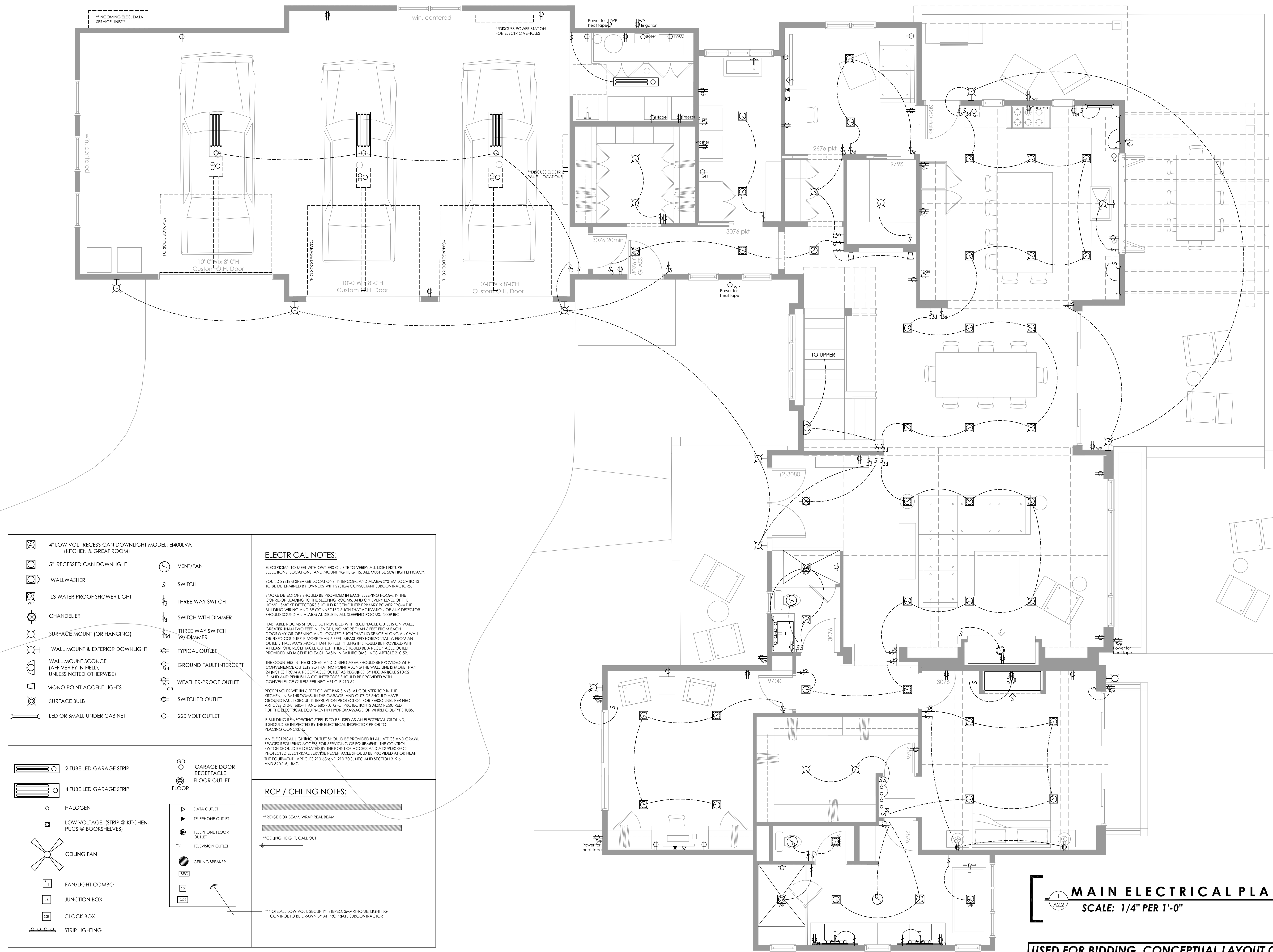
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E2.2
RESIDENCE MAIN FLOOR
ELECTRICAL



ELECTRICAL NOTES:

ELECTRICIAN TO MEET WITH OWNERS ON SITE TO VERIFY ALL LIGHT FIXTURE SELECTIONS, LOCATIONS, AND MOUNTING HEIGHTS. ALL MUST BE 50% HIGH EFFICACY. SOUND SYSTEM SPEAKER LOCATIONS, INTERCOM, AND ALARM SYSTEM LOCATIONS TO BE DETERMINED BY OWNERS WITH SYSTEM CONSULTANT SUBCONTRACTORS.

SMOKE DETECTORS SHOULD BE PROVIDED IN EACH SLEEPING ROOM IN THE CORRIDOR LEADING TO THE SLEEPING ROOMS, AND ON EVERY LEVEL OF THE HOME. SMOKE DETECTORS SHOULD RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND BE CONNECTED SUCH THAT ACTIVATION OF ANY DETECTOR SHOULD SOUND AN ALARM AUDIBLE IN ALL SLEEPING ROOMS. 2009 IBC.

HABITABLE ROOMS SHOULD BE PROVIDED WITH RECEPTACLE OUTLETS ON WALLS GREATER THAN TWO FEET IN LENGTH, NO MORE THAN 6 FEET FROM EACH DOORWAY OR DRINKING AND LOCATED SUCH THAT NO SPACE ALONG ANY WALL OR FIXED COUNTER IS MORE THAN 6 FEET, MEASURED HORIZONTALLY, FROM AN OUTLET. HALLWAYS MORE THAN 10 FEET IN LENGTH SHOULD BE PROVIDED WITH AT LEAST ONE RECEPTACLE OUTLET. THERE SHOULD BE A RECEPTACLE OUTLET PROVIDED ADJACENT TO EACH BATH IN BATHROOMS. NEC ARTICLE 210-52.

THE COUNTERTOPS IN THE KITCHEN AND DINING AREA SHOULD BE PROVIDED WITH CONVENIENCE OUTLETS SO THAT NO POINT ALONG THE WALL LINE IS MORE THAN 24 INCHES FROM A RECEPTACLE OUTLET AS REQUIRED BY NEC ARTICLE 210-52. REAR AND PENINSULA COUNTER TOPS SHOULD BE PROVIDED WITH CONVENIENCE OUTLETS PER NEC ARTICLE 210-52.

RECEPTACLES WITHIN 6 FEET OF WET BAR SINKS, AT COUNTER TOP IN THE KITCHEN, IN BATHROOMS, IN THE GARAGE, AND OUTSIDE SHOULD HAVE GROUND FAULT CIRCUIT INTERRUPTION PROTECTION FOR PERSONNEL PER NEC ARTICLES 210-8, 480-41 AND 480-70. GFCI PROTECTION IS ALSO REQUIRED FOR THE ELECTRICAL EQUIPMENT IN HYDROMASSAGE OR WIREROCK TYPE TUBS.

IF BUILDING REINFORCING STEEL IS TO BE USED AS AN ELECTRICAL GROUND, IT SHOULD BE INSPECTED BY THE ELECTRICAL INSPECTOR PRIOR TO PLACING CONCRETE.

AN ELECTRICAL LIGHTING OUTLET SHOULD BE PROVIDED IN ALL ATTICS AND CRAWL SPACES REQUIRING ACCESS FOR SERVICING OF EQUIPMENT. THE CONTROL SWITCH SHOULD BE LOCATED BY THE POINT OF ACCESS AND A DUPLEX GFCI-PROTECTED ELECTRICAL SERVICE RECEPTACLE SHOULD BE PROVIDED AT OR NEAR THE EQUIPMENT. ARTICLES 210-43 AND 210-70C, NEC AND SECTION 319.9 AND 320.1.5, IWC.

RCP / CEILING NOTES:

**BRIDGE BOX BEAM, WRAP REAL BEAM

**CEILING HEIGHT, CALL OUT

*NOTE ALL LOW VOLT, SECURITY, STEREO, SMARTHOME, LIGHTING CONTROL TO BE DRAWN BY APPROPRIATE SUBCONTRACTOR

LEGEND:

- 4" LOW VOLT RECESS CAN DOWNLIGHT MODEL: B400LVAT (KITCHEN & GREAT ROOM)
- 5" RECESSED CAN DOWNLIGHT
- WALL WASHER
- I3 WATER PROOF SHOWER LIGHT
- CHANDELLER
- SURFACE MOUNT (OR HANGING)
- WALL MOUNT & EXTERIOR DOWNLIGHT
- WALL MOUNT SCONCE (AFF VERIFY IN FIELD, UNLESS NOTED OTHERWISE)
- MONO POINT ACCENT LIGHTS
- SURFACE BULB
- LED OR SMALL UNDER CABINET
- 2 TUBE LED GARAGE STRIP
- 4 TUBE LED GARAGE STRIP
- HALOGEN
- LOW VOLTAGE (STRIP @ KITCHEN, PLUGS @ BOOKSHELVES)
- CEILING FAN
- FAN/LIGHT COMBO
- JUNCTION BOX
- CLOCK BOX
- STRIP LIGHTING
- VENT/FAN
- SWITCH
- THREE WAY SWITCH
- SWITCH WITH DIMMER
- THREE WAY SWITCH W/ DIMMER
- TYPICAL OUTLET
- GROUND FAULT INTERCEPT
- WEATHER-PROOF OUTLET
- SWITCHED OUTLET
- 220 VOLT OUTLET
- GD GARAGE DOOR RECEPTACLE FLOOR OUTLET
- FLOOR
- DATA OUTLET
- TELEPHONE OUTLET
- TELEPHONE FLOOR OUTLET
- TELEVISION OUTLET
- CEILING SPEAKER

1
A2.2 **MAIN ELECTRICAL PLAN**
SCALE: 1/4" PER 1'-0"

USED FOR BIDDING, CONCEPTUAL LAYOUT ONLY



WALKER & MILLER RESIDENCE
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 UPLANDS AT EAGLE RANCH, EAGLE, COLORADO 81631

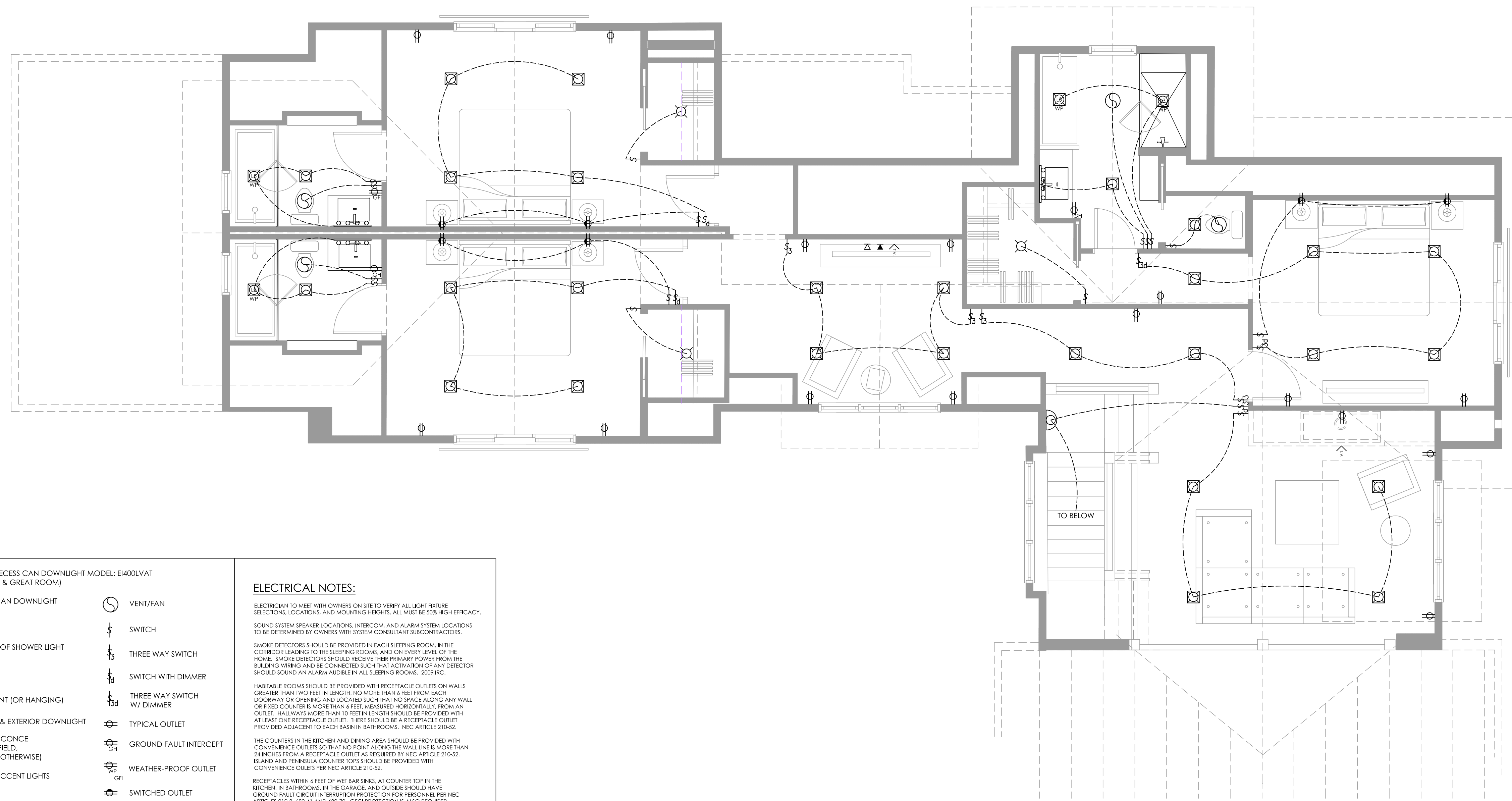
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E2.3
 RESIDENCE UPPER FLOOR
 ELECTRICAL

TYPICAL DETAIL:
 Solid Frame @ Low Ceiling Attic Areas;
 INFILL DIAGONAL BRACING @ EACH STUD,
 AND OR INSTALL VERTICAL TRUSSES



<ul style="list-style-type: none"> 4" LOW VOLT RECESS CAN DOWNLIGHT MODEL: B400LVAT (KITCHEN & GREAT ROOM) 5" RECESSED CAN DOWNLIGHT WALLWASHER L3 WATER PROOF SHOWER LIGHT CHANDELLER SURFACE MOUNT (OR HANGING) WALL MOUNT & EXTERIOR DOWNLIGHT WALL MOUNT SCONCE (AFF VERIFY IN FIELD, UNLESS NOTED OTHERWISE) MONO POINT ACCENT LIGHTS SURFACE BULB LED OR SMALL UNDER CABINET 	<ul style="list-style-type: none"> VENT/FAN SWITCH THREE WAY SWITCH SWITCH WITH DIMMER THREE WAY SWITCH W/ DIMMER TYPICAL OUTLET GROUND FAULT INTERCEPT WEATHER-PROOF OUTLET SWITCHED OUTLET 220 VOLT OUTLET 	<p>ELECTRICAL NOTES:</p> <p>ELECTRICIAN TO MEET WITH OWNERS ON SITE TO VERIFY ALL LIGHT FIXTURE SELECTIONS, LOCATIONS, AND MOUNTING HEIGHTS. ALL MUST BE 50% HIGH EFFICACY. SOUND SYSTEM SPEAKER LOCATIONS, INTERCOM, AND ALARM SYSTEM LOCATIONS TO BE DETERMINED BY OWNERS WITH SYSTEM CONSULTANT SUBCONTRACTORS.</p> <p>SMOKE DETECTORS SHOULD BE PROVIDED IN EACH SLEEPING ROOM IN THE CORRIDOR LEADING TO THE SLEEPING ROOMS, AND ON EVERY LEVEL OF THE HOME. SMOKE DETECTORS SHOULD RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND BE CONNECTED SUCH THAT ACTIVATION OF ANY DETECTOR SHOULD SOUND AN ALARM AUDIBLE IN ALL SLEEPING ROOMS. 2009 IBC.</p> <p>HABITABLE ROOMS SHOULD BE PROVIDED WITH RECEPTACLE OUTLETS ON WALLS GREATER THAN TWO FEET IN LENGTH, NO MORE THAN 6 FEET FROM EACH DOORWAY OR DRIVING AND LOCATED SUCH THAT NO SPACE ALONG ANY WALL OR FIXED COUNTER IS MORE THAN 6 FEET, MEASURED HORIZONTALLY, FROM AN OUTLET. HALLWAYS MORE THAN 10 FEET IN LENGTH SHOULD BE PROVIDED WITH AT LEAST ONE RECEPTACLE OUTLET. THERE SHOULD BE A RECEPTACLE OUTLET PROVIDED ADJACENT TO EACH BATH IN BATHROOMS. NEC ARTICLE 210-52.</p> <p>THE COUNTERTOPS IN THE KITCHEN AND DINING AREA SHOULD BE PROVIDED WITH CONVENIENCE OUTLETS SO THAT NO POINT ALONG THE WALL LINE IS MORE THAN 24 INCHES FROM A RECEPTACLE OUTLET AS REQUIRED BY NEC ARTICLE 210-52. REAR AND PENINSULA COUNTER TOPS SHOULD BE PROVIDED WITH CONVENIENCE OUTLETS PER NEC ARTICLE 210-52.</p> <p>RECEPTACLES WITHIN 6 FEET OF WET BAR SINKS, AT COUNTER TOP IN THE KITCHEN, IN BATHROOMS, IN THE GARAGE, AND OUTSIDE SHOULD HAVE GROUNDING FAULT CIRCUIT INTERRUPTION PROTECTION FOR PERSONNEL PER NEC ARTICLES 210.8, 480.41 AND 480.70. GFCI PROTECTION IS ALSO REQUIRED FOR THE ELECTRICAL EQUIPMENT IN HYDROMASSAGE OR whirlpool TYPE TUBS.</p> <p>IF BUILDING REINFORCING STEEL IS TO BE USED AS AN ELECTRICAL GROUND, IT SHOULD BE INSPECTED BY THE ELECTRICAL INSPECTOR PRIOR TO PLACING CONCRETE.</p> <p>AN ELECTRICAL LIGHTING OUTLET SHOULD BE PROVIDED IN ALL ATTICS AND CRAWL SPACES REQUIRING ACCESS FOR SERVICING OF EQUIPMENT. THE CONTROL SWITCH SHOULD BE LOCATED BY THE POINT OF ACCESS AND A DUPLEX GFCI-PROTECTED ELECTRICAL SERVICE RECEPTACLE SHOULD BE PROVIDED AT OR NEAR THE EQUIPMENT. ARTICLES 210-63 AND 210-70C, NEC AND SECTION 319.9 AND 320.1.5, IAWC.</p>
<ul style="list-style-type: none"> 2 TUBE LED GARAGE STRIP 4 TUBE LED GARAGE STRIP HALOGEN LOW VOLTAGE (STRIP @ KITCHEN, PLUGS @ BOOKSHELVES) CEILING FAN FAN/LIGHT COMBO JUNCTION BOX CLOCK BOX STRIP LIGHTING 	<ul style="list-style-type: none"> GD GARAGE DOOR RECEPTACLE FLOOR OUTLET FLOOR DATA OUTLET TELEPHONE OUTLET TELEPHONE FLOOR OUTLET TELEVISION OUTLET CEILING SPEAKER 	<p>RCP / CEILING NOTES:</p> <ul style="list-style-type: none"> **BRIDGE BOX BEAM, WRAP REAL BEAM **CEILING HEIGHT, CALL OUT <p>*NOTE ALL LOW VOLT, SECURITY, STEREO, SMARTPHONE, LIGHTING CONTROL TO BE DRAWN BY APPROPRIATE SUBCONTRACTOR</p>

1
UPPER ELECTRICAL PLAN
A2.3

SCALE: 1/4" PER 1'-0"

NORTH

USED FOR BIDDING, CONCEPTUAL LAYOUT ONLY



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TECH & BID SUBMITTAL 3 AUG 2021

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W2.2
WINDOW INFO.
SIZING & DATA

Table with 12 columns: No, Qty, Product Code, Rough Opening, Oper, Symb, Location, Glass Options, Lites, Hardware, Exterior Trim, Jamb, Sill, Additional, Unit Price, Item Total. Includes window and door specifications for various rooms.

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All Window/Door operations are viewed from exterior. Pictures are NOT to scale. They are offered as a rough approximation of design and mulling sequence, therefore CAD drawings may still be required on some units.

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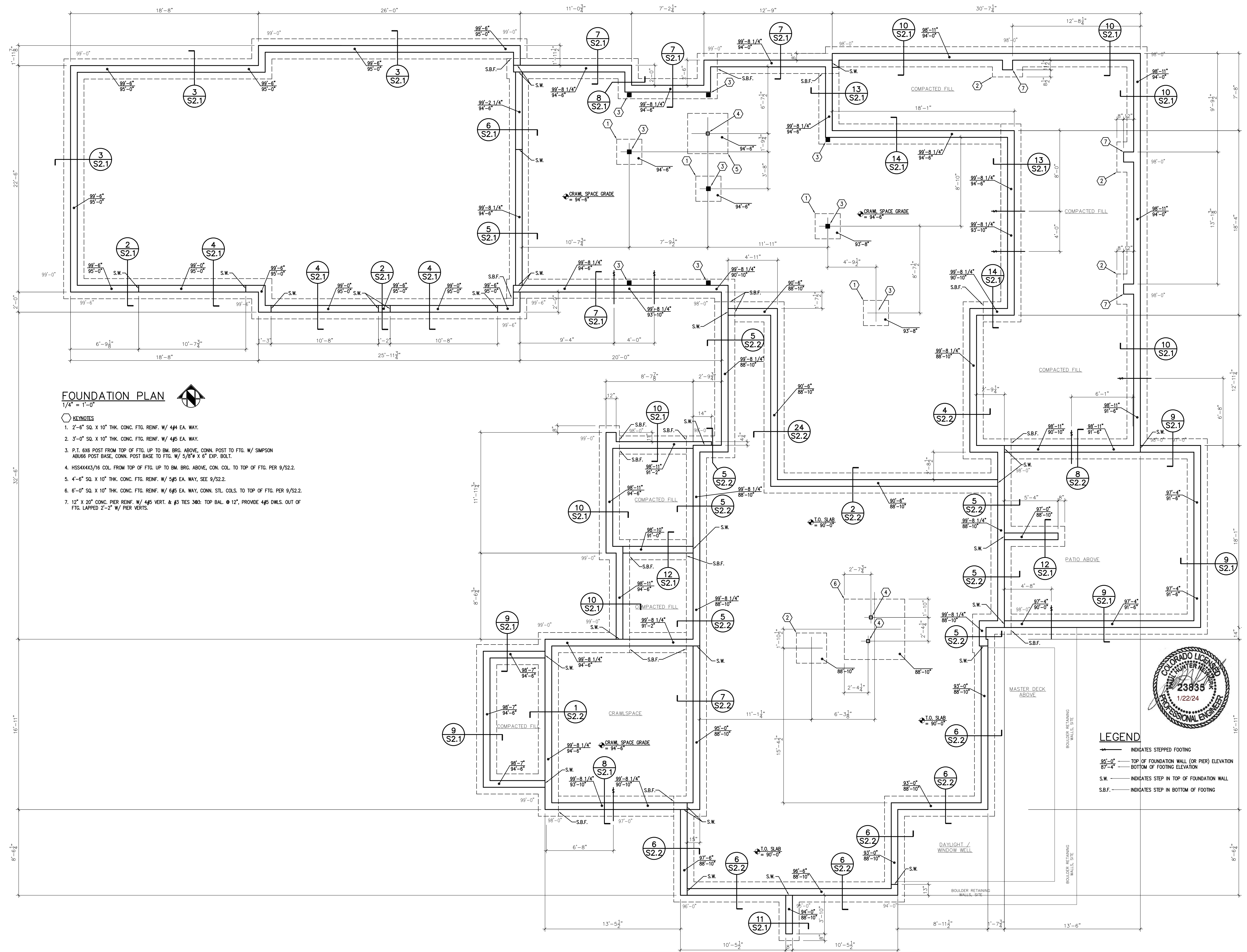
WINDOW INFO. & DATA
SCALE: Not to Scale

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 +512 998 870 1920/newkirk56@gmail.com

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 EAGLE, COLORADO 81631

ISSUE: DATE:
 REVIEW SET 05/12/21
 PERMIT SET 06/11/21
 BASEMENT REVISION 08/03/21

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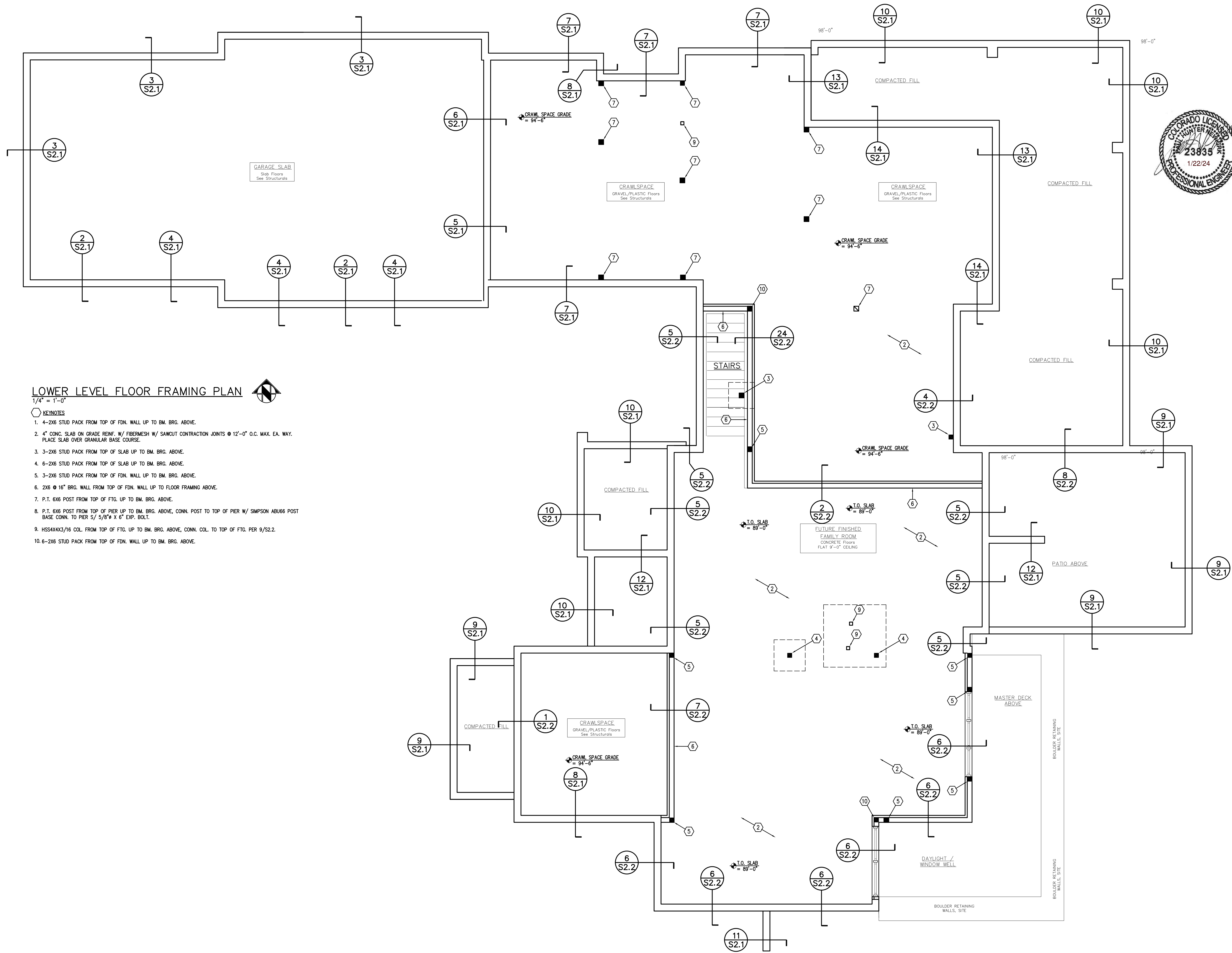


FOUNDATION PLAN
 1/4" = 1'-0"

- KEYNOTES**
- 2'-6" SQ. X 10" THK. CONC. FTG. REINF. W/ 4#4 EA. WAY.
 - 3'-0" SQ. X 10" THK. CONC. FTG. REINF. W/ 4#5 EA. WAY.
 - P.T. 6X6 POST FROM TOP OF FTG. UP TO BM. BRG. ABOVE, CONN. POST TO FTG. W/ SIMPSON ABU66 POST BASE, CONN. POST BASE TO FTG. W/ 5/8" X 6" EXP. BOLT.
 - HSS4X4X3/16 COL. FROM TOP OF FTG. UP TO BM. BRG. ABOVE, CON. COL. TO TOP OF FTG. PER 9/S2.2.
 - 4'-6" SQ. X 10" THK. CONC. FTG. REINF. W/ 5#5 EA. WAY, SEE 9/S2.2.
 - 6'-0" SQ. X 10" THK. CONC. FTG. REINF. W/ 6#5 EA. WAY, CONN. STL. COLS. TO TOP OF FTG. PER 9/S2.2.
 - 12" X 20" CONC. PIER REINF. W/ 4#5 VERT. & #3 TIES 3@3; TOP BAL. @ 12", PROVIDE 4#5 DWLS. OUT OF FTG. LAPPED 2'-2" W/ PIER VERTS.



- LEGEND**
- INDICATES STEPPED FOOTING
 - 95'-0" — TOP OF FOUNDATION WALL (OR PIER) ELEVATION
 - 87'-4" — BOTTOM OF FOOTING ELEVATION
 - S.W. — INDICATES STEP IN TOP OF FOUNDATION WALL
 - S.B.F. — INDICATES STEP IN BOTTOM OF FOOTING



LOWER LEVEL FLOOR FRAMING PLAN

1/4" = 1'-0"

KEYNOTES

1. 4-2X6 STUD PACK FROM TOP OF FDN. WALL UP TO BM. BRG. ABOVE.
2. 4" CONC. SLAB ON GRADE REINF. W/ FIBERMESH W/ SAWCUT CONTRACTION JOINTS @ 12'-0" O.C. MAX. EA. WAY. PLACE SLAB OVER GRANULAR BASE COURSE.
3. 3-2X6 STUD PACK FROM TOP OF SLAB UP TO BM. BRG. ABOVE.
4. 6-2X6 STUD PACK FROM TOP OF SLAB UP TO BM. BRG. ABOVE.
5. 3-2X6 STUD PACK FROM TOP OF FDN. WALL UP TO BM. BRG. ABOVE.
6. 2X6 @ 16" BRG. WALL FROM TOP OF FDN. WALL UP TO FLOOR FRAMING ABOVE.
7. P.T. 6X6 POST FROM TOP OF FTG. UP TO BM. BRG. ABOVE.
8. P.T. 6X6 POST FROM TOP OF PIER UP TO BM. BRG. ABOVE, CONN. POST TO TOP OF PIER W/ SIMPSON ABU66 POST BASE CONN. TO PIER S/ 5/8" X 6" EXP. BOLT.
9. HSS4X4X3/16 COL. FROM TOP OF FTG. UP TO BM. BRG. ABOVE, CONN. COL. TO TOP OF FTG. PER 9/S2.2.
10. 6-2X6 STUD PACK FROM TOP OF FDN. WALL UP TO BM. BRG. ABOVE.

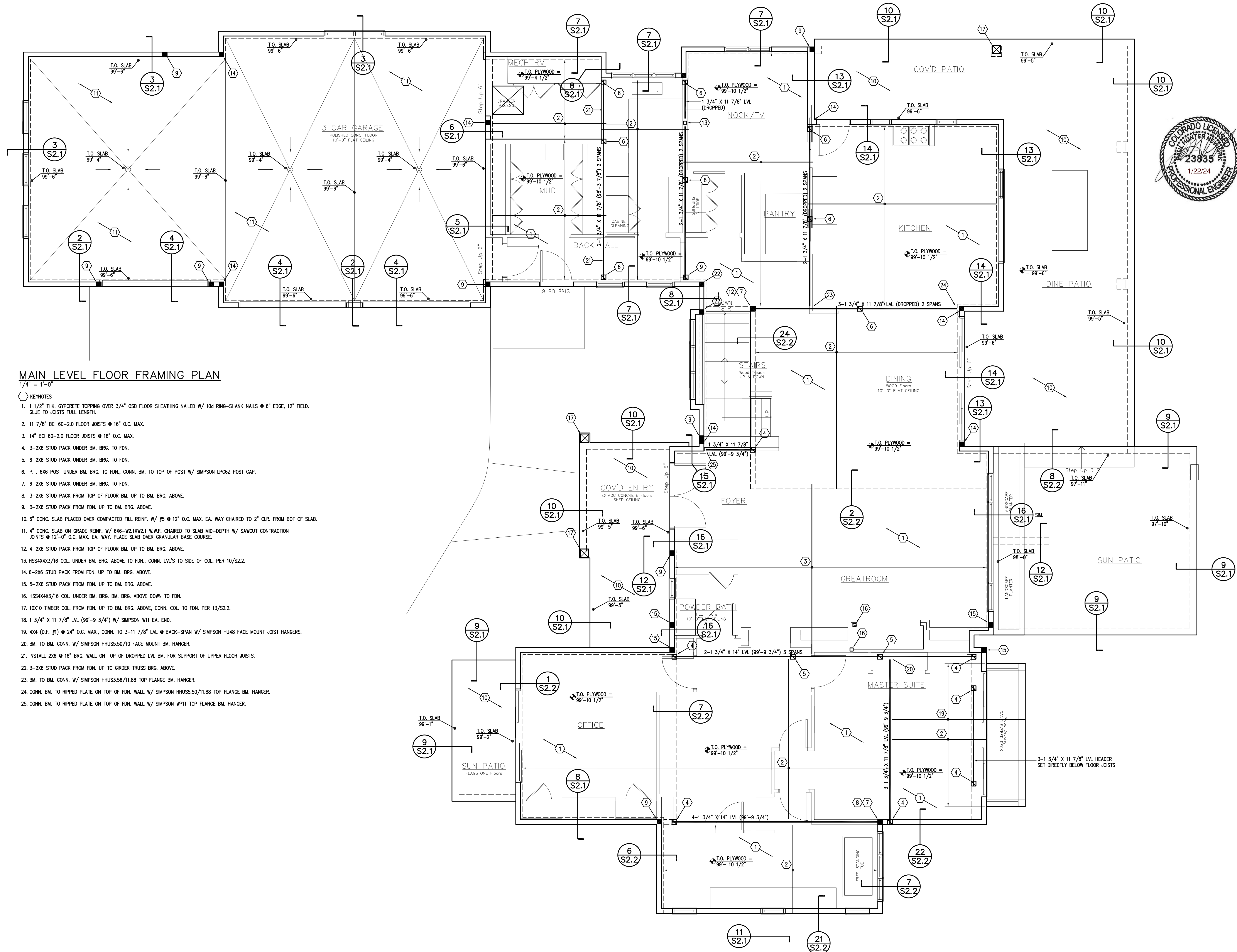


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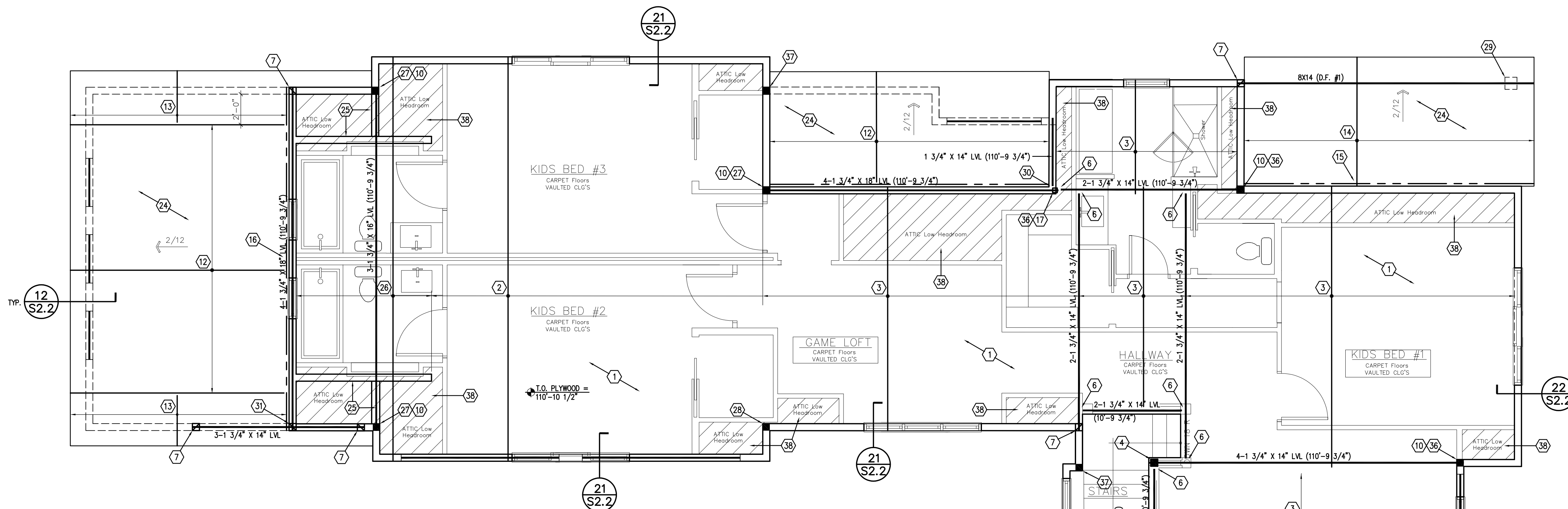


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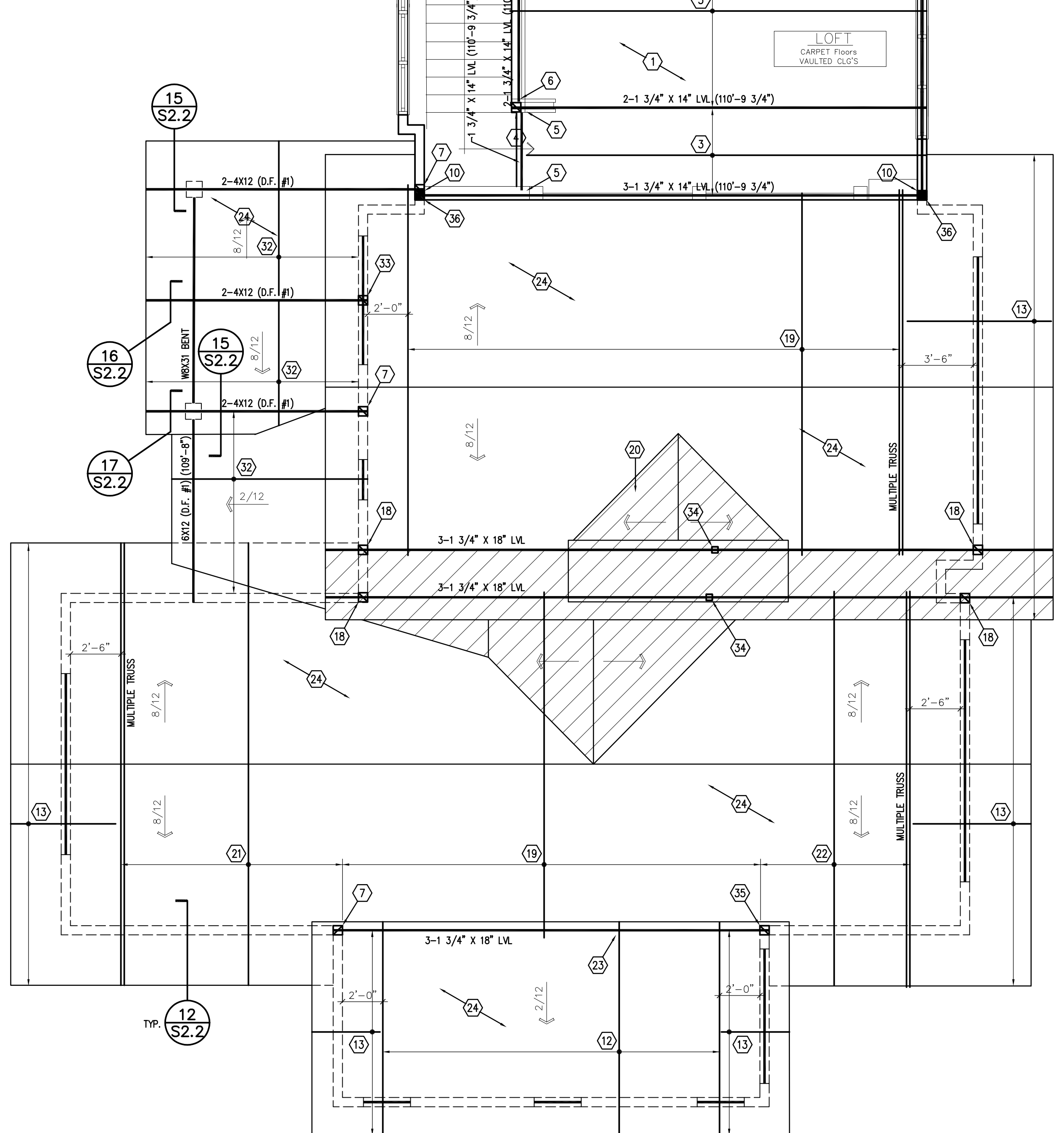


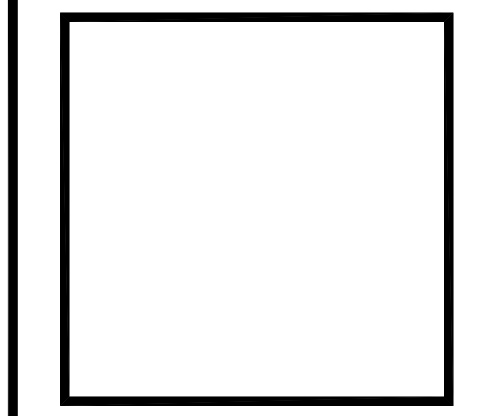
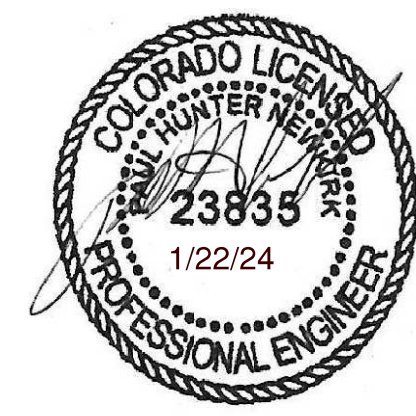
UPPER LEVEL AND LOW ROOF FRAMING PLAN

1/4" = 1'-0"

KEYNOTES

1. 1 1/2" THK. GYPCRETE TOPPING OVER 3/4" OSB FLOOR SHEATHING NAILED W/ 10d RING-SHANK NAILS @ 6" EDGE, 12" FIELD. GLUE TO JOISTS FULL LENGTH.
2. DOUBLE 16" BCI 60-2.0 FLOOR JOISTS @ 16" O.C. MAX.
3. 14" BCI 60-2.0 FLOOR JOISTS @ 16" O.C. MAX.
4. 4-2X6 STUD PACK UNDER BM. BRG. DOWN TO TOP OF FLOOR BM. BELOW.
5. BM. TO BM. CONN. W/ SIMPSON W14 TOP FLANGE BM. HANGER.
6. BM. TO BM. CONN. W/ SIMPSON HWU3.56/14 TOP FLANGE BM. HANGER.
7. 3-2X6 STUD PACK UNDER BM. BRG. DOWN TO TOP OF FDN. BELOW.
8. 3-2X6 STUD PACK UNDER BM. BRG. DOWN TO TOP OF HEADER BELOW.
9. 7-2X6 STUD PACK UNDER BM. BRG. DOWN TO TOP OF FLOOR BM. BELOW.
10. 6-2X6 STUD PACK UNDER BM. BRG. DOWN TO TOP OF FDN. BELOW.
11. 4-2X6 STUD PACK UNDER BM. BRG. DOWN TO TOP OF FDN. WALL BELOW.
12. PRE-FABRICATED WOOD ROOF TRUSS TYPE "A" @ 24" O.C. MAX., SEE SHEET S1.5 FOR TRUSS PROFILES, TYP.
13. 2X8 @ 16" LADDER-FRAMED RAFTERS PER 11/S2.2.
14. 3X10 RAFTERS @ 2'-4" O.C. MAX., BIRD-MOUTH ONTO LEDGER & BM. @ CONN. ONTO EA. W/ SINGLE TIMBERLOK LOGO16 SCREW DOWN THRU CL RAFTER @ CL LEDGER AND BM.
15. 3X10 LEDGER CONT. CONN. TO EA. STUD W/ 3-TIMBERLOK LOGO9 SCREWS @ 3" C/C VERT. @ CL STUD, PRE-DRILL AS REQ'D. TO AVOID SPLITTING.
16. 2X12 LEDGER CONT. CONN. TO EA. STUD W/ 4-TIMBERLOK LOGO9 SCREWS @ 2 1/2" C/C VERT. @ CL STUD, PRE-DRILL AS REQ'D. TO AVOID SPLITTING, BEAR TRUSSES ON TOP OF LEDGER IN NOTCH IN END OF EA. TRUSS.
17. HSS4X4X3/16 COL. UNDER BM. BRG. TO FDN., CONN. BM. TO TOP OF COL. PER 20/S2.2.
18. 5-2X6 STUD PACK UNDER BM. BRG. DOWN TO TOP OF FDN. BELOW.
19. PRE-FABRICATED WOOD ROOF TRUSS TYPE "B" @ 24" O.C. MAX.
20. OVER-FRAME HATCHED AREA.
21. PRE-FABRICATED WOOD ROOF TRUSS TYPE "C" @ 24" O.C. MAX.
22. PRE-FABRICATED WOOD ROOF TRUSS TYPE "D" @ 24" O.C. MAX.
23. SET BOT. OF BM. FLUSH W/ BOT OF TRUSS TYPE "A", NOTCH END OF TRUSS TYPE "A" AS REQ'D.
24. 5/8" PLYWOOD ROOF SHEATHING NAILED W/ 10d NAILS @ 6" EDGE, 12" FIELD.
25. 2X6 @ 16" BRG. WALL FROM TOP OF FLOOR SHEATHING UP TO ROOF TRUSS BRG. ABOVE.
26. DOUBLE 1 3/4" X 16" LVL FLOOR JOISTS @ 16" O.C. MAX.
27. 3-2X6 STUD PACK FROM TOP OF FLOOR BM. UP TO BM. BRG. ABOVE.
28. 3-2X6 STUD PACK UNDER BM. ABOVE BRG. DOWN TO TOP OF FDN. BELOW.
29. 10X10 TIMBER COL. UNDER BM. BRG. TO FDN., CONN. BM. TO TOP OF COL. PER 14/S2.2.
30. BM. TO BM. CONN. W/ SIMPSON W14 TOP FLANGE BM. HANGER.
31. 3-2X6 STUD PACK UNDER BM. BRG. DOWN TO TOP OF HEADER BELOW.
32. 4X10 RAFTERS @ 32" O.C. MAX., BIRD-MOUTH ONTO RIDGE & SHOULDER BMS. @ CONN. @ EA. W/ SINGLE TIMBERLOK LOGO16 SCREW @ CL RAFTER & BM.
33. 3-2X6 STUD PACK UNDER RIDGE BM. DOWN TO TOP OF HEADER BELOW.
34. HSS4X4X3/16 COL. UNDER BM. BRG. TO FDN., CONN. BM. TO TOP OF COL. PER 23/S2.2.
35. 3-2X6 STUD PACK UNDER BM. BRG. DOWN TO TOP OF FLOOR BM. BELOW.
36. 3-2X6 STUD PACK FROM TOP OF FLOOR BM. UP TO GIRDER TRUSS BRG. ABOVE.
37. 3-2X6 STUD PACK FROM TOP OF FDN. UP TO GIRDER TRUSS BRG. ABOVE.
38. HATCHED LOW HEAD ROOM AREA NOT INCLUDED IN S.F. CALCULATIONS.





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WALKER & MILLER RESIDENCE
0231 HARVESTOR COURT / LOT 33
UPLANDS AT EAGLE RANCH
EAGLE, COLORADO 81631

ISSUE: DATE:
REVIEW SET 05/12/21
PERMIT SET 06/11/21

SCOTT S. TURNIPSEED AIA
ARCHITECTURE
& CONSTRUCTION INC.
P.O. BOX 3388
1143 CAPITOL STREET, SUITE 211
EAGLE, COLORADO 81631
970.336.3360 WWW.SSTAI.COM

NOTES & SCHEDULES TYPICAL FOR ALL SHEETS

BCI & LVL CONNECTION TABLE

UNLESS OTHERWISE DETAILED OR NOTED, CONNECT BCI & M.L. JOISTS TO BMS. & EXT. WALL PLATES AS FOLLOW:

JOIST	SIMPSON HANGER STANDARD
2X12	LB212
DOUBLE 2X12	HUS212-2TF
11 7/8" BCI 60-2.0	IT3511.88
DBL. 11 7/8" BCI 60-2.0	MIT3511.88-2
1 3/4" X 11 7/8" M.L.	WP11
DOUBLE 1 3/4" X 11 7/8" M.L.	HWU3.56/11.88
1 3/4" X 14" M.L.	WP14
DOUBLE 1 3/4" X 14" M.L.	HWU3.56/14
16" BCI 90-2.0	IT416
DBL. 16" BCI 90-2.0	WPA16-2

EXTERIOR WALL SHEATHING NOTE

ALL EXTERIOR FRAMED WALLS ARE SHEAR WALLS AND ARE SHEATHED W/ 1/2" ZIP-WALL AND NAILED W/ 8d @ 4" EDGE, 12" FIELD. INSTALL 2X6 BLOCKING BETWEEN STUDS AT ALL HORIZ. PANEL JOINTS THAT DO NOT FALL ON A TOP OR BOTTOM WALL PLATE. NAIL ABUTTING SHEATHING PANEL EDGES TO BLOCKING WITH 8d @ 4", BOTH SIDES OF PANEL JOINT.

STUD PACK KEY

■ INDICATES STUD PACK EXTENDING UP FROM FLOOR ON WHICH IT IS INDICATED OR EXTENDING UP AND DOWN FROM FLOOR ON WHICH IT IS INDICATED. SEE PLAN KEYNOTES.
□ INDICATES STUD PACK EXTENDING DOWN FROM FLOOR ON WHICH IT IS INDICATED. SEE PLAN KEYNOTES.

JOIST LAYOUT NOTE:

COORDINATE JOIST LAYOUT W/ LIGHT FIXTURE LOCATIONS AND RAFTER TAIL LOCATIONS. ADJUST JOIST LOCATIONS AS REQ'D.

2X6 WOOD STUD WALL HEADER SCHEDULE

OPENING WIDTH	HEADER SIZE	TRIM STUDS	KING STUDS
UP TO 4'-0"	3-2X6	1-2X6	1-2X6
OVER 4'-0" UP TO 6'-0"	3-2X10	2-2X6	2-2X6
OVER 6'-0" UP TO 8'-0"	3-1 3/4" X 9 1/2" M.L.	2-2X6	2-2X6
OVER 8'-0" UP TO 10'-0"	3-1 3/4" X 11 7/8" M.L.	2-2X6	2-2X6
OVER 10'-0" UP TO 12'-6"	3-1 3/4" X 14" M.L.	3-2X6	3-2X6

USE THESE HEADERS UNLESS NOTED OTHERWISE

2X4 WOOD STUD WALL HEADER SCHEDULE

OPENING WIDTH	HEADER SIZE	TRIM STUDS	KING STUDS
UP TO 4'-0"	2-2X10	1-2X4	1-2X4
OVER 4'-0" UP TO 6'-0"	2-2X12	2-2X4	2-2X4
OVER 6'-0" UP TO 8'-0"	2-1 3/4" X 9 1/2" M.L.	3-2X4	3-2X4
OVER 8'-0" UP TO 10'-0"	2-1 3/4" X 11 7/8" M.L.	3-2X4	3-2X4

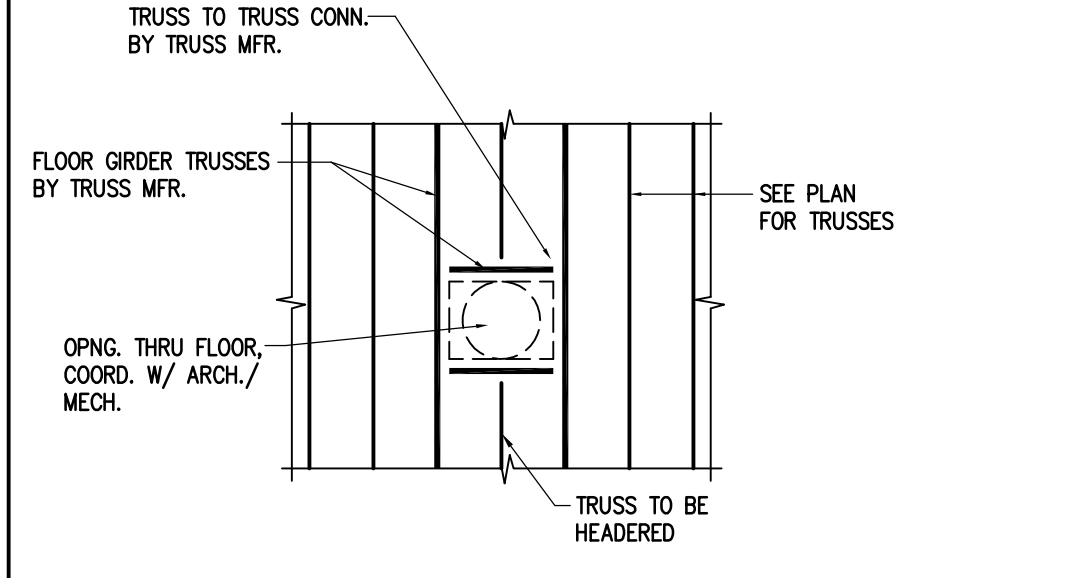
USE THESE HEADERS UNLESS NOTED OTHERWISE

MASONRY LINTEL SCHEDULE

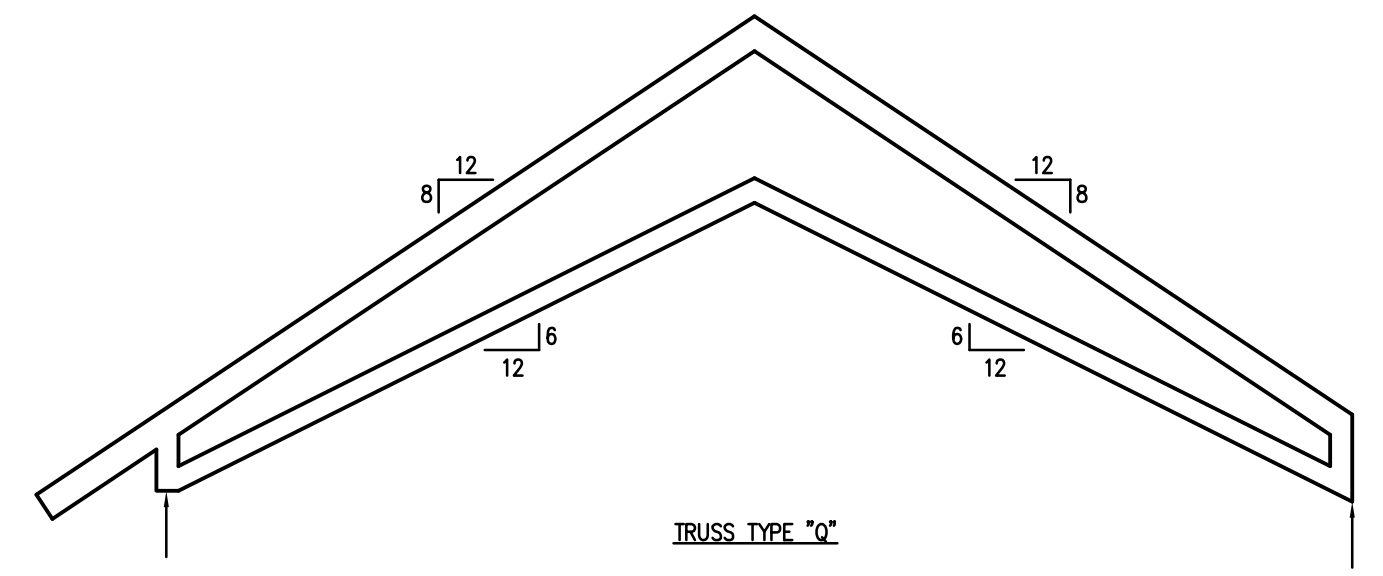
OPENING WIDTH	STEEL LINTEL	BEARING
UP TO 3'-0"	L4X4X1/4	6"
OVER 3'-0" UP TO 6'-0"	L4X4X3/8	6"
OVER 6'-0" UP TO 10'-0"	L7X4X3/8 (LLV)	6"
OVER 10'-0" UP TO 18'-0"	L8X4X3/4 (LLV)	8"

ROOF TRUSS CONNECTIONS NOTES

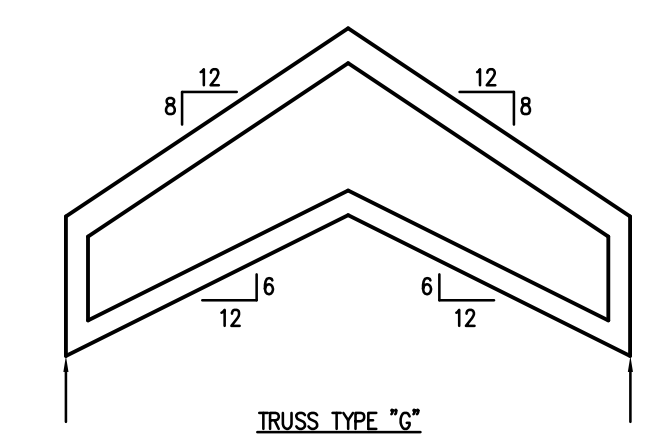
CONN. ALL ROOF TRUSSES TO EXTERIOR BEARING WALLS PER 12/52.2, SIM. @ INTERIOR WALLS.



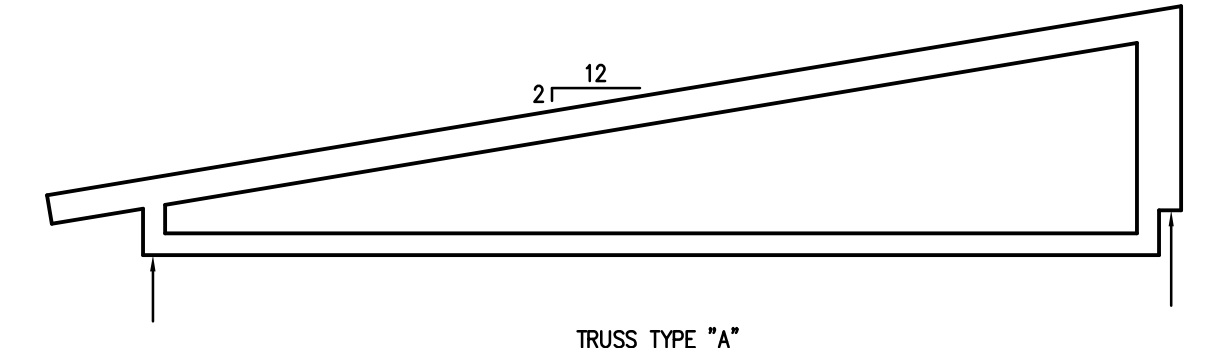
TYPICAL HEADERED OPNG. THRU FLOOR OR ROOF DECK



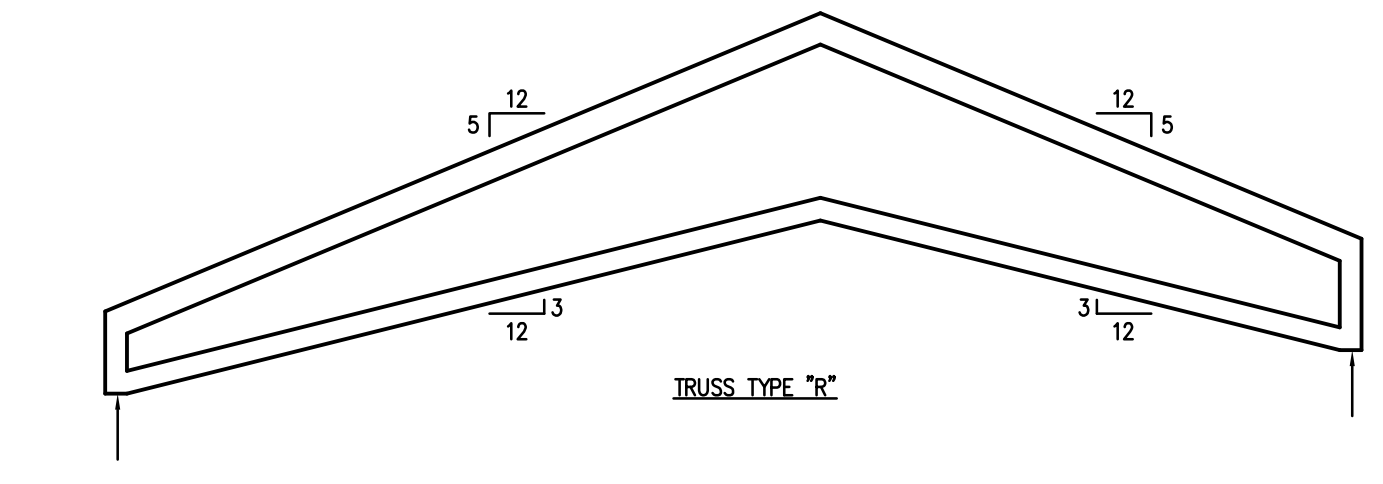
TRUSS TYPE "Q"



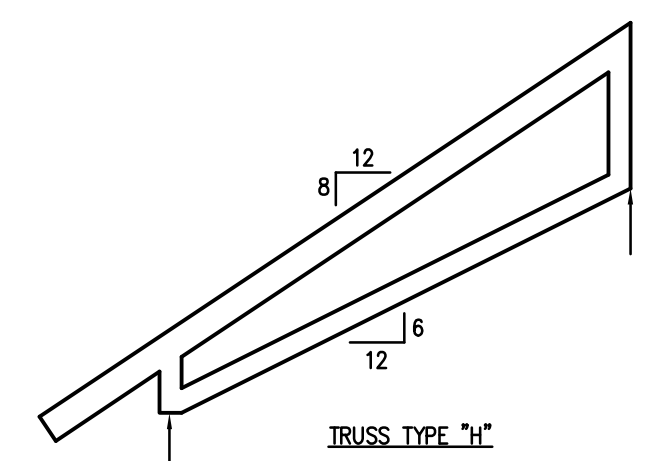
TRUSS TYPE "G"



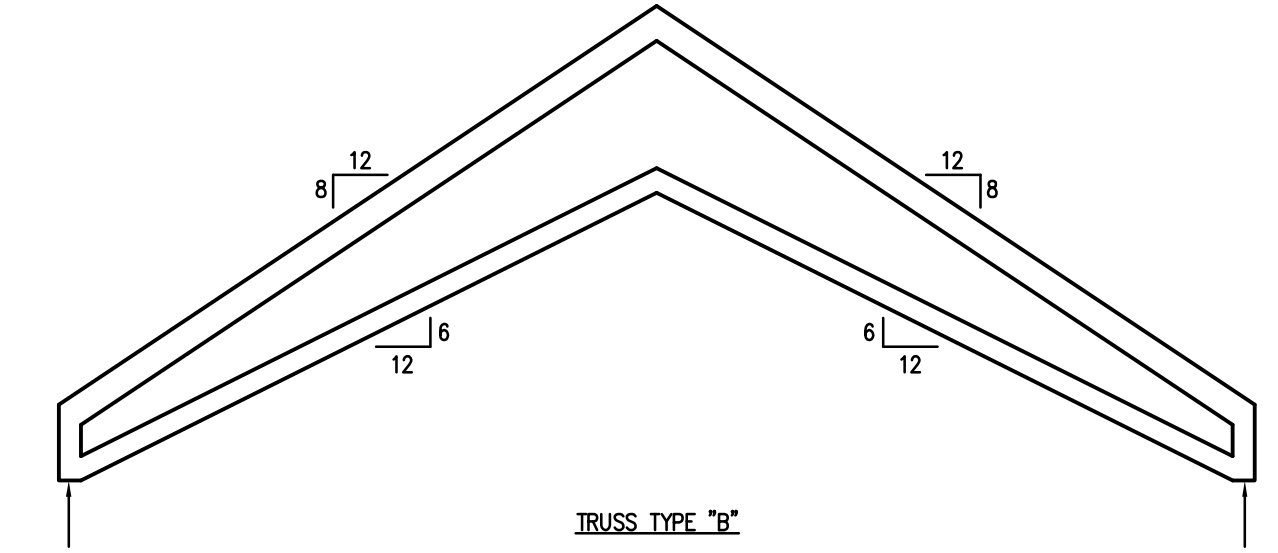
TRUSS TYPE "A"



TRUSS TYPE "R"

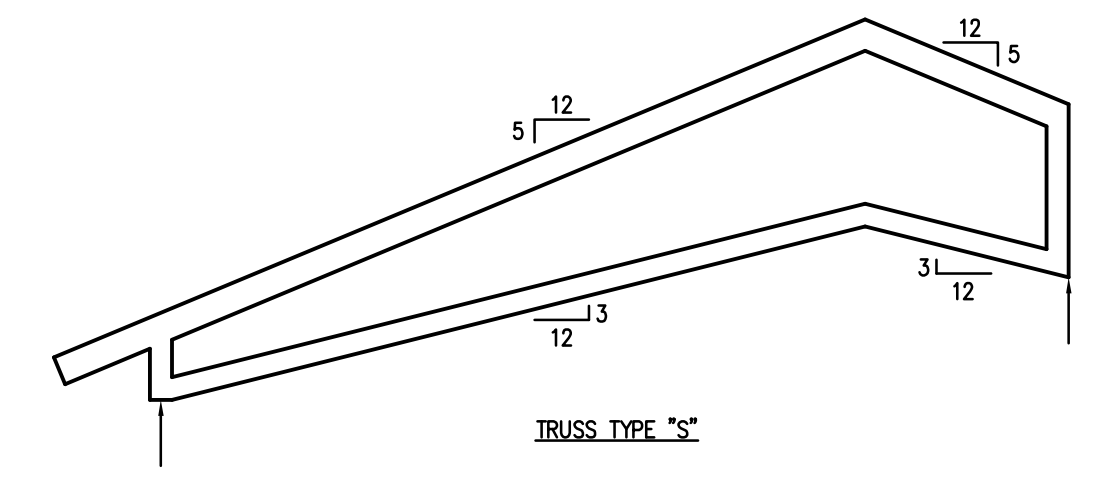


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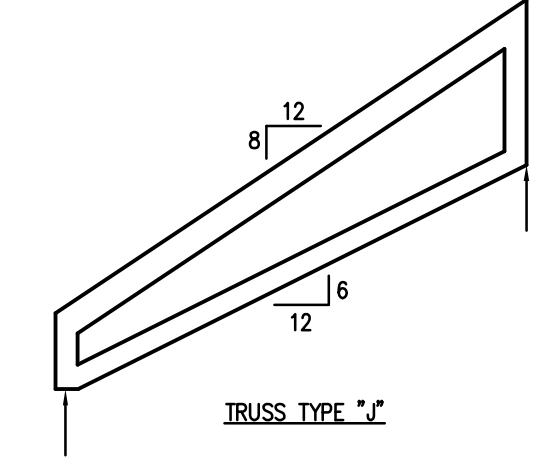


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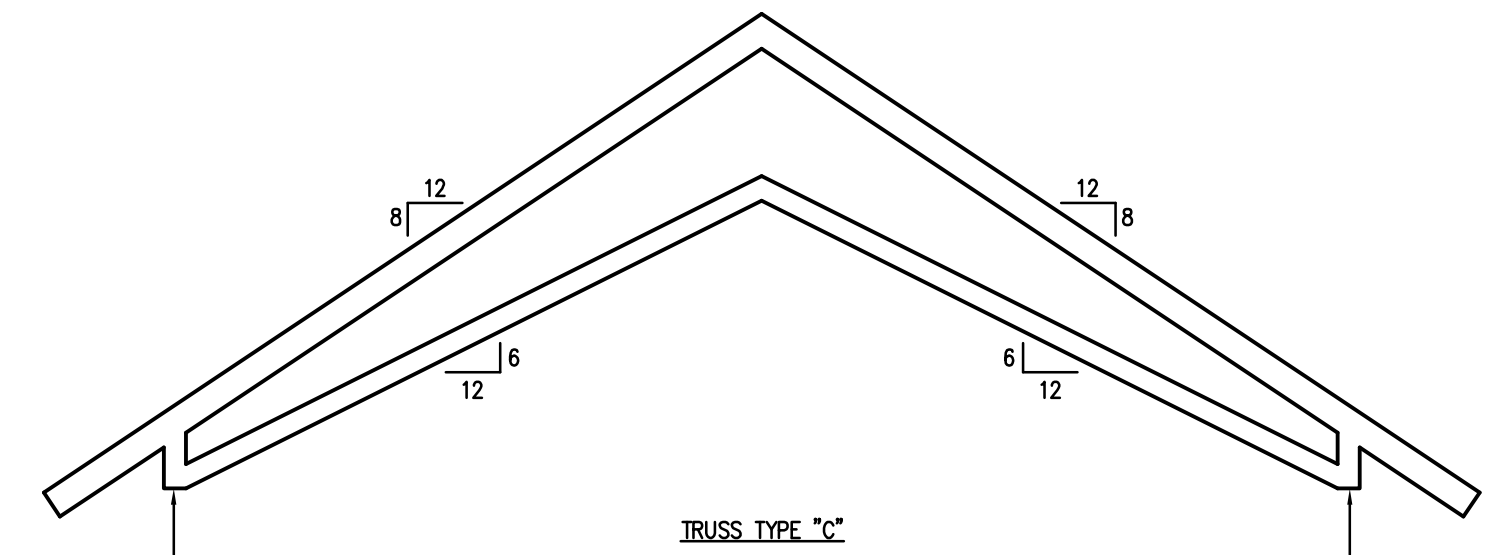
NOTCH END OF TRUSS TO BEAR ON BM. SET BOT. OF TRUSS FLUSH W/ BOT. OF BM.



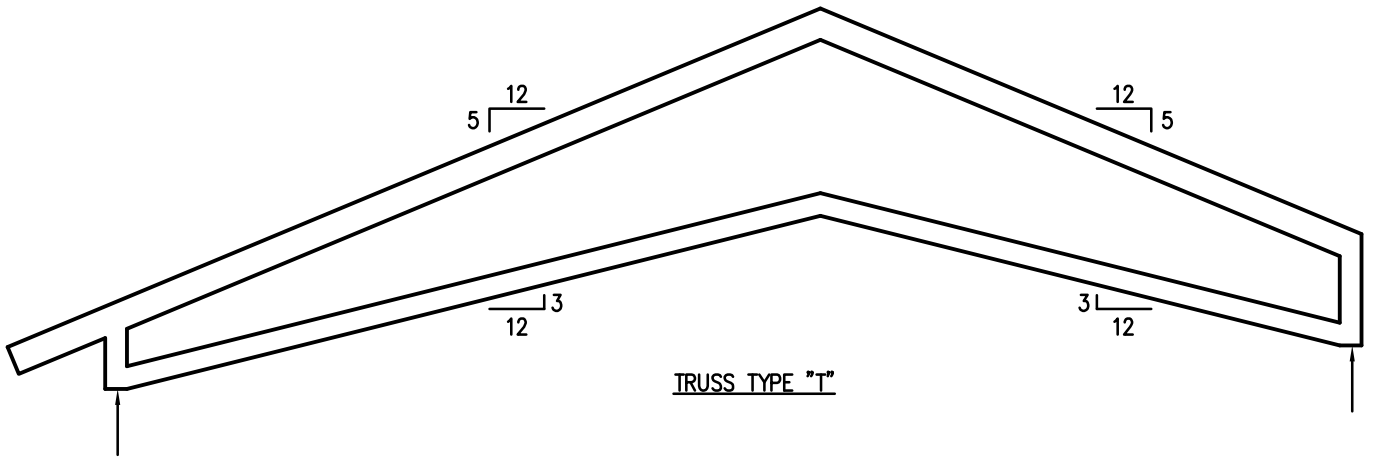
TRUSS TYPE "S"



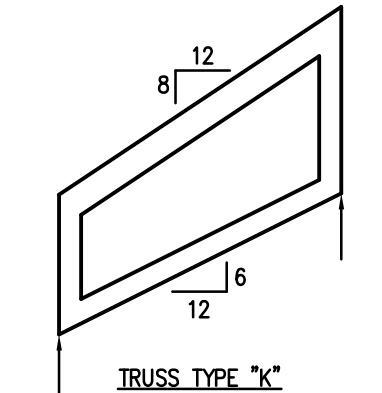
TRUSS TYPE "V"



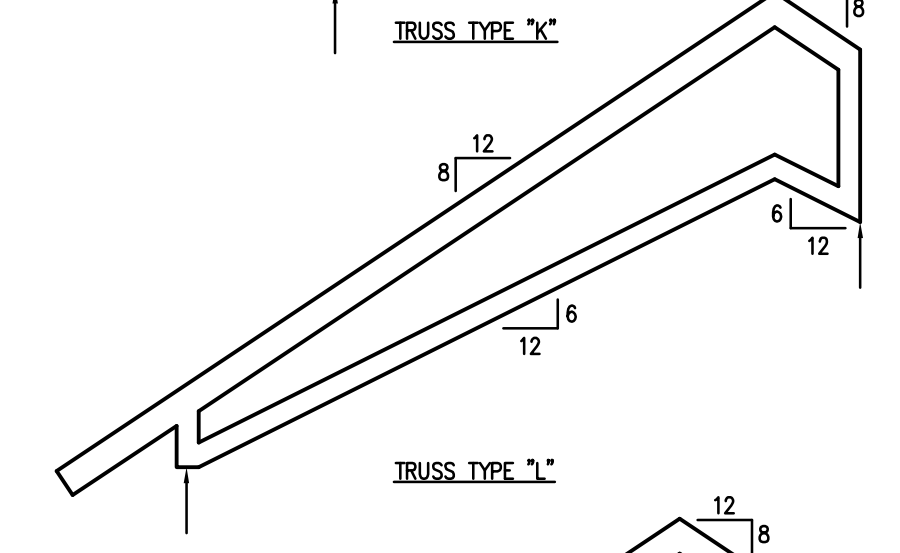
TRUSS TYPE "C"



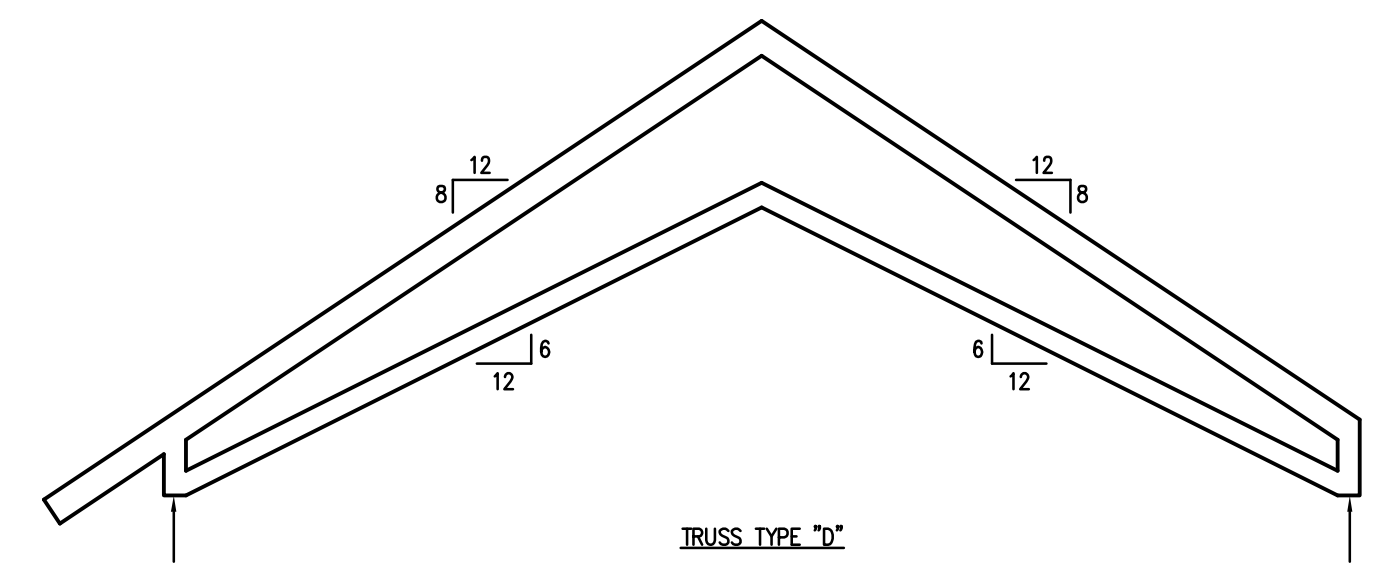
TRUSS TYPE "T"



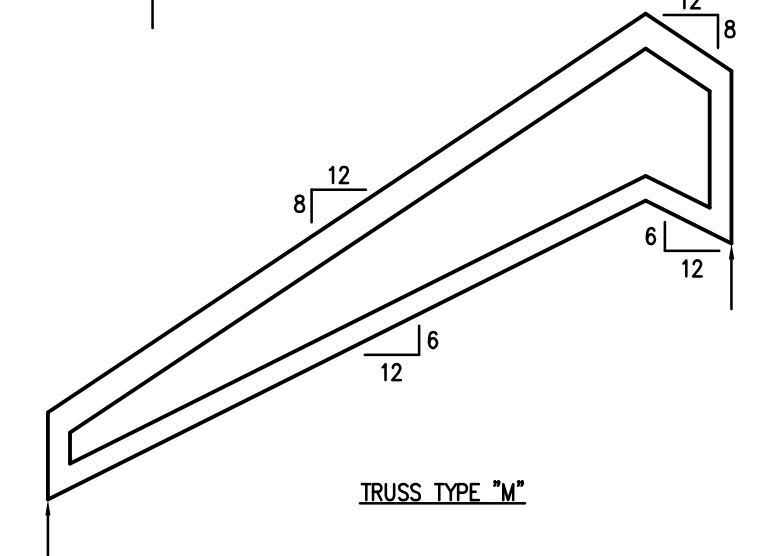
TRUSS TYPE "K"



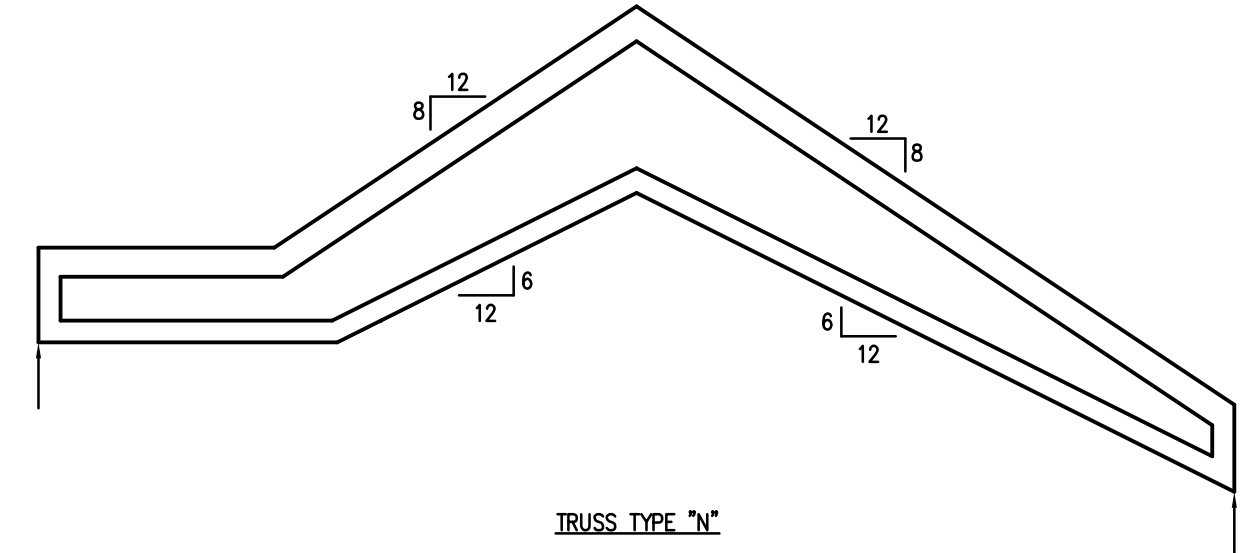
TRUSS TYPE "L"



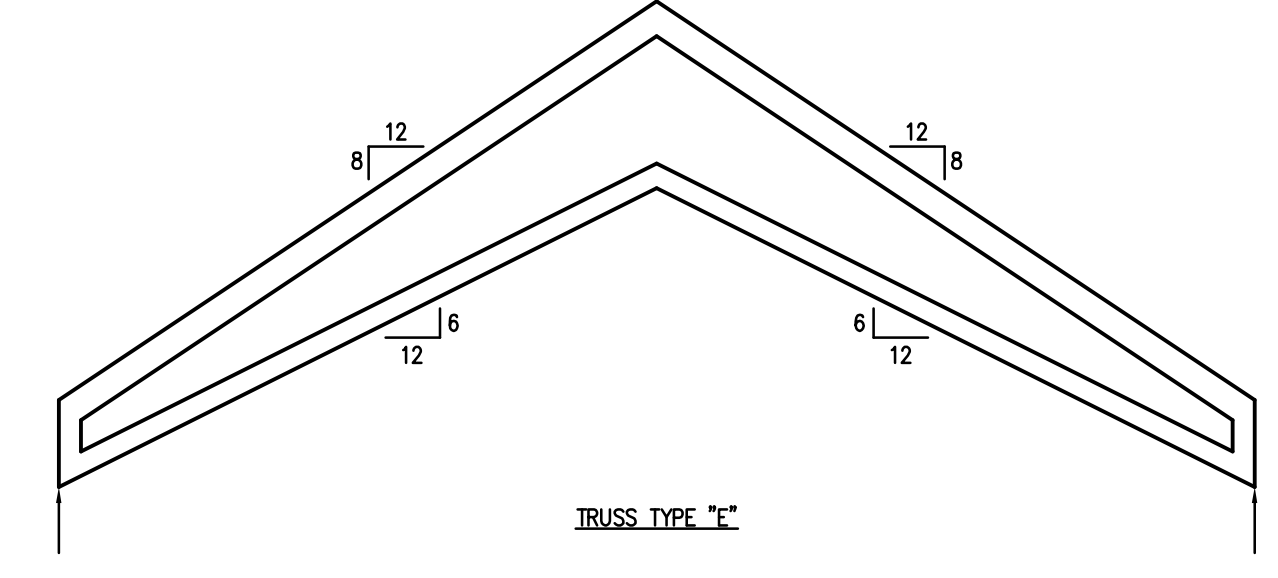
TRUSS TYPE "D"



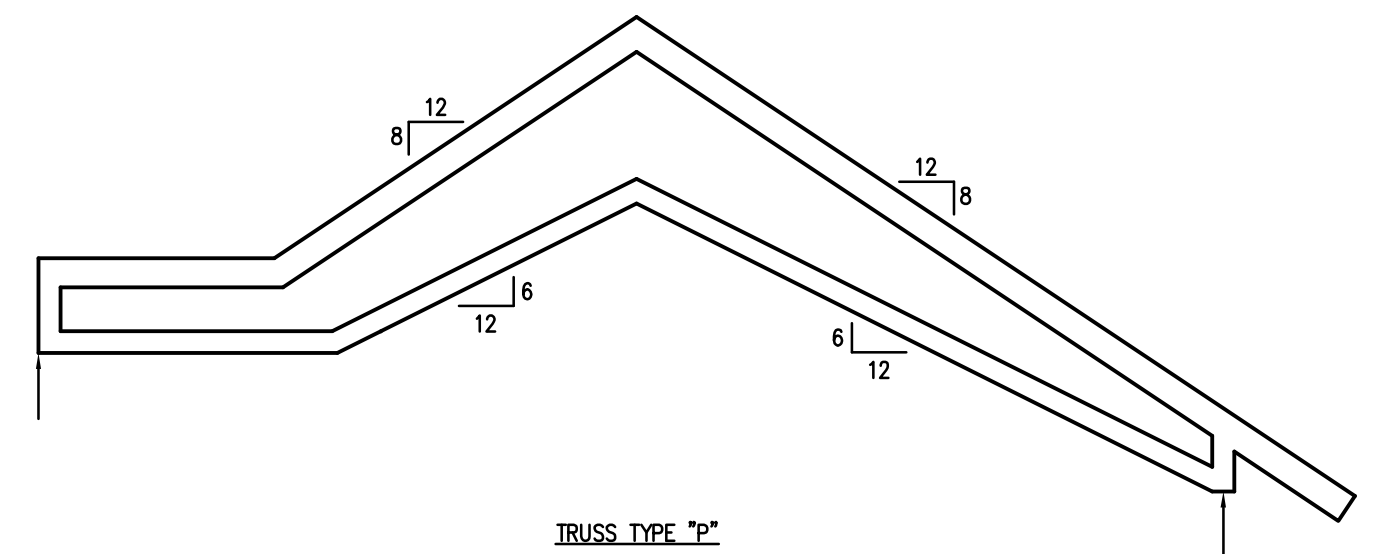
TRUSS TYPE "M"



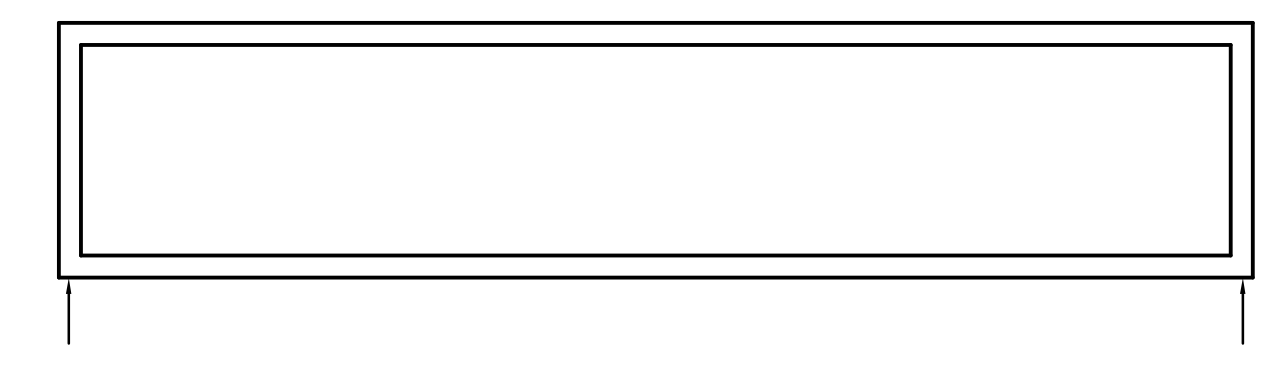
TRUSS TYPE "N"



TRUSS TYPE "E"



TRUSS TYPE "P"



TRUSS TYPE "F"

GENERAL NOTES

1. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO STARTING CONSTRUCTION. THE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES OR INCONSISTENCIES.
2. DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALES SHOWN ON DRAWINGS.
3. NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS.
4. ALL WORK SHALL CONFORM TO THE MINIMUM STANDARDS OF THE LATEST EDITION OF THE INT'L. BUILDING CODE AND ANY OTHER REGULATING AGENCIES WHICH HAVE AUTHORITY OVER ANY PORTION OF THE WORK.
5. ALL CONSTRUCTION AND MATERIALS SHALL COMPLY WITH THE DETAILED REQUIREMENTS AS NOTED IN THE PROJECT CONTRACT DOCUMENTS.
6. A.S.T.M. SPECIFICATIONS NOTED ON THE DRAWINGS SHALL BE OF THE LATEST REVISION.

CONCRETE

1. ALL PHASES OF WORK PERTAINING TO THE CONCRETE CONSTRUCTION SHALL CONFORM TO THE "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" (ACI 318 LATEST EDITION) WITH MODIFICATIONS AS NOTED IN THE DRAWINGS OR SPECIFICATIONS.
2. ALL STRUCTURAL CONCRETE, INCLUDING FOUNDATIONS, WALLS AND SLABS ON GRADE SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,000 PSI.
3. PORTLAND CEMENT SHALL CONFORM TO A.S.T.M. C-150 TYPE I OR TYPE II.
4. AGGREGATE FOR HARDROCK CONCRETE SHALL CONFORM TO ALL REQUIREMENTS AND TESTS OF A.S.T.M. C-33 AND PROJECT SPECIFICATIONS. EXCEPTIONS MAY BE USED ONLY WITH PERMISSION OF THE STRUCTURAL ENGINEER.
5. CONCRETE MIXING OPERATION, ETC. SHALL CONFORM TO A.S.T.M. C-94.
6. PLACEMENT OF CONCRETE SHALL CONFORM TO ACI STANDARD 614 AND PROJECT SPECIFICATIONS.
7. CLEAR COVERAGE OF CONCRETE OVER OUTER REINFORCING BARS SHALL BE AS FOLLOWS:
 - A. CONCRETE PLACED DIRECTLY AGAINST EARTH _____ 3" CLEAR TO REINFORCING
 - B. FORMED CONCRETE WITH EARTH BACKFILL _____ 2" CLEAR
8. ALL REINFORCING BARS, ANCHOR BOLTS AND OTHER CONCRETE INSERTS SHALL BE WELL SECURED IN POSITION PRIOR TO PLACING CONCRETE.
9. LAP ALL REINF. AT SPLICES 32 BAR DIAMETERS U.N.O.

REINFORCING FOR CONCRETE

1. ALL REINFORCING STEEL SHALL BE DETAILED AND PLACED IN CONFORMANCE WITH THE "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" (ACI 318 LATEST EDITION), AND THE "MANUAL OF STANDARD PRACTICE FOR REINFORCED CONCRETE CONSTRUCTION" (C.R.S.I. LATEST EDITION) AS MODIFIED BY THE CONTRACT DOCUMENTS.
2. REINFORCING BARS SHALL CONFORM TO A.S.T.M. A-615 GRADE 60 EXCEPT FOR #3 AND #4 BARS WHICH MAY BE GRADE 40.
3. ALL REINFORCING BAR BENDS SHALL BE MADE COLD.
4. REINFORCING SPLICES SHALL BE MADE ONLY WHERE INDICATED ON THE DRAWINGS.
5. DOWELS BETWEEN FOOTINGS AND WALLS SHALL BE THE SAME GRADE, SIZE AND SPACING OR NUMBER AS THE VERTICAL REINFORCING AND SHALL BE TIED TOGETHER WITH WIRE.

LUMBER

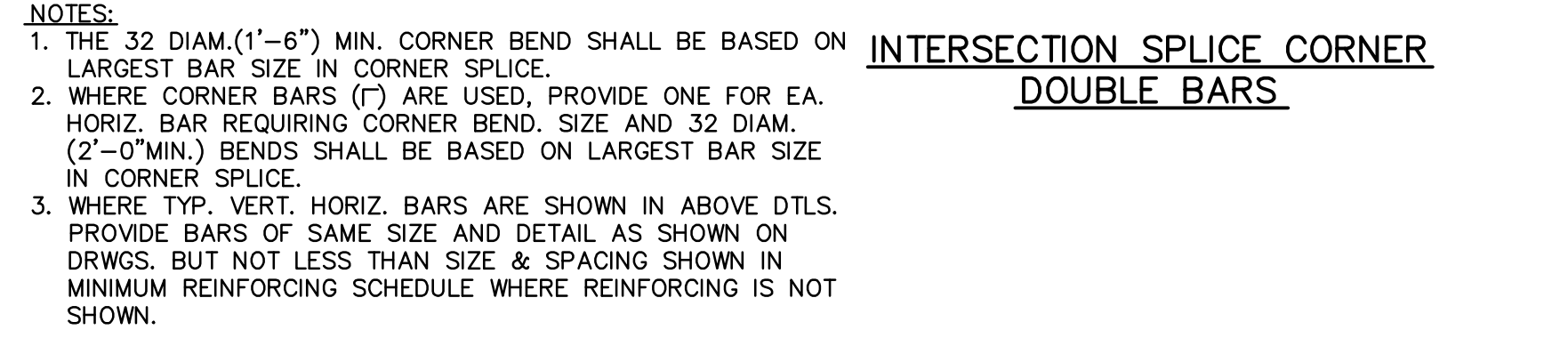
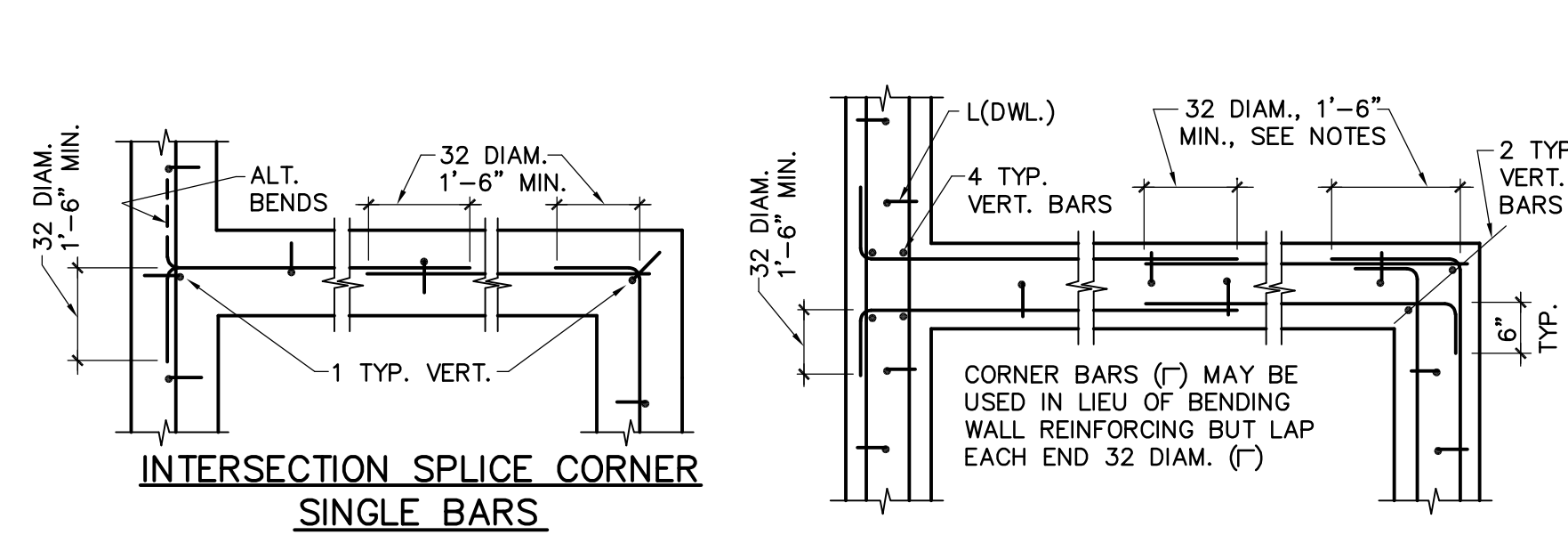
1. ALL WOOD FRAMING SHALL CONFORM TO THE "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION", LATEST EDITION, RECOMMENDED BY THE "NATIONAL FOREST PRODUCTS ASSOCIATION".
2. ALL WOOD STRUCTURAL MEMBERS SHALL BE MARKED HEM-FIR NO. 2 OR BETTER BY A RECOGNIZED (WCLB) GRADING AGENCY.
3. ALL SILLS AND PLATES RESTING ON CONCRETE OR MASONRY SHALL BE PRESSURE TREATED DOUGLAS FIR. BOLTS SHALL BE PLACED 8" FROM THE END OF A BOARD OF FROM A HOLE OR NOTCH GREATER THAN 1/3 THE WIDTH OF A PLATE, AND SPACED AT INTERVALS NOTED.
4. ALL BOLT HEADS AND NUTS BEARING ON WOOD SHALL HAVE WASHERS.
5. DOUBLE AND TRIPLE BUILT-UP WOOD MEMBERS SHALL BE SPIKED TOGETHER WITH TWO 16-D NAILS SPACED AT 16" STAGGERED.
6. TYP. WALL ANCHOR BOLTS SHALL BE 1/2" X 12" @ 32" O.C. MAX.
7. ALL PLATES BEARING ON CONCRETE SHALL BE PRESSURE TREATED.

PREMANUFACTURED WOOD TRUSSES

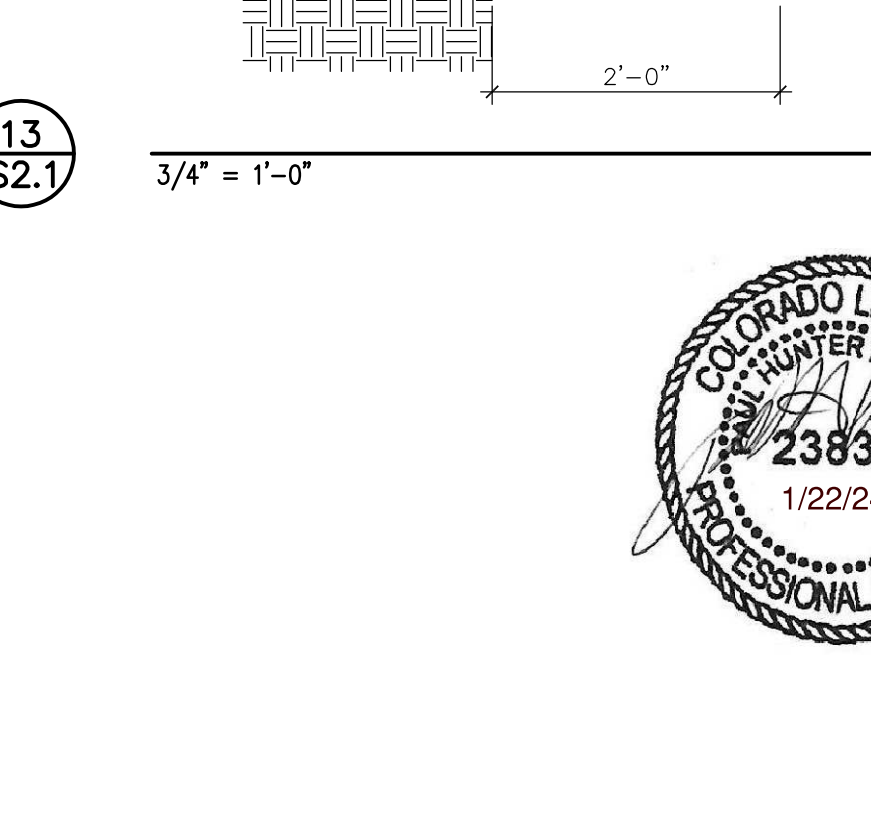
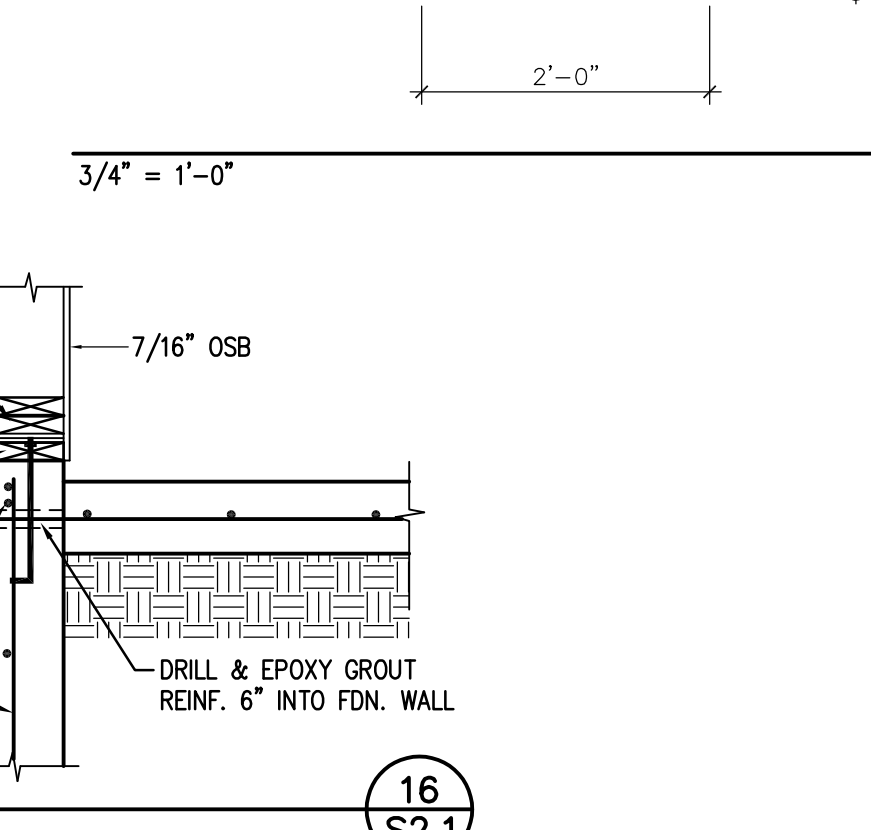
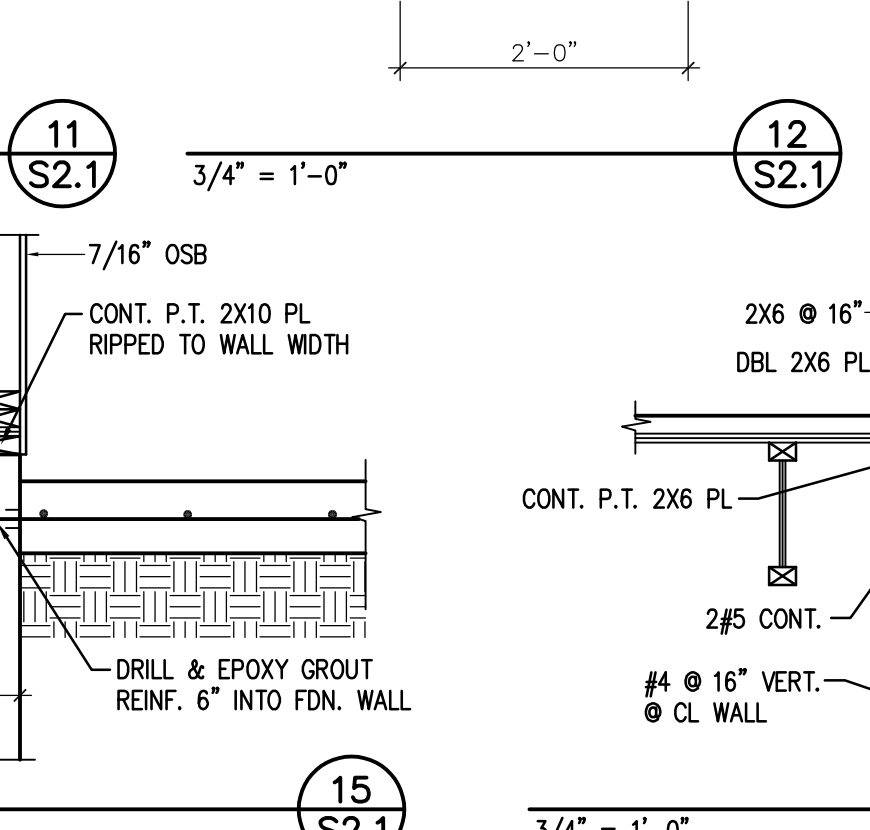
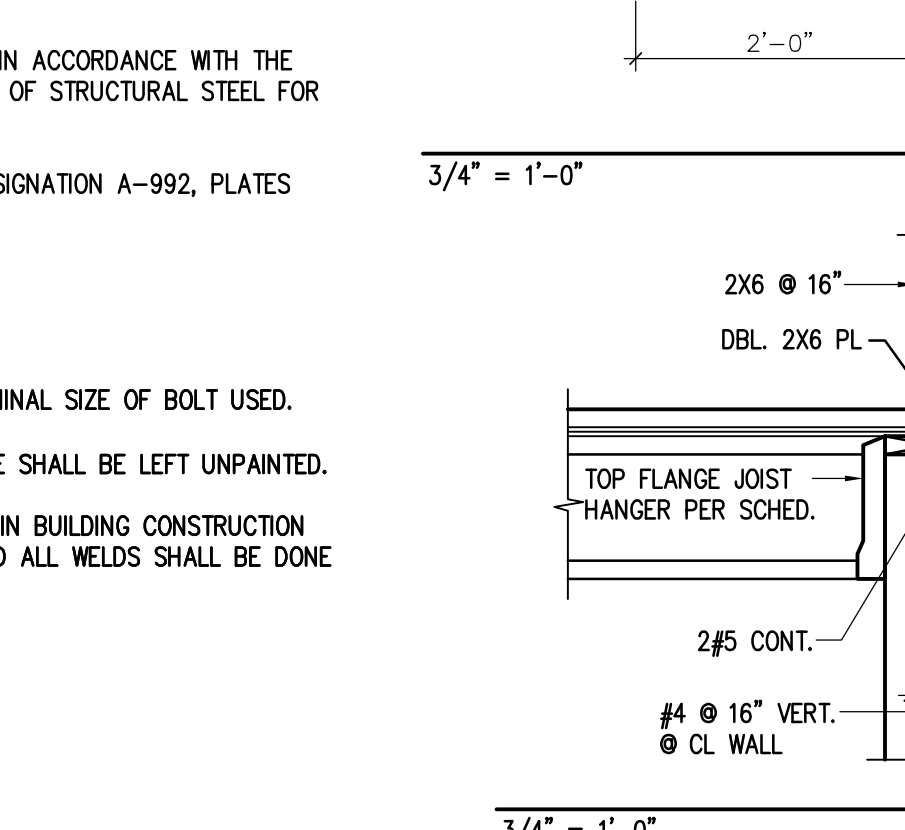
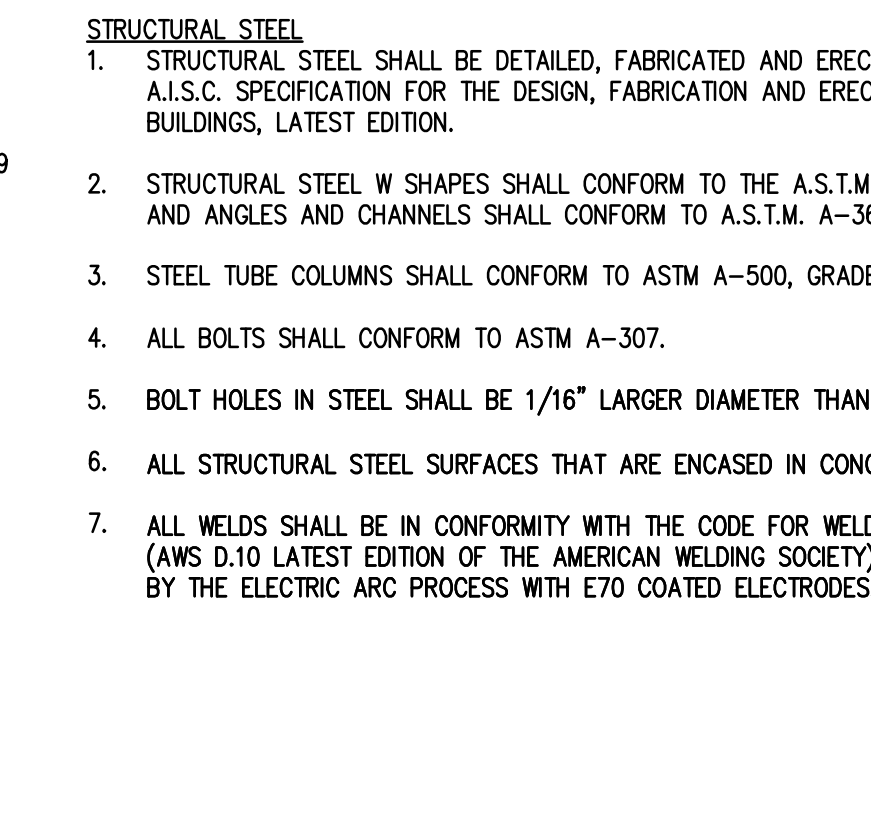
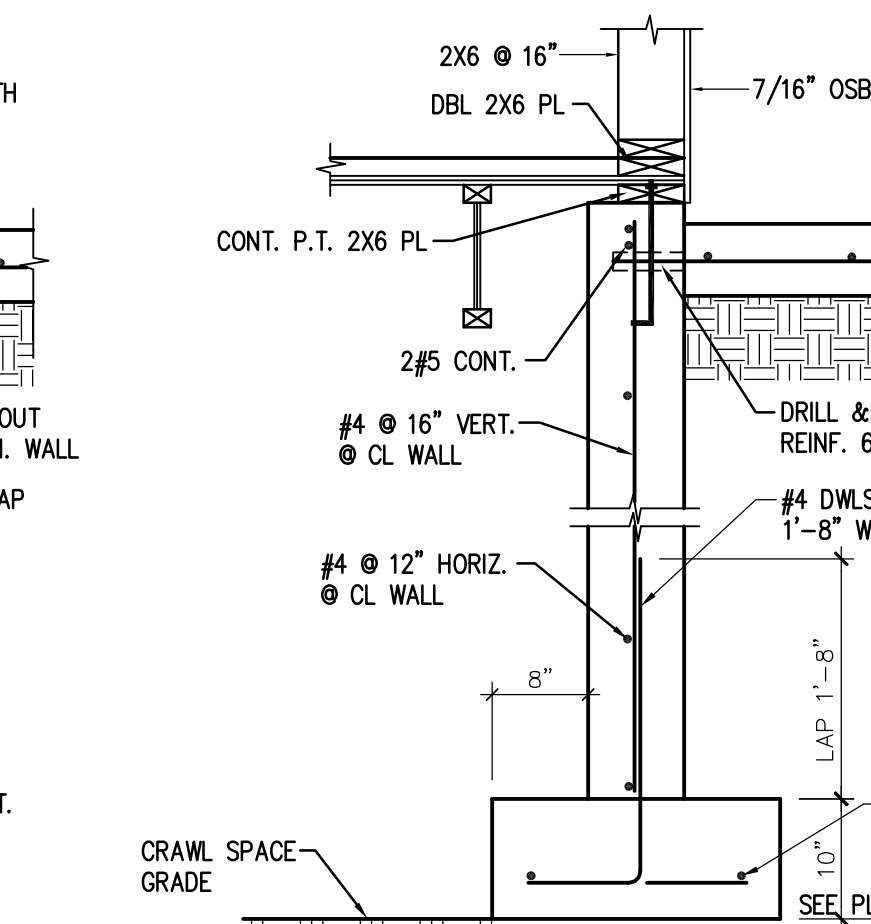
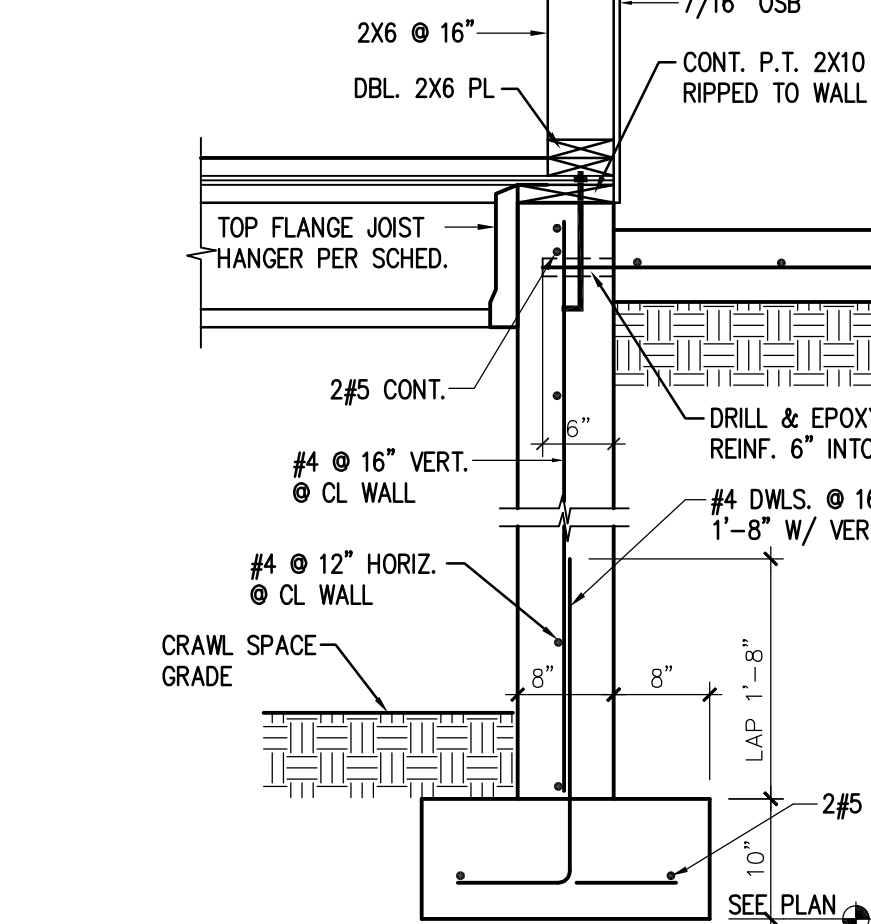
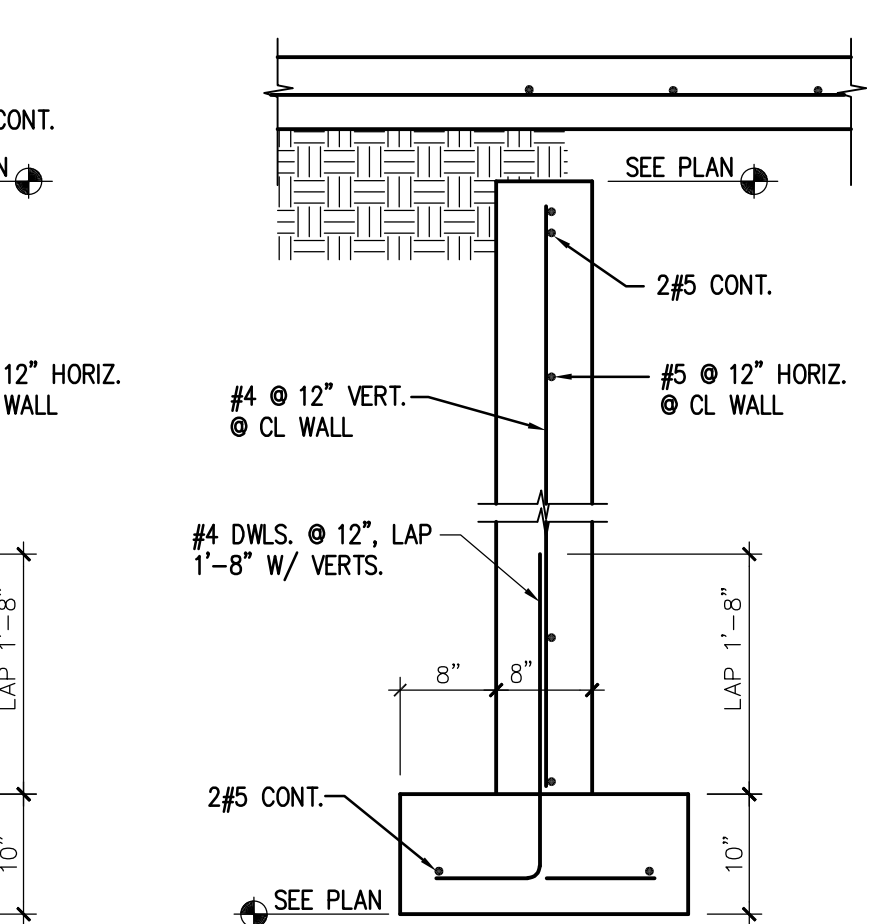
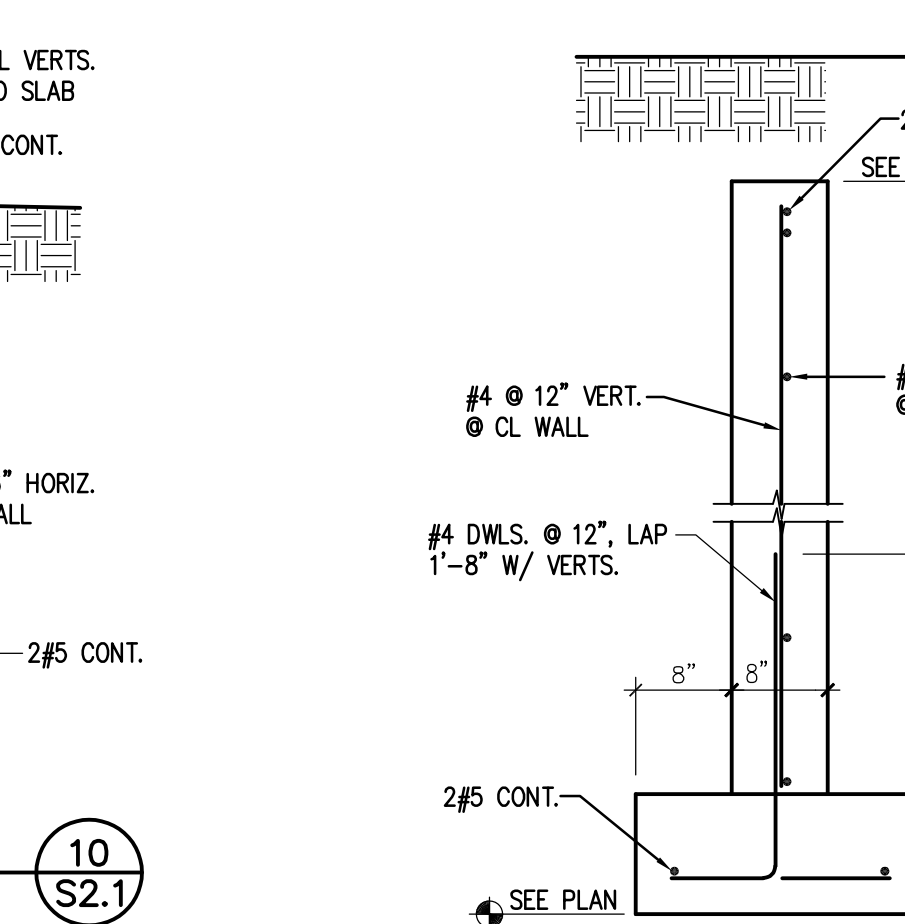
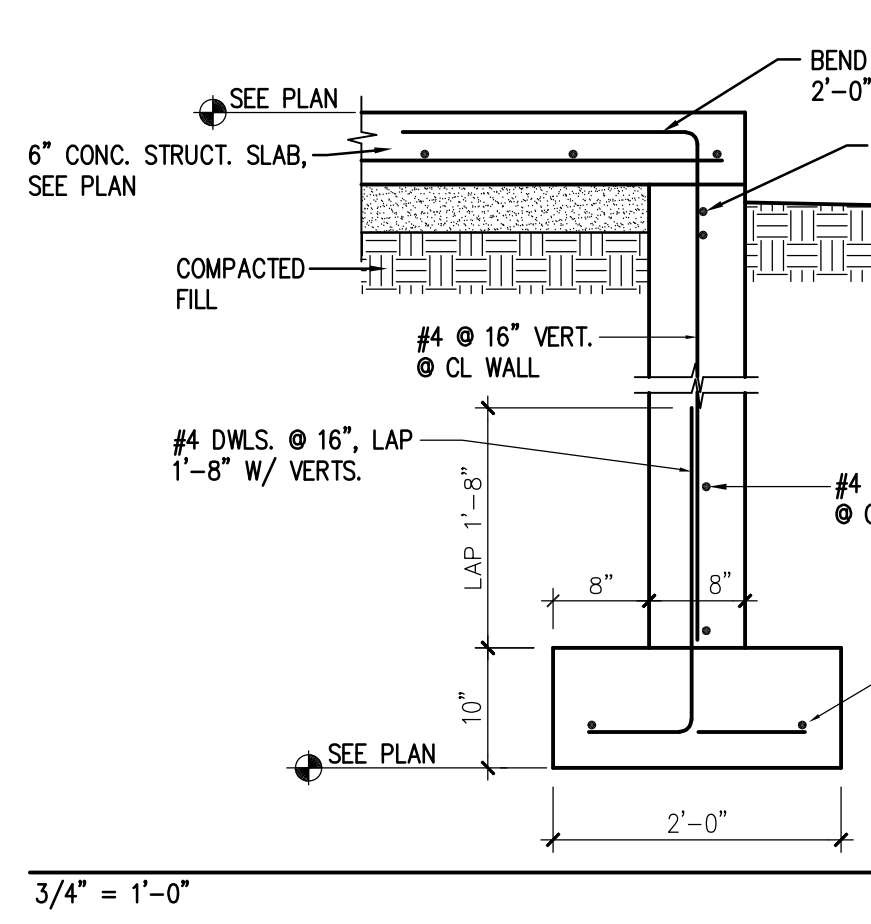
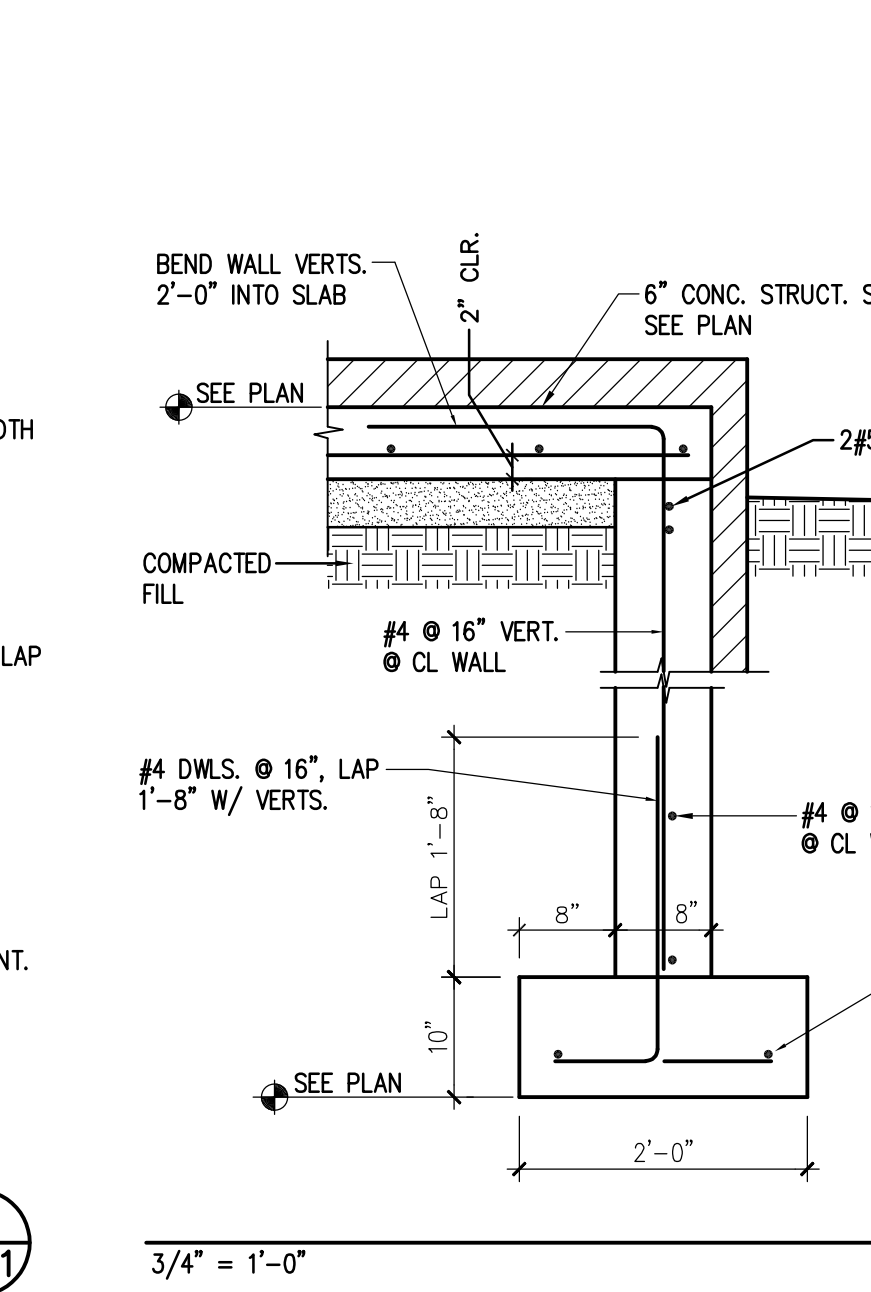
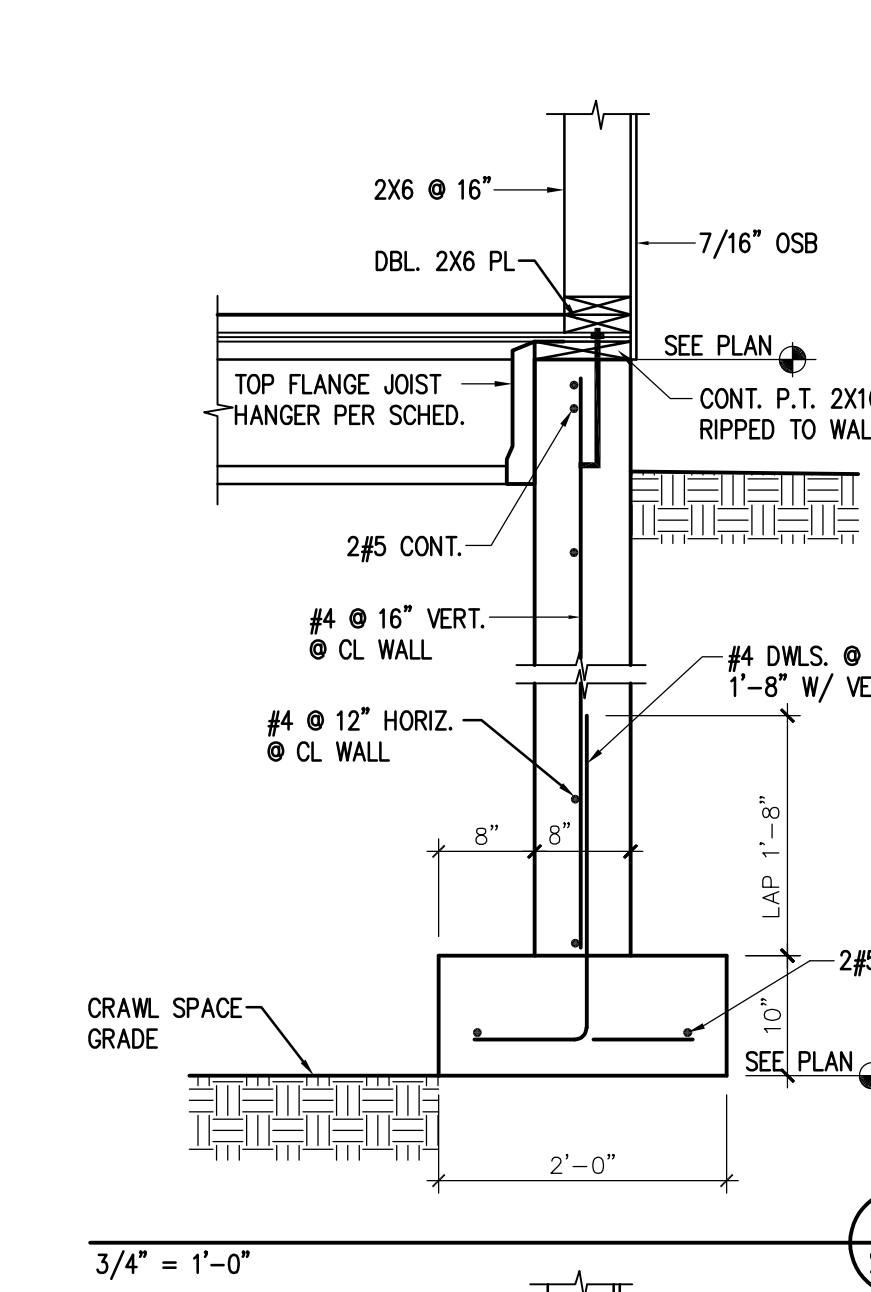
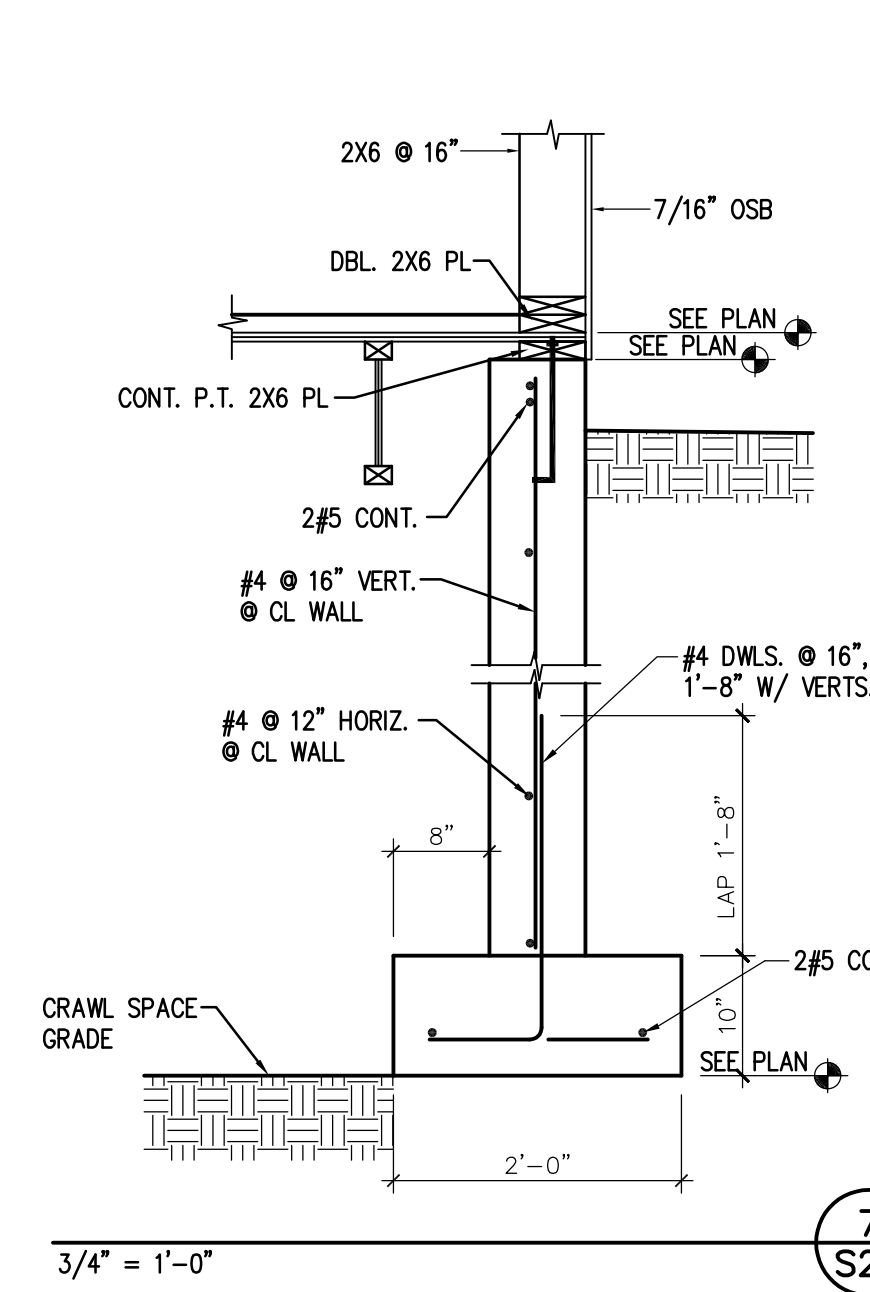
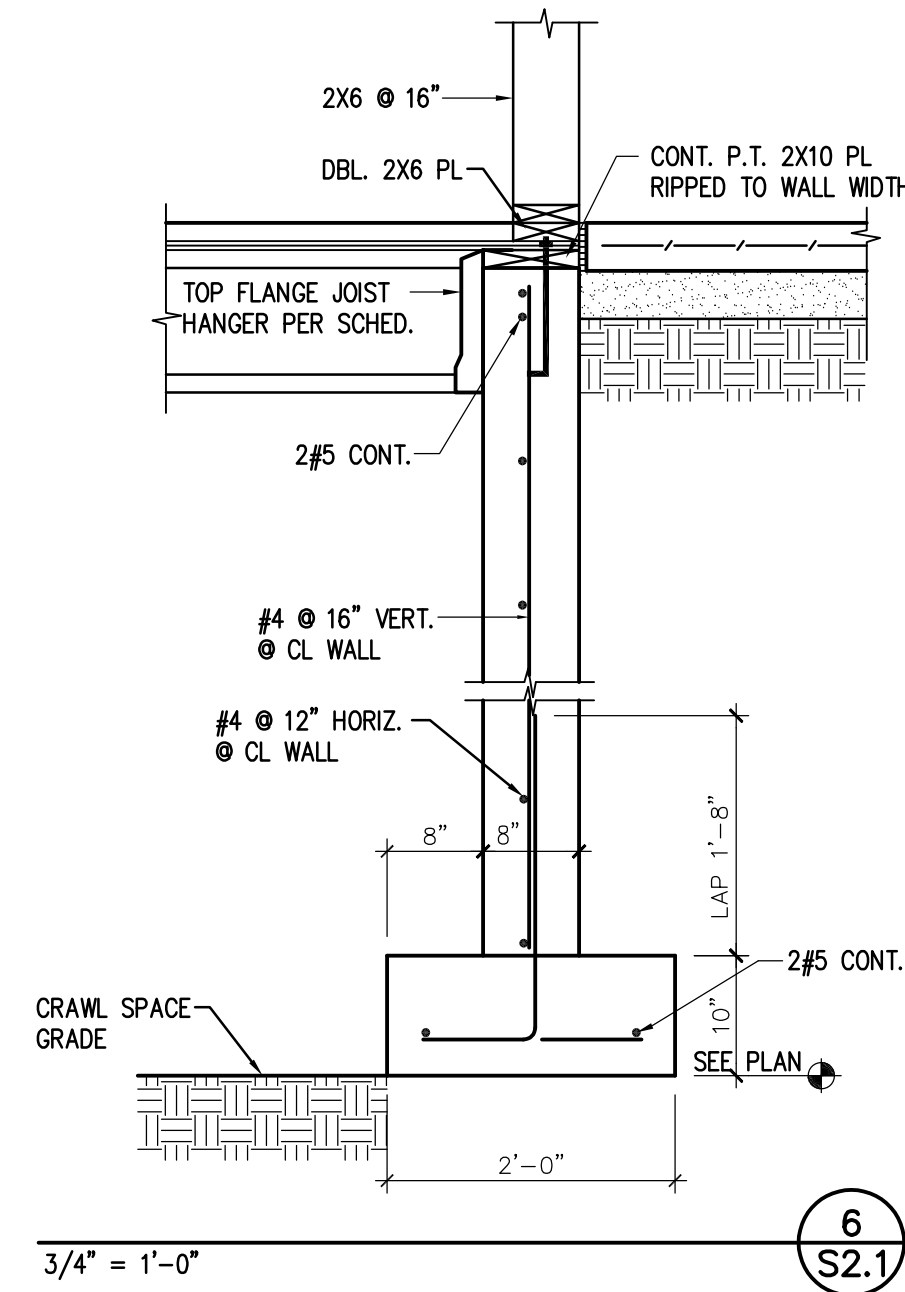
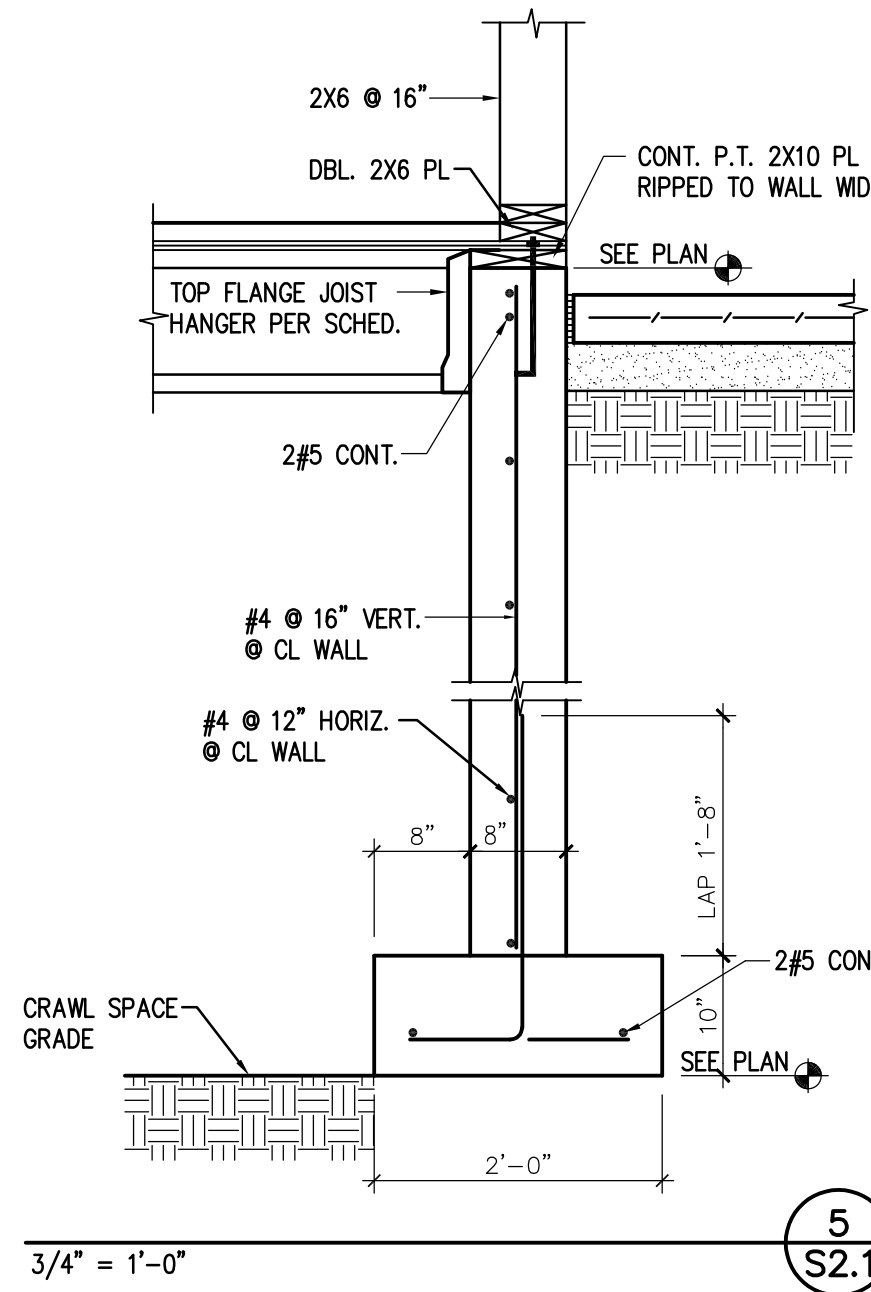
1. WOOD TRUSSES SHALL BE MANUFACTURED IN ACCORDANCE WITH THE TRUSS PLATE INSTITUTE REQUIREMENTS.
2. THE TRUSS MANUFACTURER SHALL PROVIDE SHOP DRAWINGS FOR REVIEW BY THE ARCHITECT AND ENGINEER PRIOR TO TRUSS FABRICATION.
3. TRUSS DESIGN AND CALCULATIONS SHALL BE SUBMITTED FOR REVIEW BY THE STRUCTURAL ENGINEER PRIOR TO FABRICATION AND SHALL BEAR THE STAMP OF A COLORADO REGISTERED PROFESSIONAL ENGINEER.
4. TRUSS MANUFACTURER SHALL DESIGN AND PROVIDE ALL TRUSS TO TRUSS CONNECTIONS, BLOCKING AND BRIDGING.
5. TRUSSES SHALL BE BRACED DURING CONSTRUCTION TO INSURE COMPLETE SAFETY AND STABILITY FOR ALL WIND AND GRAVITY LOADS.

DESIGN CRITERIA

1. ROOF: DEAD LOAD = 15 PSF, LIVE LOAD = 56 PSF (SNOW).
2. FLOORS: DEAD LOAD = 25 PSF, LIVE LOAD = 40 PSF.
3. DECKS: DEAD LOAD = 15 PSF, LIVE LOAD = 80 PSF.
4. WIND: 90 MPH, EXPOSURE "B".
5. FOUNDATION DESIGN BASED ON SOILS REPORT PREPARED BY LKP ENGINEERING, INC. JOB # 19-3369 DATED 11/14/19, USING AN ALLOWABLE SOIL BEARING PRESSURE OF 2,500 PSF BEARING ON OVER-EXCAVATED, COMPACTED ENGINEERED FILL. REFER TO THE PROJECT SOILS REPORT FOR ALL SOIL, EXCAVATION, FILL AND MATERIAL SPECIFICATIONS AND RECOMMENDATIONS. THE SOILS REPORT SHALL BECOME A PART OF THE PROJECT CONTRACT DOCUMENTS IN ITS ENTIRETY.
6. BUILDING CODE: 2015 IRC.
7. FROST DEPTH = 48".
8. SEISMIC DESIGN PER IBC 1603-1.5: Site Class D, Seismic Category B, Light Frame Walls with Shear Panels $I_e = 1.0$, $S_1 = 6.1\%$, $S_s = 20.0\%$, $S_d = 0.213$, $R = 7$ (light frame walls).



CONTINUOUS CONC. FOOTING AND WALL REINFORCING DETAILS

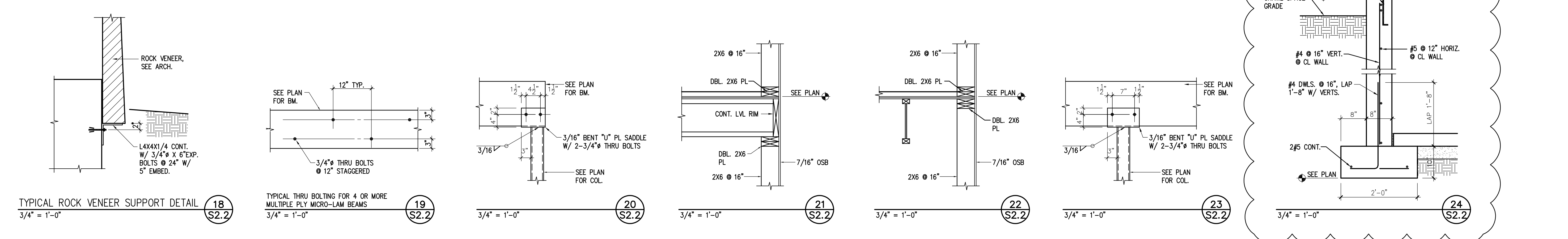
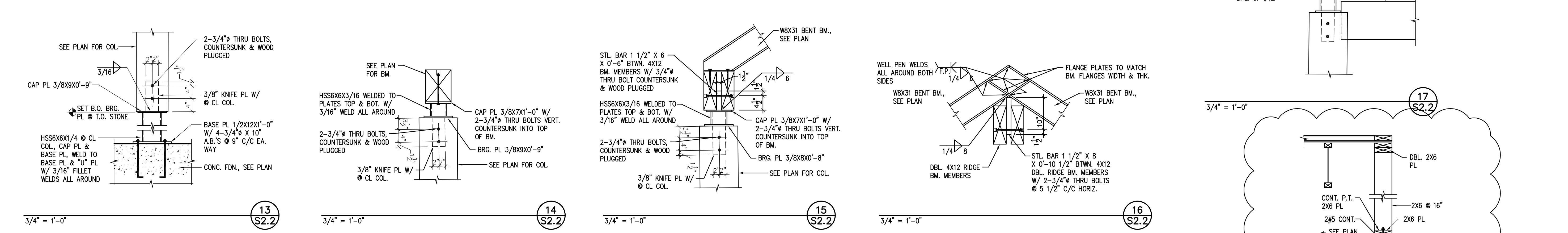
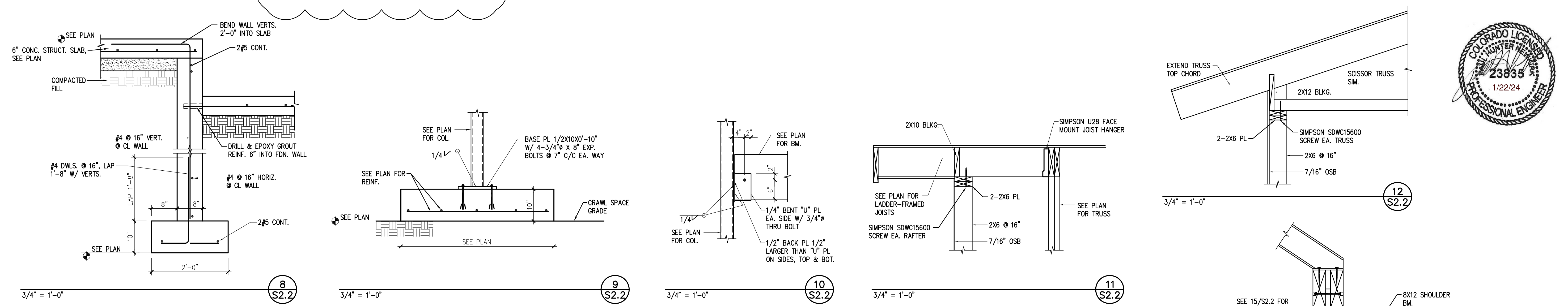
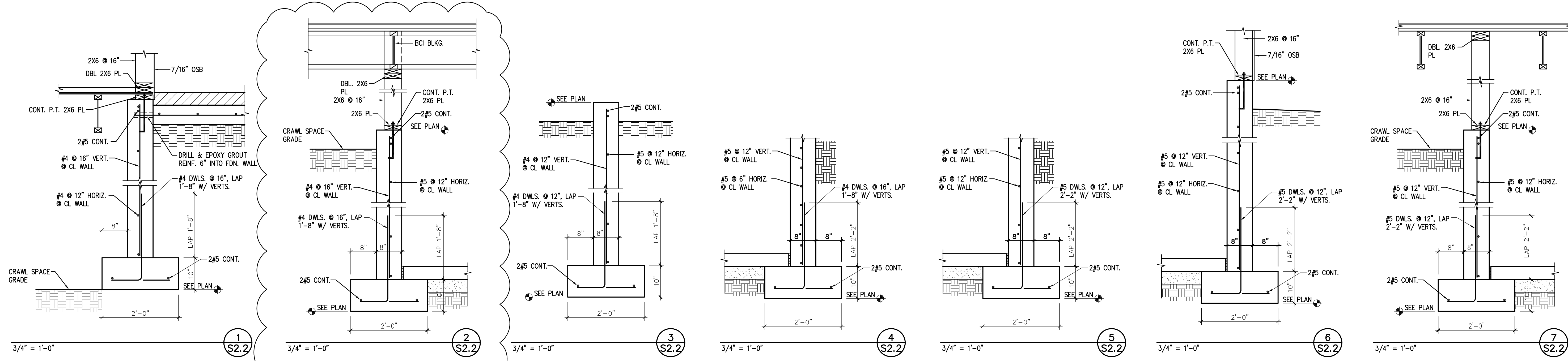


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WALKER & MILLER RESIDENCE
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P.O. BOX 3388
1143 CAPITOL STREET, SUITE 211
EAGLE, COLORADO 81631
970.382.3360 WWW.SSTAIACOM



PAUL H. NEWKIRK, P.E.
CONSULTING STRUCTURAL ENGINEERING
234 W. Bandera Rd., #353
Boerne, TX 78006
+512 998 870 1920/newkirk56@gmail.com

BLAKES & MILLEN RESIDENTENCE
0231 HARVESTOR COURT / LOT 33
UPLANDS AT EAGLE RANCH
EAGLE, COLORADO 81631

ISSUE: DATE:
REVIEW SET 05/12/21
PERMIT SET 06/11/21
BASEMENT REVISION 08/03/21

SCOTT S. TURNIPSEED AIA
ARCHITECTURE
& CONSTRUCTION INC.
P.O. BOX 3388
1143 CAPITOL STREET, SUITE 211
EAGLE, COLORADO 81611
970.382.3000 WWW.SSTAIACOM

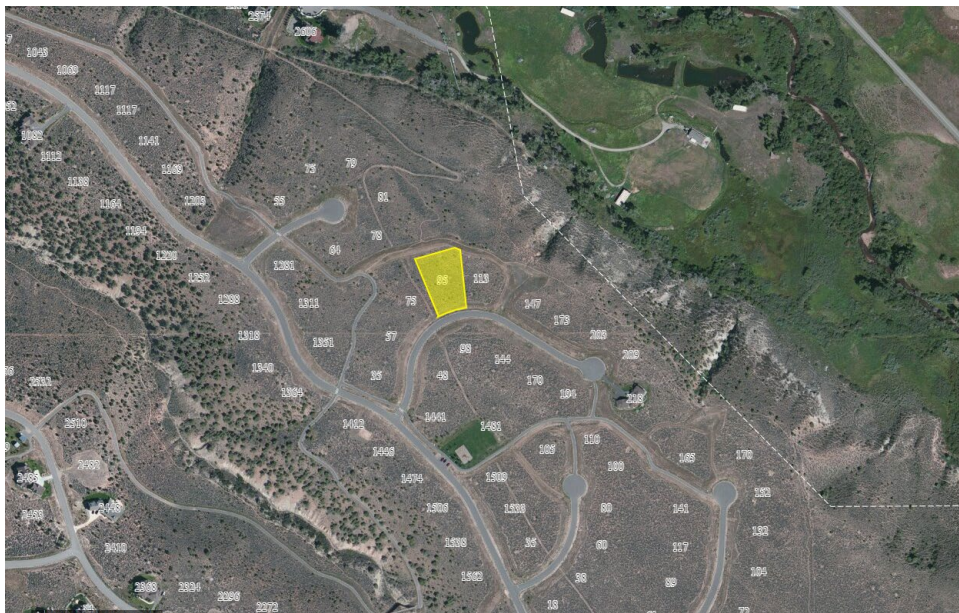


Design Review Memorandum Preliminary Review

Project Number: 25-00-25
Owner Name: Adam and Ann Marie Ostmeyer
Architect: Paul Roberts - Turnipseed, AIA
Address: 95 Mount Jackson Ct
Legal: EAGLE RANCH FILING 25 Lot: 25
Preliminary DRB Meeting Date: February 15, 2024

PROJECT OVERVIEW

- Lot Size: 35,561 sf
- Accessory Dwelling Unit: No
- Slopes in Excess of 30%: No
- Design Guidelines: The Highlands Ridgeline
- Style: Alpine Ranch
- Fire Suppression System: Refer to GERFPD and EVW for fire suppression requirements



LIMITATIONS

Standard	Allowed	Proposed
Floor Area Maximum	7,000 sf	4,609 sf
Floor Area Minimum	2,000 sf	Complies
Site Coverage	30% = 10,668 sf	5,689 sf
Impervious Area	50% = 17,780 sf	10,564 sf
Height	30 ft	Complies
Setbacks	25 ft front 25 ft rear 15 ft sides	Complies
Driveway Setback	7.5 ft from side property line	Complies
Development Disturbance	16,500 sf	16,404 sf

1. Site and Landscape Comments

- a. Generally, staff believes that the proposed site and landscape plan is consistent with the Highlands Ridgeline Design Guidelines.
- b. Provide cost estimate for final landscaping and irrigation and anticipated landscape completion date for Final Review.
- c. Refer to Colorado State Forest Service guidelines for defensible zones:
https://csfs.colostate.edu/wp-content/uploads/2021/04/2021_CSFS_HIZGuide_Web.pdf.
- d. Provide Address Marker location and details for Final Review.
- e. Include roof plan with ridge and eave heights on site plan to verify height compliance for Final Review.
- f. Adjacent to rear wooden deck, non-combustible border must be a minimum of 5'. *A continuous non-combustible inner border not less than 5 feet wide comprised of washed river cobble mulch placed over weed barrier under elevated decks, surrounding structures and associated landscaping is required.*
- g. Provide screening for condensing unit

2. Architecture Comments

- a. Generally, staff believe the proposed architecture is consistent with the Highlands Ridgeline Design Guidelines relative to the Alpine Ranch Style.
- b. Specify wood siding dimensions. 2.3.1.2 (1) *The reveal for wood siding (either horizontal or vertical) may not be less than 8 inches.*
- c. Clarify garage door materials.
- d. Is there attic space above kitchen and bedroom? Potential area of greater than 5' ceiling. Window shown on East elevation. No attic access indicated on floor plan or roof plan. Clarification needed. 2.1.1 (1) *Dead spaces 5'-0" or more that could be accessible will count toward the overall square footage.*
- e. Further explanation about "future stairs" noted on garage floor plan needed. Show attic access if applicable. Include attic area with ceiling height above 5' on

floor area calculations. On roof plan, show attic area with ceiling over 5' as walls below. Clarification needed. 2.1.1 (1) *Dead spaces 5'-0" or more that could be accessible will count toward the overall square footage.*

- f. Show exterior light locations on elevations.
- g. 3.5.2.2 *Secondary roofs over building components such as porches and dormers may have lesser pitches, down to a minimum of 2:12.* Current secondary roofs over front porch and rear deck are shown at 1:12 pitch with parapet and general appearance of a flat roof. **Staff requests DRB input.**
- h. 2.3.3.2 (5) *Windows set in rustic barn wood siding or metal may be installed without window trim if approved by the DRB.* Current window detail calls for no window trim at vertical wood siding. **Staff requests DRB input.**

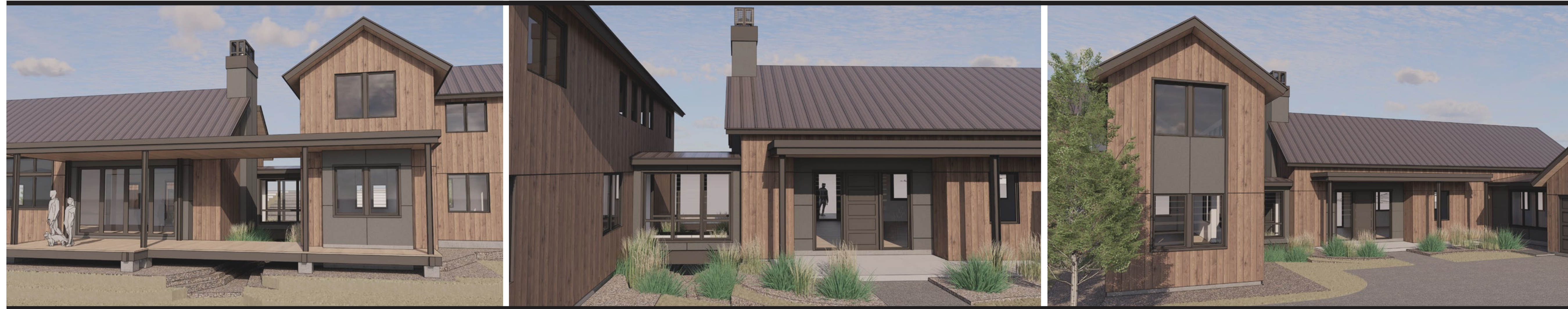
3. Staff Recommendation

Staff recommends approval of the Preliminary Plan Review for the Ostmeyer Residence with the following conditions:

1. General Condition: Compliance with the Eagle Ranch Design Guidelines and process is not a substitute for compliance with Town of Eagle regulations, State regulations, or Federal regulations. Additional permits and approvals may be required by these agencies prior to commencing any work on the property. The property owner and its agents are responsible for ensuring compliance with all local, state, and federal regulations.
2. The applicant shall address the comments provided in this staff memorandum and any DRB comments prior to submittal for Final Plan Review.

OSTMEYER RESIDENCE

EAGLE RANCH - HIGHLANDS RIDGELINE - ALPINE RANCH
95 MOUNT JACKSON COURT - LOT 25



PROJECT TEAM

ARCHITECT

SCOTT S. TURNIPSEED AIA
ARCHITECTURE & CONSTRUCTION, INC.
1143 CAPITOL STREET, SUITE 211
P.O. BOX 3388
EAGLE, COLORADO 81631
T (970) 328-3900
PAUL ROBERTS
paul@sstaiia.com
970-470-0856

CONTRACTOR

SOUTH FORK BUILDERS, LLC
ADAM OSTMEYER
970-443-9427
adam@southforkbuilders.net

STRUCTURAL ENGINEER

NEWKIRK STRUCTURAL
ENGINEERS, INC.
PAUL NEWKIRK
T (210) 380-1837
newkirk56@gmail.com

CIVIL ENGINEER

ARCHIBEQUE LAND CONSULTING
TED ARCHIBEQUE, PE
OFFICE :970-328-6020
info@prolandsurvey.com

LANDSCAPE ARCHITECT

DENNIS ANDERSON
PO BOX 1387
EDWARDS, CO 81632
970-390-3745
daai@7comcast.net

SOILS ENGINEER

LKP ENGINEERING, INC.
LUIZA PETROVSKA, PE
CELL :970-390-0307
luiza@lkpeng.com
www.lkpengengineering.com

GENERAL NOTES:

THERMAL ENVELOPE INSULATION REQUIREMENTS:

ROOFS: R-60
WALLS, ABOVE GRADE: R-20 +5ci or R-13 + 10ci
WALLS BELOW GRADE: R-15ci or 19 or R-13 + 5ci
FLOORS: R-30
SLAB ON GRADE FLOORS: R-10ci, 4ft.
note: 'ci' = continuous insulation

TOWN OF EAGLE:
2021 IBC
2021 IRC
2021 IECC

Situs Address 000095 MOUNT JACKSON CT
Tax Area SC168 - EAGLE RANCH - SC168
Parcel Number 2109-104-05-015
Legal Summary Subdivision: EAGLE RANCH FILING
25

Lot: 25
200720142 MAP 07-31-07
200720144 SIA 07-31-07
200723369 DEC 09-04-07
Owner Name OSTMEYER, ADAM BENJAMIN & ANNE
MARIE
Owner Address PO BOX 5755
EAGLE, CO 81631-5755

BEDROOMS: 5
BATHS: 5+ 1 POWDER
GARAGE: 3 CAR

-AUTOMATIC WINDOW SHADES: TBD

-FORCED AIR HEATING / COOLING SYSTEM:
TBD

-EXTERIOR LIGHTING:
DARK SKY COMPLIANT.

-LIGHTING CONTROL SYSTEM:
TBD

-FIREPLACE: TBD

FLOOR AREAS / SQUARE FOOTAGES

MAIN LEVEL:

SQUARE FOOTAGES:
MAIN LEVEL FINISHED S.F. = 2,802 S.F.
MAIN LEVEL UN-FINISHED @ GARAGE = 833 S.F.

UPPER LEVEL:

SQUARE FOOTAGES:
UPPER LEVEL FINISHED S.F. = 965 S.F.

TOTALS:

ALL FINISHED TOTALS = 3,767 S.F.
ALL UN-FINISHED TOTALS = 833 S.F.
ALL FINISHED AND UN-FINISHED TOTALS = 4,600 S.F.

SITE AREAS / IMPERVIOUS COVERAGES:

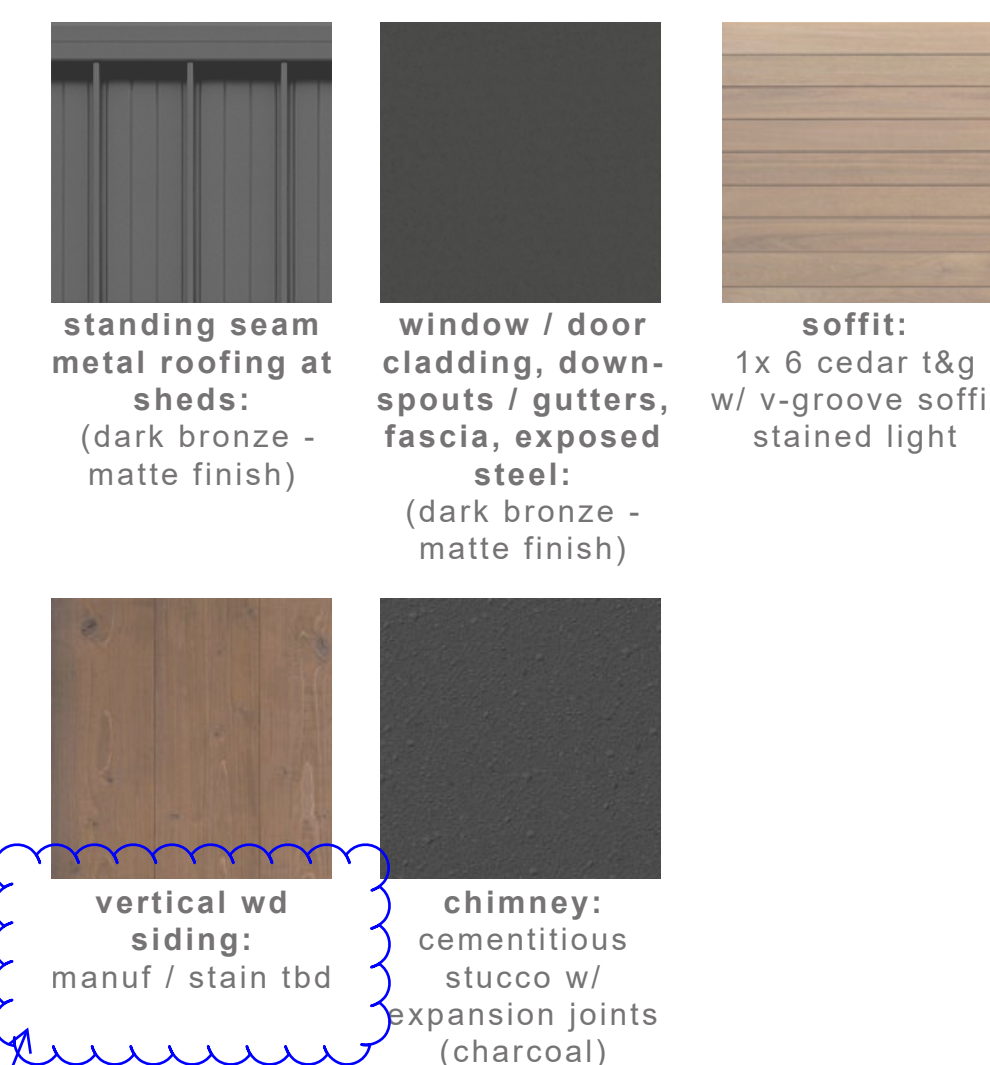
LOT 25 TOTAL S.F. = 35,545 S.F.
BUILDING FOOTPRINT (ALL PATIOS INCL.) = 3,916 S.F.
IMPERVIOUS SURFACES (DRIVEWAY) = 2,177 S.F.
TOTAL IMPERVIOUS = 6,094 S.F.
% OF COVERAGE = 17.1% +/-

EXTERIOR PATIO AREAS / SQUARE FOOTAGES:

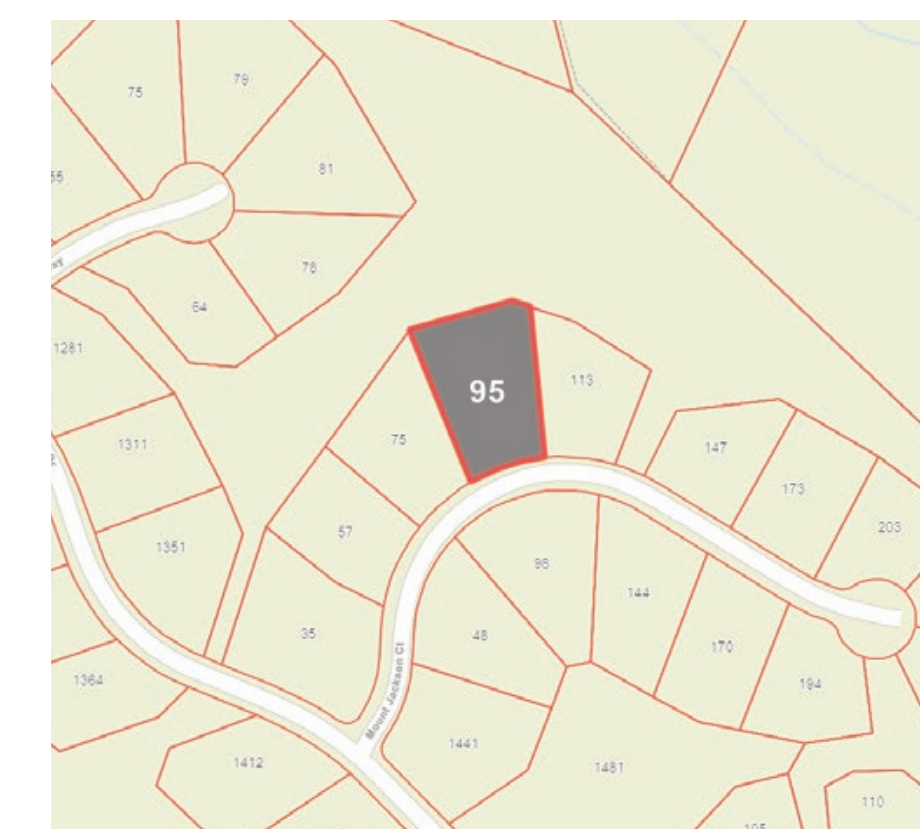
MAIN LEVEL ALL EXTERIOR PATIOS @ ALL COVD & UN-COVD
S.F. = 274 S.F.

Specify wood siding
dimensions. 2.3.1.2 (1) The
reveal for wood siding (either
horizontal or vertical) may not
be less than 8 inches.

EXTERIOR MATERIALS



VICINITY MAP



DRAWING INDEX (ARCHITECTURAL)

A0.0 COVER SHEET / PROJECT INFO
A0.1 TOPOGRAPHIC SURVEY

A1.0 SITE PLAN
L-1 LANDSCAPE PLAN
A1.1 EXTERIOR LIGHTING PLANS
A1.2 CONSTRUCTION MANAGEMENT
PLAN

A2.0 MAIN FLOOR PLAN
A2.1 UPPER LEVEL FLOOR PLAN
A2.2 ROOF PLAN

A3.0 EXTERIOR ELEVATIONS
A3.1 EXTERIOR ELEVATIONS

A4.0 BUILDING SECTIONS
A4.1 BUILDING SECTIONS

A5.0 DETAILS
A5.1 DETAILS
A5.2 WINDOW DETAILS / ELEVATIONS

A6.0 MAIN LEVEL RCP PLAN
A6.1 UPPER LEVEL RCP PLAN

A7.0 MAIN LEVEL ELECTRICAL PLAN
A7.1 UPPER LEVEL ELECTRICAL PLAN

A8.0 PERSPECTIVES

DRAWING INDEX (STRUCTURAL)

S1.1 FOUNDATION FRAMING PLAN
S1.2 MAIN LEVEL FRAMING PLAN
S1.3 ROOF FRAMING PLAN

S2.1 DETAILS
S2.2 DETAILS

TOWN OF EAGLE BUILDING DEPARTMENT

PHYSICAL ADDRESS
200 BROADWAY
PO BOX 609
EAGLE, CO 81631

EDDIE WILSON CBO
BUILDING OFFICIAL
EDDIE.WILSON@TOWNOFEAGLE.ORG
PHONE: (970) 328-9657

2021 - IBC
2021 - IRC
2021 - IECC

ENERGY CODE REQUIRED - BLOWER DOOR TESTING
IRC N1102.4.1.2
RADON MITIGATION REQUIRED - IRC AF103
WHOLE HOME VENTILATION SYSTEM REQUIRED - IRC
M1507.1, N1103.6



OSTMEYER RESIDENCE
95 MOUNT JACKSON COURT
LOT 25, EAGLE RANCH - HIGHLANDS
EAGLE, COLORADO

ISSUE	DATE
PRE-DESIGN	231218
PRELIMINARY	240205

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970.328.3900 WWW.SSTAIA.COM

A0.0
COVER SHEET
PROJECT INFO

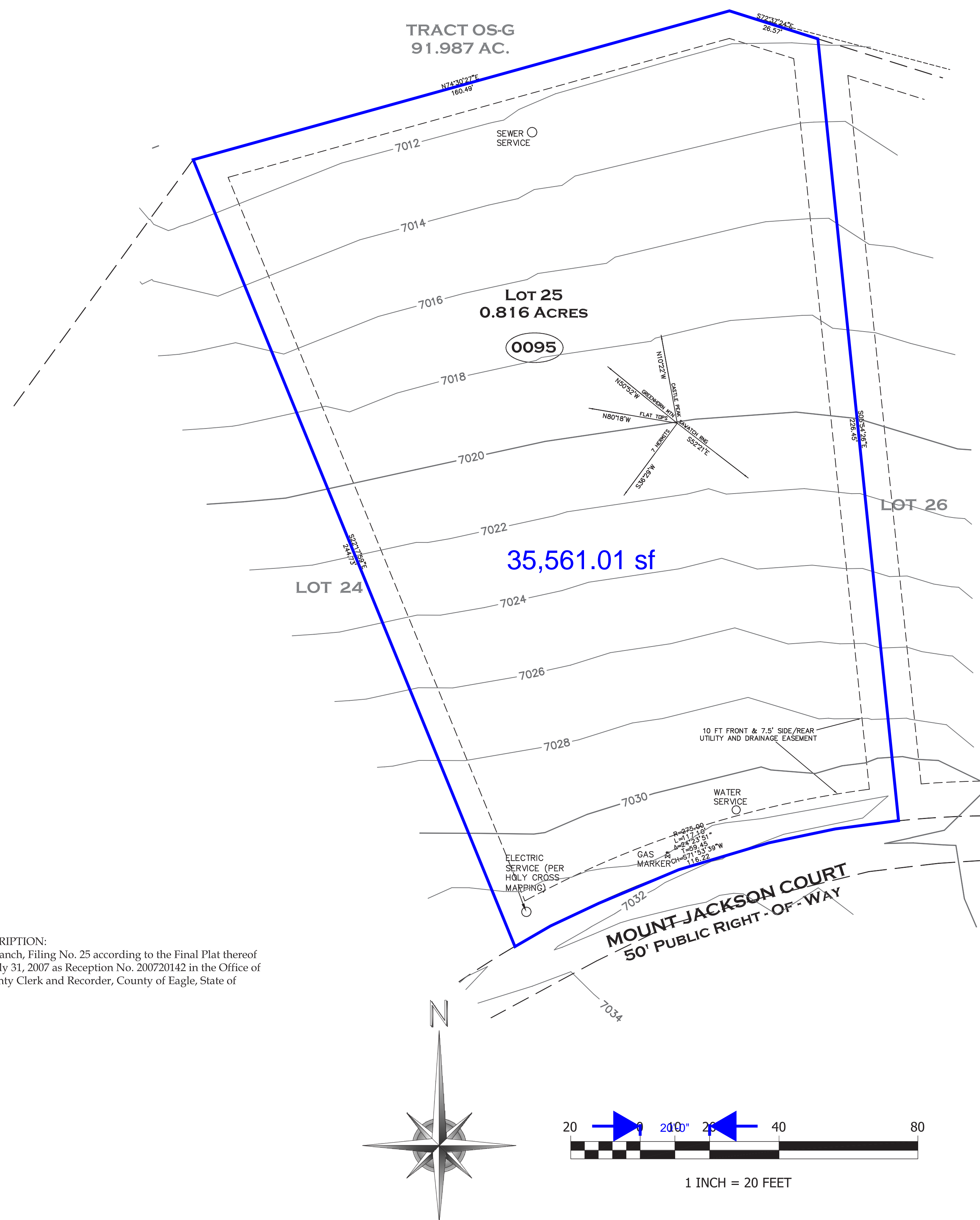
IMPROVEMENT LOCATION CERTIFICATE

IN ACCORDANCE WITH C.R.S. 38-51-108 (EFFECTIVE JULY 1, 2013)

THIS CERTIFICATE IS VALID ONLY FOR USE BY:

BUYER/BORROWER: VICTORIA E GIMENEZ AND ALFREDO JOSE TRISINI

SELLER/OWNER: EAGLE RANCH LOT INVESTORS LLC



LEGAL DESCRIPTION:
Lot 25 Eagle Ranch, Filing No. 25 according to the Final Plat thereof as recorded July 31, 2007 as Reception No. 200720142 in the Office of the Eagle County Clerk and Recorder, County of Eagle, State of Colorado.

NOTES:

- 1) Street Address: 95 MOUNT JACKSON COURT, EAGLE, CO 81631 - Not Posted
- 2) Legal description record easements, setbacks, and record deed lines were derived from the hereon referenced plat and title commitment Order Number: V50063923-3. Improvements and apparent deed line locations are based upon monuments, or other boundary evidence, found during the time the fieldwork was performed. Pertaining to said title commitment Schedule B-2, this property is subject to the following and shown graphically hereon where able:
 12. TERMS, CONDITIONS, RESTRICTIONS AND RESERVATIONS AS CONTAINED IN DEEDS RECORDED JANUARY 31, 1979 IN BOOK 281 AT PAGE 399 AND APRIL 3, 1979 IN BOOK 283 AT PAGE 737.
 13. EASEMENT FOR EASEMENT IMPROVEMENTS FOR ACCESS AND INCIDENTAL PURPOSES GRANTED TO THE COLORADO RIVER & EAGLE COMPANY BY THE INSTRUMENT RECORDED SEPTEMBER 20, 1983 IN BOOK 368 AT PAGE 652.
 14. RIGHT OF WAY EASEMENT AS GRANTED TO ROCKY MOUNTAIN NATURAL GAS COMPANY IN INSTRUMENT RECORDED NOVEMBER 18, 1983 IN BOOK 373 AT PAGE 261 AND EASEMENT AGREEMENT RECORDED DECEMBER 1, 1994 IN BOOK 656 AT PAGE 213 AND AS SHOWN ON SURVEY RECORDED DECEMBER 15, 1995 IN BOOK 683 AT PAGE 807.
 15. RIGHT OF PROPRIETOR OF A VEIN OR LODGE TO EXTRACT AND REMOVE HIS ORE THEREFROM SHOULD THE SAME BE FOUND TO PENETRATE OR INTERSECT THE PREMISES AS RESERVED IN UNITED STATES PATENTS RECORDED AUGUST 18, 1994 IN BOOK 648 AT PAGE 125.
 16. RIGHT OF WAY FOR DITCHES OR CANALS CONSTRUCTED BY THE AUTHORITY OF THE UNITED STATES AS RESERVED IN UNITED STATES PATENTS RECORDED AUGUST 18, 1994 IN BOOK 648 AT PAGE 125.
 17. RESTRICTIVE COVENANTS, WHICH DO NOT CONTAIN A FORFEITURE OR REVERTER CLAUSE, BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY, BASED UPON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, HANDICAP, NATIONAL ORIGIN, ANCESTRY, OR SOURCE OF INCOME, AS SET FORTH IN APPLICABLE STATE OR FEDERAL LAWS, EXCEPT TO THE EXTENT THAT SAID COVENANT OR RESTRICTION IS PERMITTED BY APPLICABLE LAW AS CONTAINED IN INSTRUMENT RECORDED JUNE 23, 1999, UNDER RECEPTION NO. 700815 AND SUPPLEMENT THERE TO RECORDED OCTOBER 29, 2007 UNDER RECEPTION NO. 200728661.
 18. TERMS, CONDITIONS AND PROVISIONS OF ANNEXATION AGREEMENT RECORDED APRIL 12, 1999 AT RECEPTION NO. 692227 AND ANNEXATION PLAT RECORDED MAY 9, 2003 AT RECEPTION NO. 832809 AND SECOND AGREEMENT RELATING TO ANNEXATION RECORDED MARCH 19, 2003 AT RECEPTION NO. 832905 AND RECORDED JUNE 23, 2003 AT RECEPTION NO. 834536 AND RECORDED JUNE 6, 2003 AT RECEPTION NO. 835920 AND AN ORDINANCE APPROVING THIRD AMENDMENT RECORDED JUNE 21, 2004 AT RECEPTION NO. 878113 AND ORDINANCE APPROVING FOURTH AMENDMENT.
 19. RIGHT OF WAY EASEMENT BEING 35 FEET IN WIDTH AS GRANTED TO ROCKY MOUNTAIN NATURAL GAS IN INSTRUMENT RECORDED FEBRUARY 21, 2002 RECEPTION NO. 786855.
 20. RIGHT OF WAY EASEMENT BEING 50 FEET IN WIDTH AS GRANTED TO ROCKY MOUNTAIN NATURAL GAS COMPANY AND PUBLIC SERVICE COMPANY OF COLORADO IN INSTRUMENT RECORDED FEBRUARY 21, 2002 RECEPTION NO. 786856.
 21. TERMS, CONDITIONS AND PROVISIONS OF RECIPROCAL EASEMENT AND DEVELOPMENT AGREEMENT RECORDED MARCH 05, 2003 AT RECEPTION NO. 825508 AND PARTIAL VACATION OF EASEMENT RECORDED AUGUST 9, 2005 AT RECEPTION NO. 925537 AND VACATION OF EASEMENT RECORDED JULY 18, 2007 AT RECEPTION NO. 200718979.
 22. TERMS, CONDITIONS AND PROVISIONS OF TRENCH, CONDUIT AND VAULT AGREEMENT RECORDED AUGUST 11, 2005 AT RECEPTION NO. 925865.
 23. TERMS, CONDITIONS AND PROVISIONS OF TOWN OF EAGLE ORDINANCE AND EAGLE RANCH PUD WILDLIFE MITIGATION AND ENHANCEMENT PLAN RECORDED OCTOBER 16, 2006 AT RECEPTION NO. 200628239 & 200628240.
 24. TERMS, CONDITIONS AND PROVISIONS OF SUBDIVISION IMPROVEMENTS AGREEMENT RECORDED JULY 31, 2007 AT RECEPTION NO. 200720144.
 25. EASEMENTS, CONDITIONS, COVENANTS, RESTRICTIONS, RESERVATIONS AND NOTES ON THE PLAT OF EAGLE RANCH, FILING NO. 25 RECORDED JULY 31, 2007 AT RECEPTION NO. 200720142.
 26. TERMS, CONDITIONS AND PROVISIONS OF THE EAGLE RANCH PLANNED UNIT DEVELOPMENT GUIDE RECORDED JUNE 26, 2013 UNDER RECEPTION NO. 201312976.
- 3) Date of Field Work: December 2021
- 4) This Improvement Location Certificate was prepared for the exclusive use of those parties certified to herein, and is valid only if print has original seal and signature of surveyor.
- 5) Lineal Units of the U.S. Survey Foot were used herein.

C.R.S. 38-51-108 (Effective July 1, 2013)

IMPROVEMENT LOCATION CERTIFICATE

I hereby certify that this Improvement Location Certificate was prepared for

Buyer/Borrower: VICTORIA E GIMENEZ AND ALFREDO JOSE TRISINI

Seller/Owner: EAGLE RANCH LOT INVESTORS LLC

that this is NOT a Land Survey Plat, or Improvement Survey Plat, and that it is not to be relied upon for the establishment of fence, building, or other future improvement lines.

THIS CERTIFICATE IS VALID ONLY FOR USE BY

Buyer/Borrower: VICTORIA E GIMENEZ AND ALFREDO JOSE TRISINI

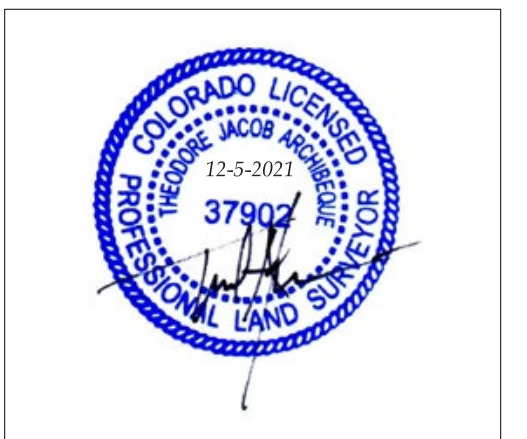
Seller/Owner: EAGLE RANCH LOT INVESTORS LLC

AND DESCRIBES THE PARCEL'S APPEARANCE ON

DECEMBER 5, 2021

I further certify that the improvements on the above described parcel on this date, DECEMBER 5, 2021, except for utility connections, are entirely within the boundaries of the parcel, except as shown, that there are no encroachments upon the described premises by improvements on any adjoining premises, except as indicated, and there is no apparent evidence or sign of any easement crossing or burdening any part of said parcel, except as shown.

PRELIMINARY 242025



Theodore J. Archibeque PLS 37902
Colorado Professional Land Surveyor

1
A0.1 ILC SURVEY
1" = 20'-0"

IMPROVEMENT LOCATION CERTIFICATE			
LOT 25, EAGLE RANCH FILING NO. 25,			
COUNTY OF EAGLE, STATE OF COLORADO			
DRAWN BY:	TJA	DRAWING NAME:	12146_ILC 95 MOUNT JACKSON CT.dwg
SHEET	1 of 1	DATE:	12-5-2021
		CHECKED BY:	SWB

Archibeque Land Consulting, Ltd

~ Professional Land Surveying & Mapping ~

970.328.6020 Office INFO@PROLANDSURVEY.COM

NOTICE: According to Colorado law you must commence any legal action based upon any defect in this survey within three years after you first discovered such defect. In no event, may any action based upon any defect in this survey be commenced more than ten years from the date of certification shown hereon. Additionally, this document is prepared for the sole purpose of use by the parties stated herein. The improvements are generally situated as shown and only apparent (visible at the time of fieldwork) improvements and encroachments are noted. Archibeque Land Consulting, Ltd., its owner(s) and employee(s) will not be liable for more than the cost of this document, and then only to the parties specifically shown hereon. Acceptance and/or use of this document for any purpose constitutes acknowledgment and agreement to all terms stated herein.



OSTMEYER RESIDENCE

95 MOUNT JACKSON COURT
LOT 25, EAGLE RANCH - HIGHLANDS
EAGLE, COLORADO

ISSUE	DATE
PRE-DESIGN	231218
PRELIMINARY	240205

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EAGLE, COLORADO 81631
970.328.3900 WWW.SSTAIA.COM

L-1 LANDSCAPE PLAN

PRELIMINARY SUBMITTAL, FEBRUARY 5TH, 2024

Site and Improvements Calculations Table

Eagle Ranch Design Review Board
P.O. Box 5905 - Eagle, CO 81631
(970) 328-2174

Filing/Block/Lot: **E25/L-25** Submittal Date: **2.5.24**
Home site Address: **95 MOUNT JACKSON COURT** DRB Administrator Checked: **Initial and date**

LOT DISTURBANCE:			
Description	Sq. Ft.	Acres	% Lot
Lot Area	25,545	0.16	100%
Area Disturbed by Construction	16,200	0.14	45.47%

SITE COVERAGE:			
Description	Sq. Ft.	Acres	% Lot
Primary Residence Footprint	3,643	0.14	14.2%
Out-building Footprint(s)	—	—	—
Other Impervious Areas	2,451	0.10	9.6%
Total Impervious Coverage	6,094	0.24	23.8%

BUILDING AREA CALCULATIONS			
Building Area	Finished Sq. Ft.	Unfinished Sq. Ft.	Note
Primary Dwelling Unit:	3,767	833	Name and provide Data for each floor level.
Subtotal PFI Living Space	3,767	833	(MAIN LVL FIN: 3,802) (UPPER LVL FIN: 965) (MAIN LVL UN FIN: 833)
Garage	—	—	
Accessory Dwelling Unit	—	—	Min. 850 sq. ft. per PFI1111 Refer to guidelines, each neighborhood for restrictions and exclusions.
Out-Buildings	—	—	
Subtotal's Finished/Unfinished sq. ft.	3,767	833	
Total Finished + Unfinished Sq. Ft.	4,600 SF		

IRRIGATION AREAS:			
Description	Sq. Ft.	% Lot	Note
Permanent Sprinkler Irrigation	300	1.2%	measured area under sprinkler irrigation
Permanent Drip Irrigation	500	2.0%	measured area under drip irrigation < 0.6
Total Permanent Irrigation	800 SF	3.2%	Max to exceed 50% of Lot Area
Temporary Irrigation	2,000 SF	7.8%	All residual disturbed soils < 1 to 2 growing seasons for healthy vegetation

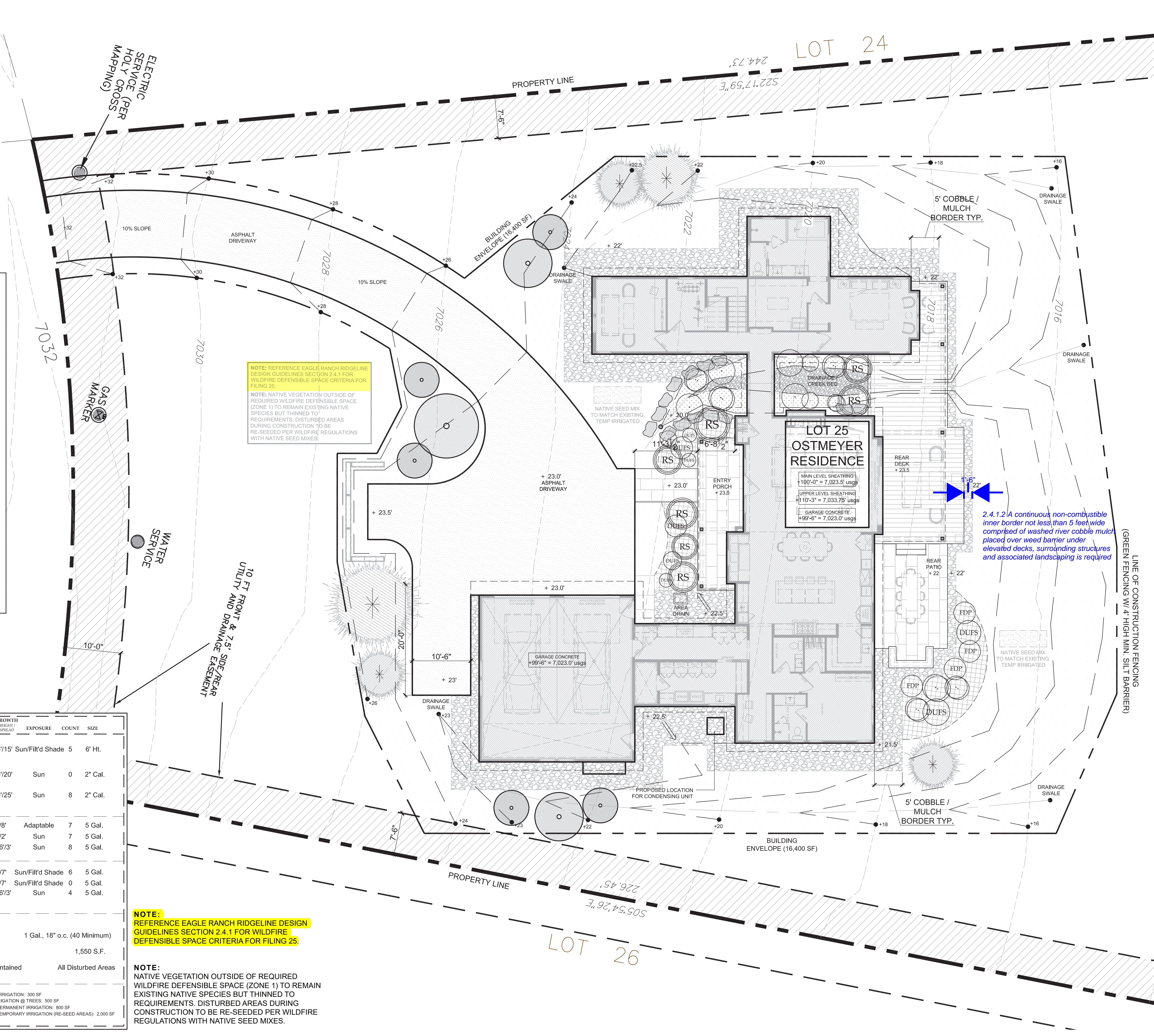
Prepared by: **PAUL ROBERTS** Owner Signature: _____
Print Name: _____ Date: _____

- 2 SITE CALCULATIONS
- L-1 NTS
- 1 LANDSCAPE PLAN
- L-1 1/8" = 1'-0"

SYMBOL	COMMON NAME	SCIENTIFIC NAME	FLOWER	GROWTH HEIGHT/SPREAD	EXPOSURE	COUNT	SIZE
TREES							
	Colorado Spruce	XXXX	None	25'/15'	Sun/Full'd Shade	5	6' Ht.
	Flowering Crabapple	Malus sp. 'Dolga'	Pink	15'/20'	Sun	0	2" Cal.
	Quaking Aspen	Populus tremuloides	None	35'/25'	Sun	8	2" Cal.
SHRUBS							
	Russian Sage Mix			8'/8'	Adaptable	7	5 Gal.
	Mckay White Potentilla			2'/2'	Sun	7	5 Gal.
	Dwarf Ural False Spirea			3-6'/3'	Sun	8	5 Gal.
GRASSES							
	Varigated Dogwood			5'/7'	Sun/Full'd Shade	6	5 Gal.
	Blue Avena Grasses			5'/7'	Sun/Full'd Shade	0	5 Gal.
	Feathering Duke Potentilla			3-6'/3'	Sun	4	5 Gal.
GROUND COVER							
	Mixed Perennials					1 Gal., 18" o.c. (40 Minimum)	
	Washed River Cobble Mulch Over Weed Barrier (5' wide)						1,550 S.F.
	Native Grass Mix to Match Existing Grasses, Temp Irrigated & Maintained						All Disturbed Areas
IRRIGATION CHART							
SPRAY IRRIGATION: 300 SF DRIP IRRIGATION @ TREES: 500 SF TOTAL PERMANENT IRRIGATION: 800 SF TOTAL TEMPORARY IRRIGATION (RE-SEED AREAS): 2,000 SF							

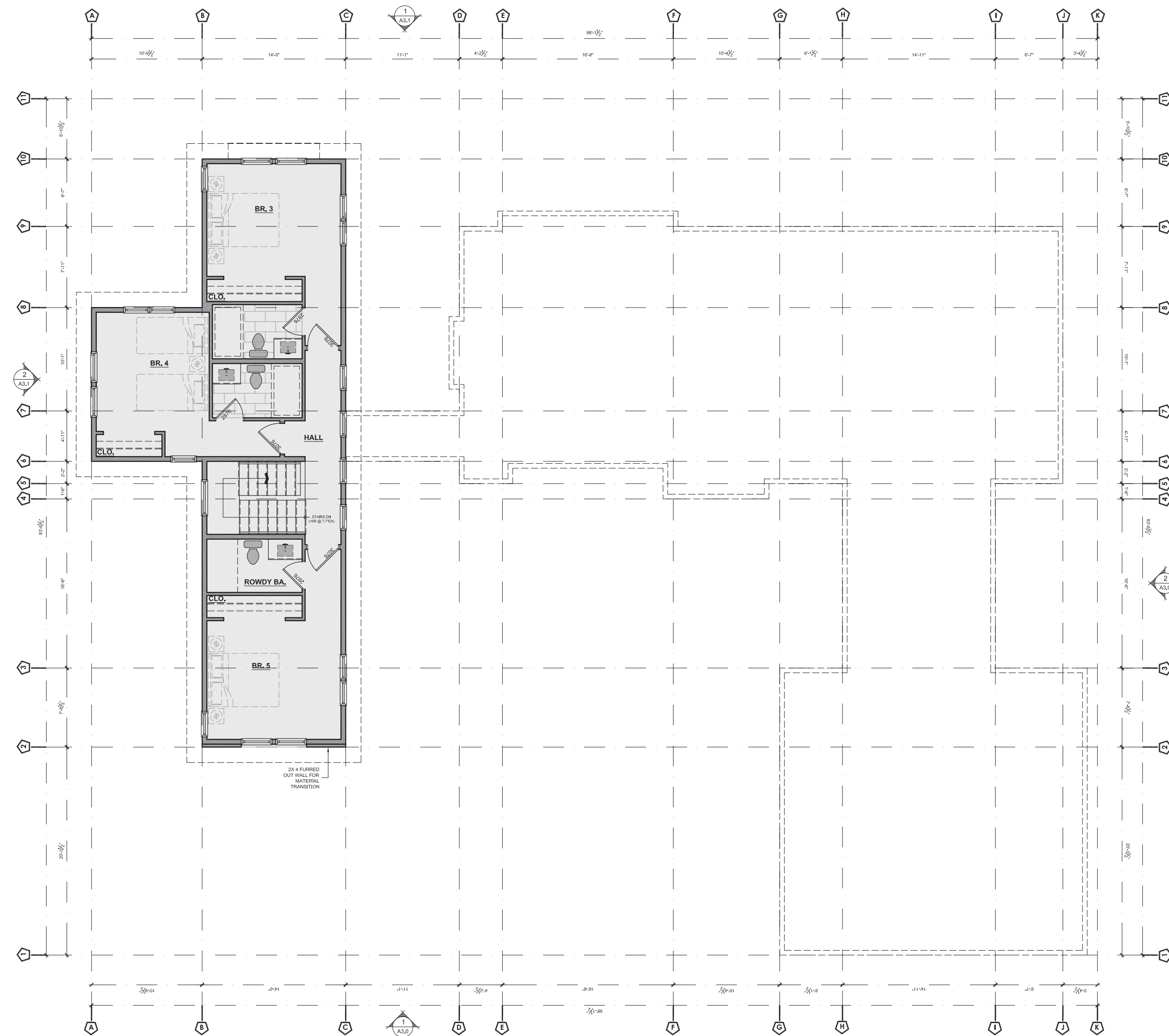
NOTE: REFERENCE EAGLE RANCH RIDGELINE DESIGN GUIDELINES SECTION 2.4.1 FOR WILDFIRE DEFENSIBLE SPACE CRITERIA FOR FILING 25.

NOTE: NATIVE VEGETATION OUTSIDE OF REQUIRED WILDFIRE DEFENSIBLE SPACE (ZONE 1) TO REMAIN EXISTING NATIVE SPECIES BUT THINNED TO REQUIREMENTS. DISTURBED AREAS DURING CONSTRUCTION TO BE RE-SEEDED PER WILDFIRE REGULATIONS WITH NATIVE SEED MIXES.



NOTE: REFERENCE EAGLE RANCH RIDGELINE DESIGN GUIDELINES SECTION 2.4.1 FOR WILDFIRE DEFENSIBLE SPACE CRITERIA FOR FILING 25.
NOTE: NATIVE VEGETATION OUTSIDE OF REQUIRED WILDFIRE DEFENSIBLE SPACE (ZONE 1) TO REMAIN EXISTING NATIVE SPECIES BUT THINNED TO REQUIREMENTS. DISTURBED AREAS DURING CONSTRUCTION TO BE RE-SEEDED PER WILDFIRE REGULATIONS WITH NATIVE SEED MIXES.

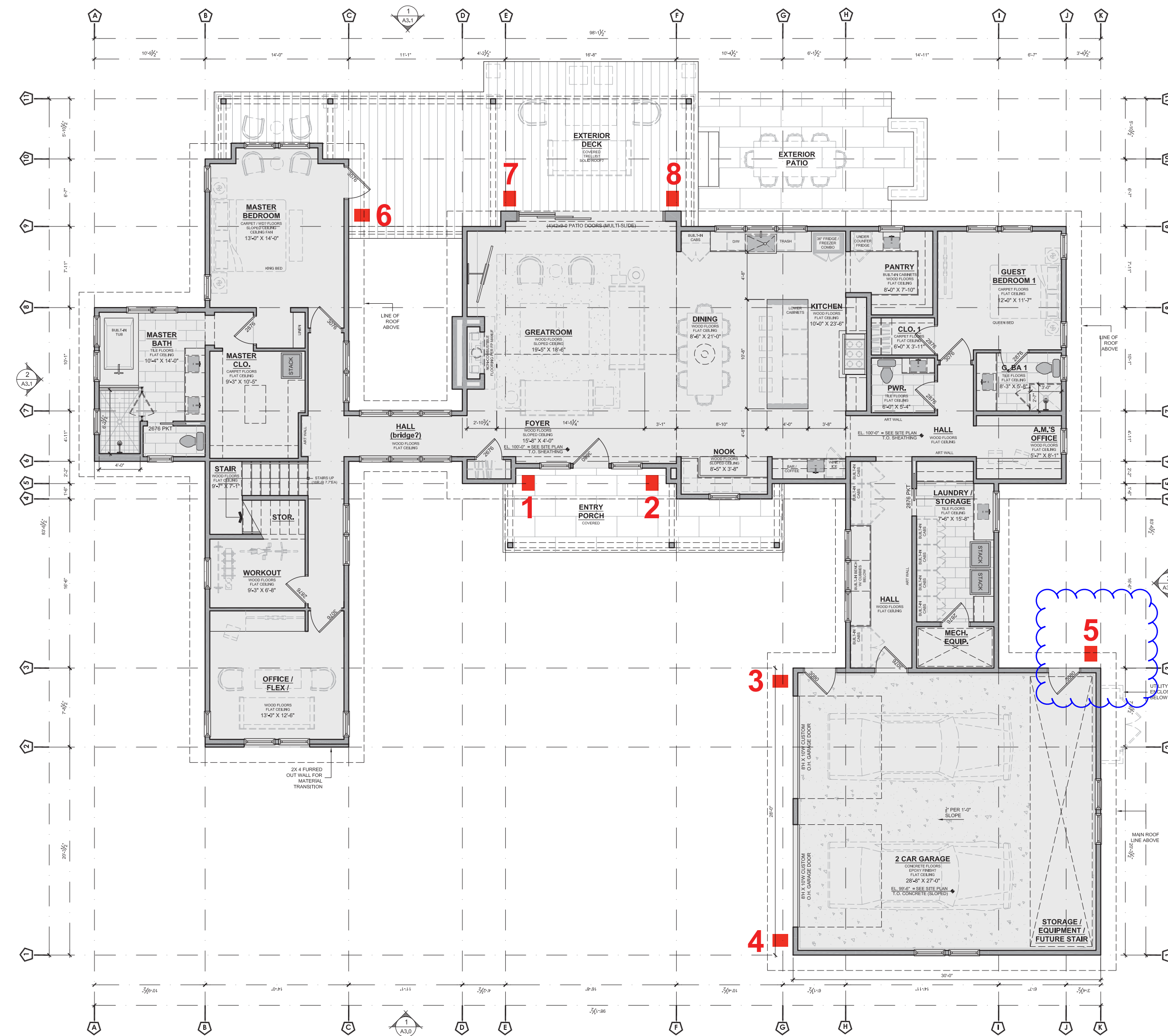
2.4.1.2 A continuous non-combustible inner border not less than 5 feet wide comprised of washed river cobble mulch placed over weed barrier under elevated decks, surrounding structures and associated landscaping is required



2 EXT. LIGHTING UPPER LEVEL
A1.2 1/8" = 1'-0"

NOTE: ALL EXTERIOR FIXTURES TO BE 6'-8" MIN. AFF

REFERENCE SHEETS A7.0 & A7.1 FOR ELECTRICAL PLANS



1 EXT. LIGHTING MAIN LEVEL
A1.2 1/8" = 1'-0"

NOTE: ALL EXTERIOR FIXTURES TO BE 6'-8" MIN. AFF **Show light fixtures on elevations.**

REFERENCE SHEETS A7.0 & A7.1 FOR ELECTRICAL PLANS

SPECIFICATIONS:



- 6" WIDE X 6" HIGH X EXTENDS 6 3/4" FROM THE WALL X BACKPLATE IS 4 1/2" WIDE.
- INTEGRATED 8 WATT LED MODULE; 2700K; 90 CRI; 600 LUMENS; COMPARABLE TO A 60 WATT INCANDESCENT.
- KUBE CONTEMPORARY ENERGY-EFFICIENT LED OUTDOOR WALL LIGHT BY HINKLEY.
- SATIN BLACK FINISH EXTRUDED ALUMINUM; ETCHED LENS GLASS.
- CALIFORNIA TITLE 24 COMPLIANT; DARK SKY COMPLIANT.
- WET LOCATION OUTDOOR RATED.

Exterior Lighting Worksheet – Eagle Ranch Design Review

Filing/Block/Lot: **F 15 L 25** Address: **95 MOUNT JACKSON COURT**

Luminaire (Fixture) Location	Luminaire (Fixture) Data		Lamp (Bulb) Data			Lumens by Luminaire Type		
	Brand/Model # - Assoc Manufacturer Cat Sheets	Qty	Lamp Type	Watts per Lamp	Lumens per Lamp	Unshielded Luminaire	IDA Certified Luminaire	Switch Type
MAIN LEVEL	HINKLEY KUBE	8			8 600			
Subtotal Lumens by Luminaire Shielding Category (Unshielded or IDA Certified*)								
Total Lumens all Luminaire Categories (not to exceed 5,500 Lumens)								4,800

Prepared by: **PAUL ROBERTS** Date: **12.18.23**
 Owner Signature: **ADAM OSTMEYER** Date: **12.18.23**
 Print Name: _____

- Notes:
- Lamp (Bulb) Type = Incandescent (I), Compact Fluorescent (CFL), Low-voltage Halogen (LV), Light Emitting Diode (LED), etc.
 - Watts as marked on lamp.
 - Lumen comparisons for lamp types. General-retail outlets (i.e. grocery, hardware stores, etc.) may not carry all wattages. Consider specialty stores or internet sources.

Typical Lumens/Lamp*		Compact Fluorescent		Lo-Voltage Halogen		
Watts	Lumens	Watts	Lumens	Lamp Base	Watts	Lumens
25	200	5	200	G4	5	55
40	300	8-10	450	G4	10	140
60	800-890	13-15	850	G4	20	320
75	1080-1200	18-22	1210	G4Y 35	35	600
100	1420-1750	23-28	1750	G4Y 35	50	950

* The International Dark-Sky Association (http://www.darksky.org) certifies luminaires that minimize glare, reduce light trespass, and don't pollute the night sky.
 Luminaire Shield Category is Unshielded unless specifically certified with International Dark-Sky Association Fixture Seal of Approval.
 Switch Type = manual (M), motion detector (MD), photocell (P), rheostat (R), timer (T)



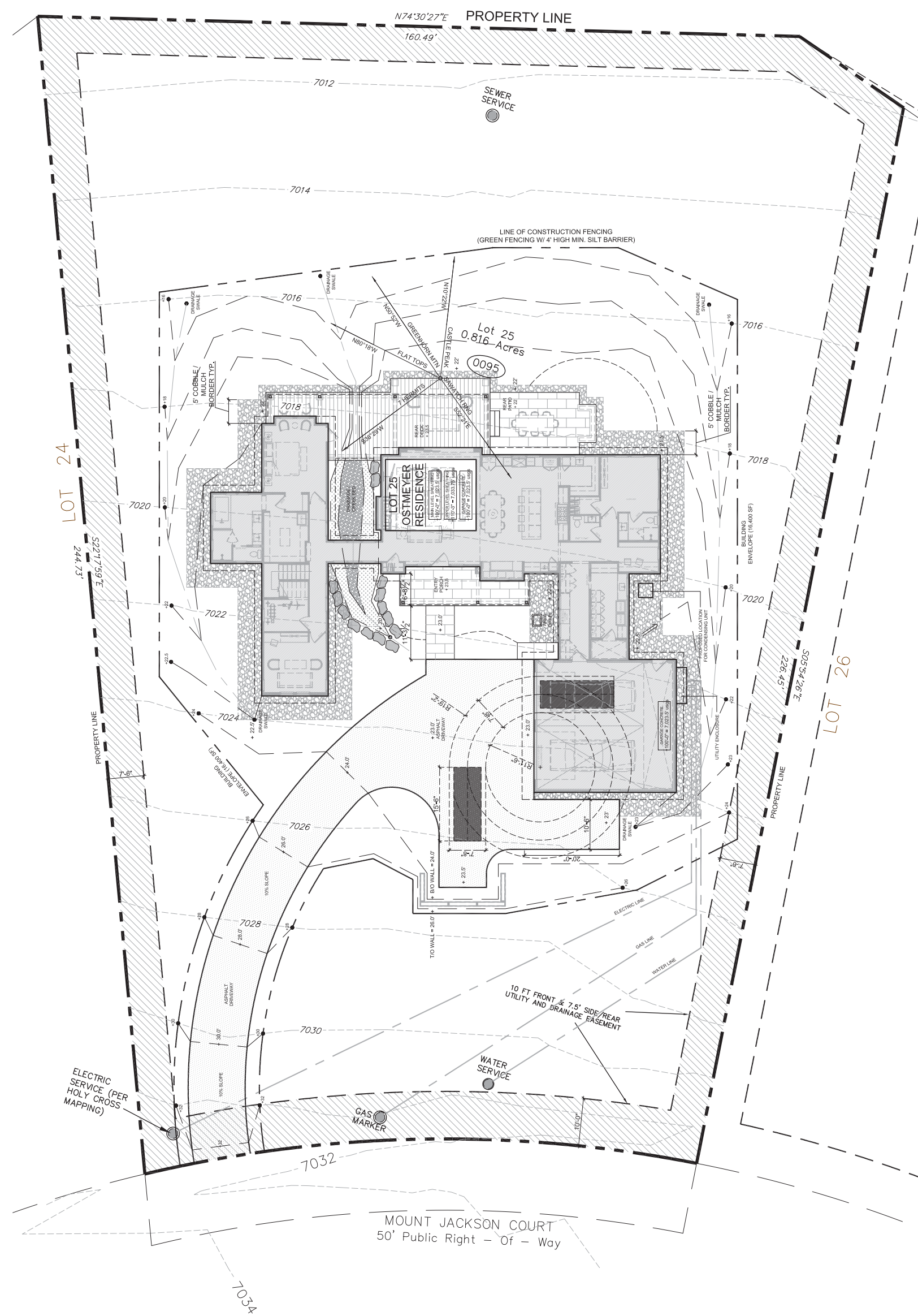
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 95 MOUNT JACKSON COURT
 LOT 25, EAGLE RANCH - HIGHLANDS
 EAGLE, COLORADO

ISSUE	DATE
PRE-DESIGN	231218
PRELIMINARY	240205

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A1.1
 EXTERIOR
 LIGHTING
 PLANS

PRELIMINARY SUBMITTAL, FEBRUARY 5TH, 2024



1 MAIN LEVEL FLOOR PLAN
A2.0 3/16" = 1'-0"

MAIN LEVEL:

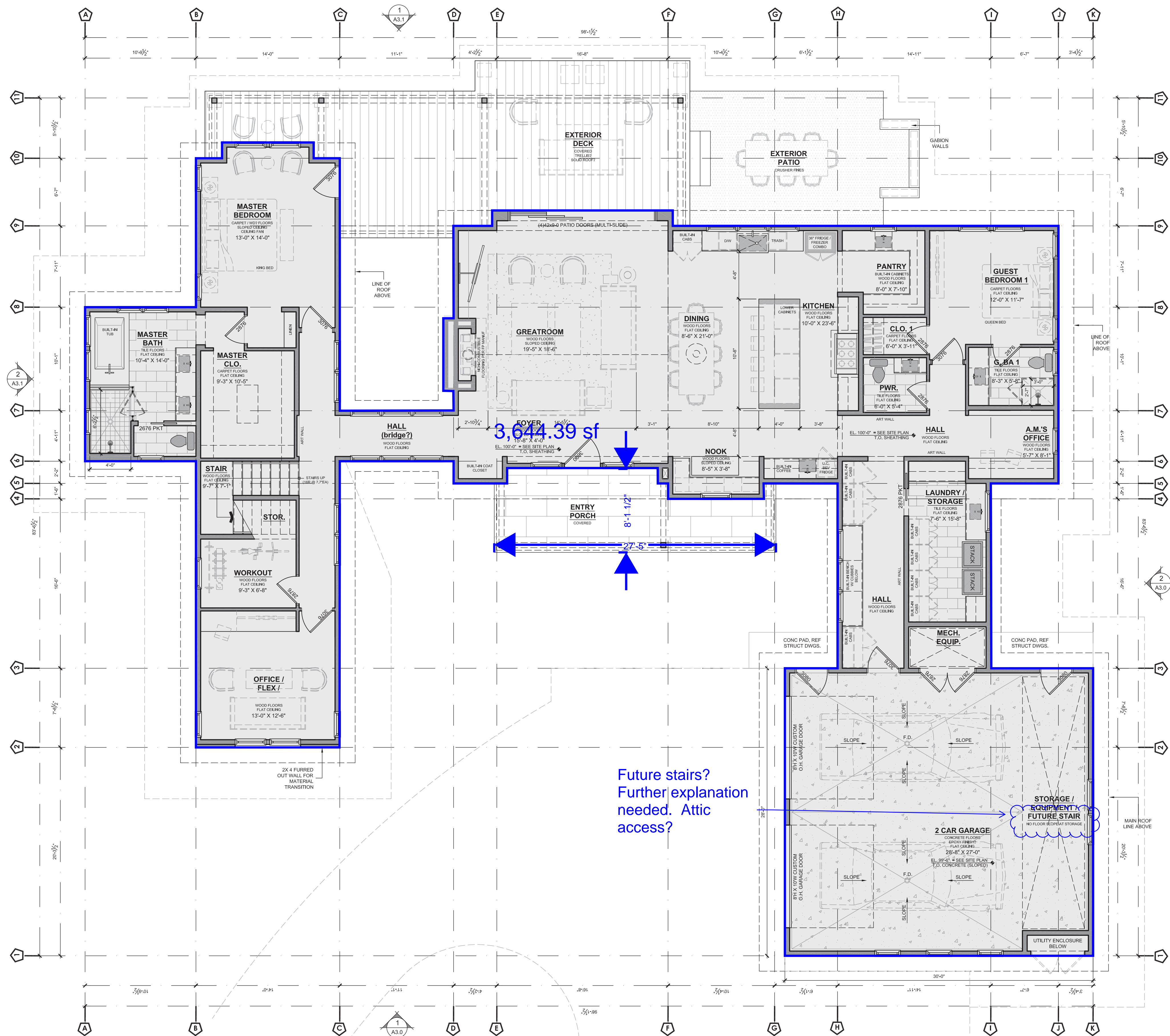
SQUARE FOOTAGES:
MAIN LEVEL FINISHED S.F. = 2,802 S.F.
MAIN LEVEL UN-FINISHED @ GARAGE = 833 S.F.

UPPER LEVEL:

SQUARE FOOTAGES:
UPPER LEVEL FINISHED S.F. = 965 S.F.

TOTALS:

ALL FINISHED TOTALS = 3,767 S.F.
ALL UN-FINISHED TOTALS = 833 S.F.
ALL FINISHED AND UN-FINISHED TOTALS = 4,600 S.F.



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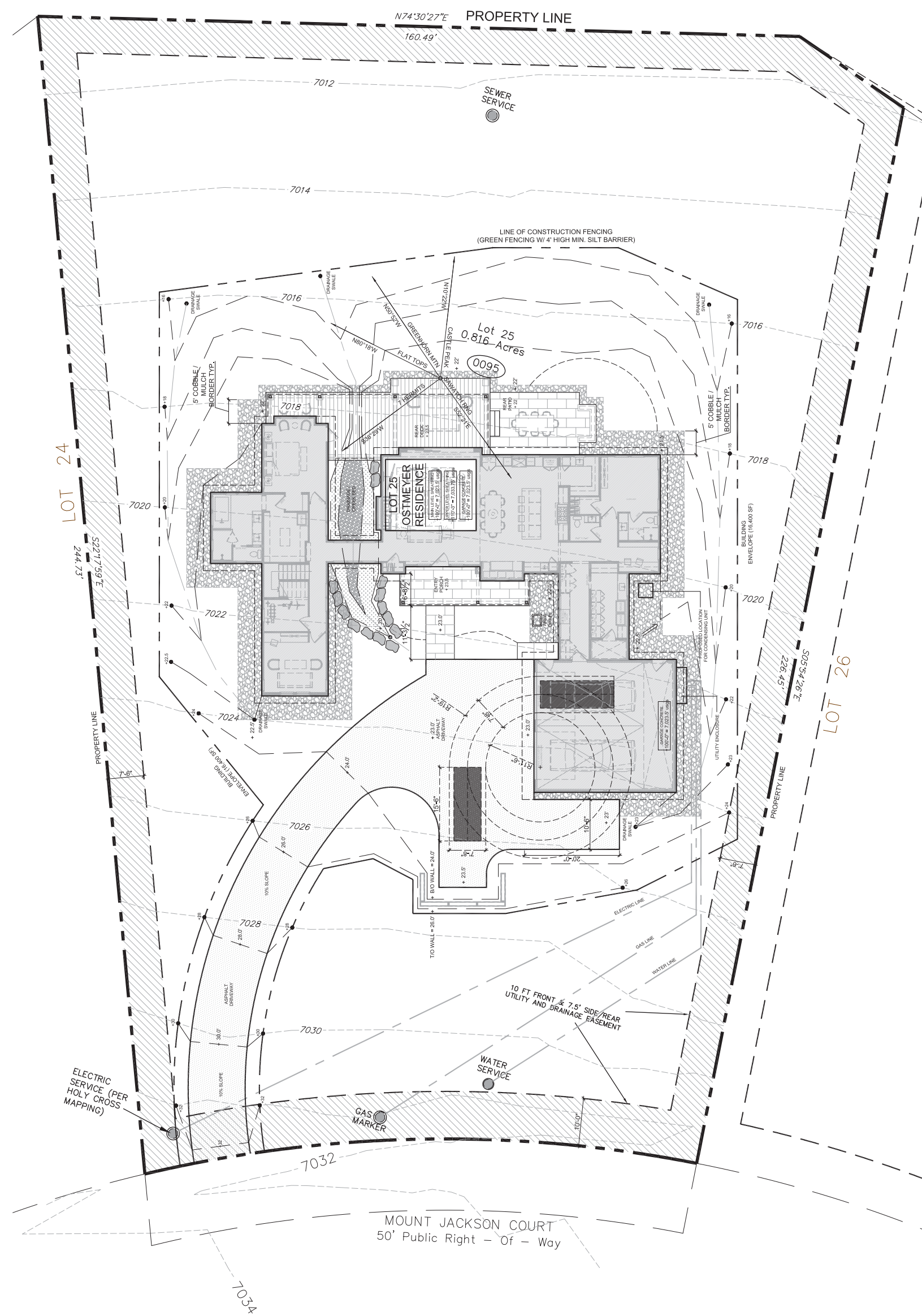
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A2.0
MAIN LEVEL
FLOOR PLAN

1 SITE PLAN
A2.1 FOR REFERENCE ONLY



1 UPPER LEVEL FLOOR PLAN
A2.1 3/16" = 1'-0"

MAIN LEVEL:

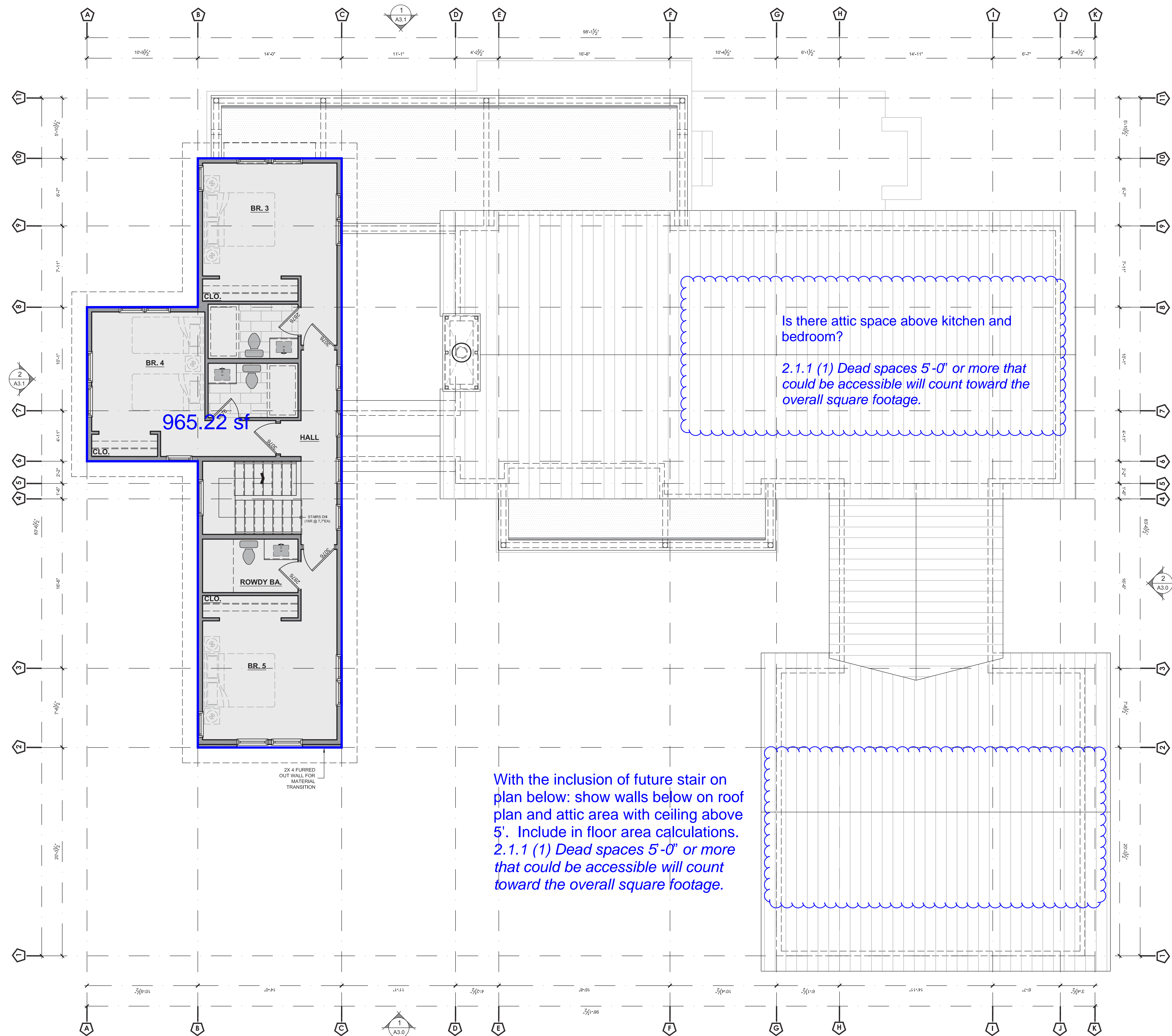
SQUARE FOOTAGES:
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MAIN LEVEL UN-FINISHED @ GARAGE = 833 S.F.

UPPER LEVEL:

SQUARE FOOTAGES:
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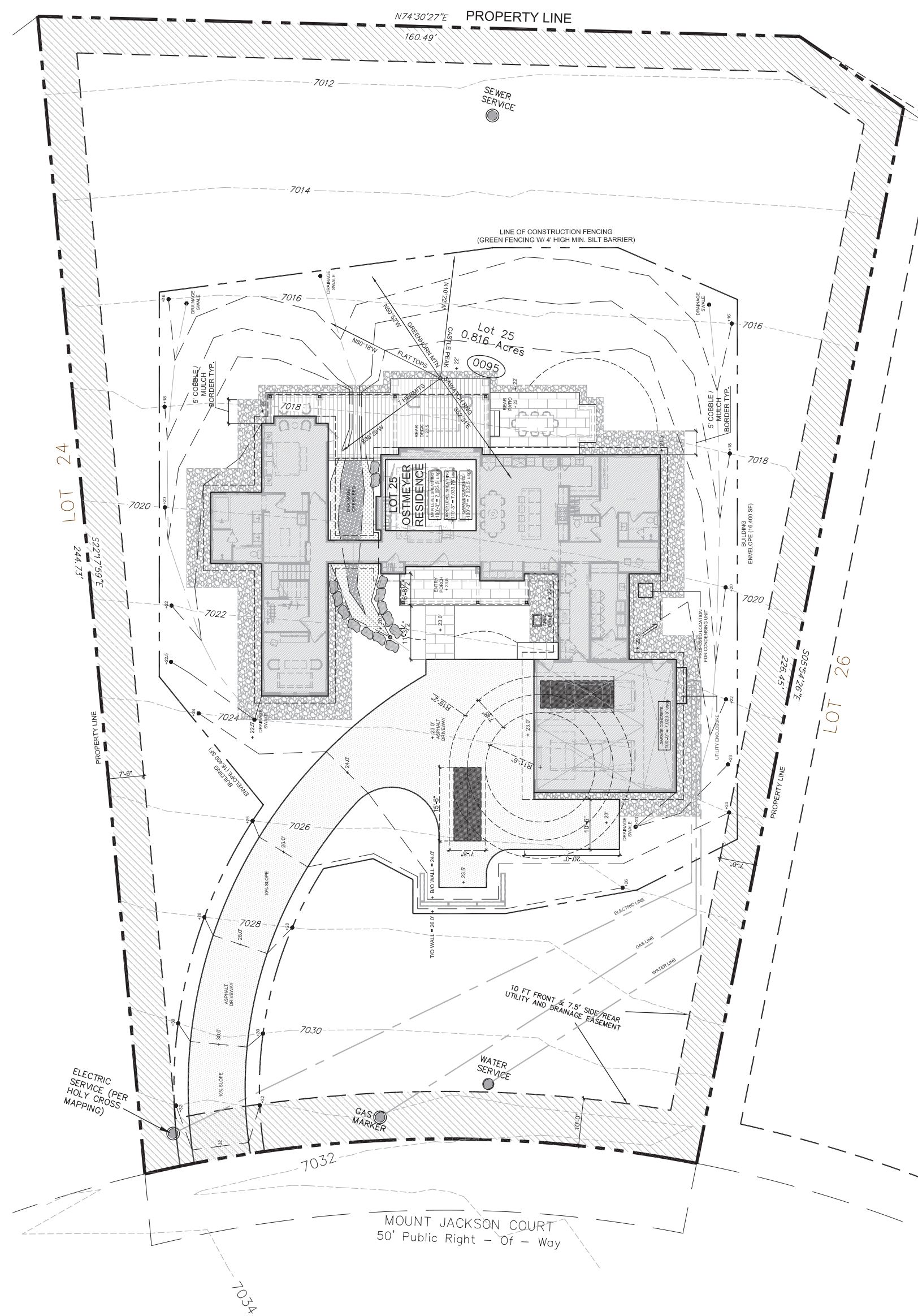
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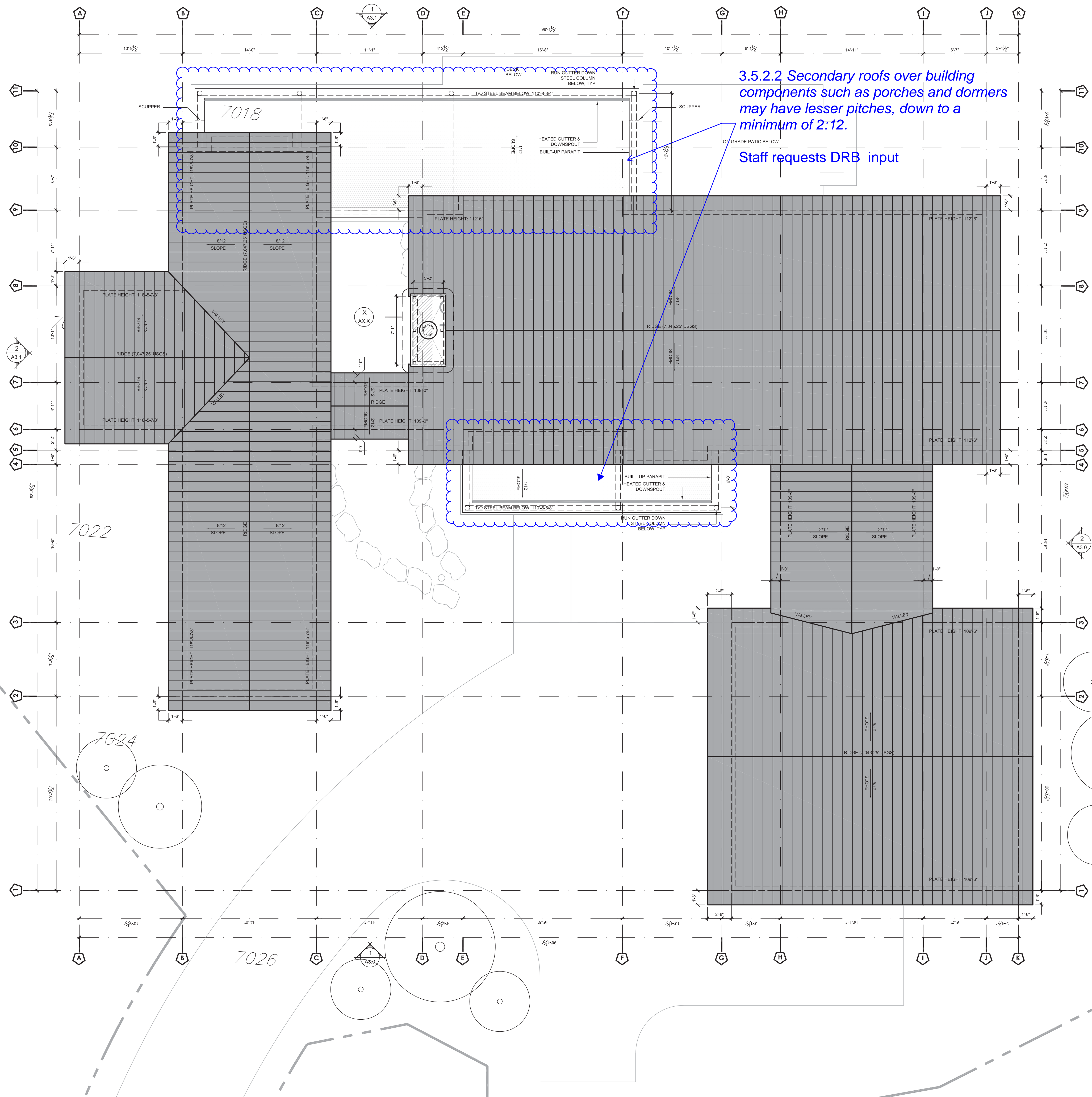
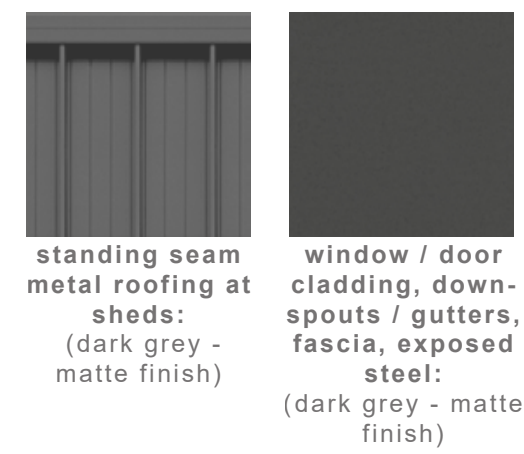
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A2.1
UPPER LEVEL
FLOOR PLAN

1 SITE PLAN
A2.2 FOR REFERENCE ONLY



1 ROOF PLAN
A2.2 3/16" = 1'-0"



3.5.2.2 Secondary roofs over building components such as porches and dormers may have lesser pitches, down to a minimum of 2:12.
Staff requests DRB input



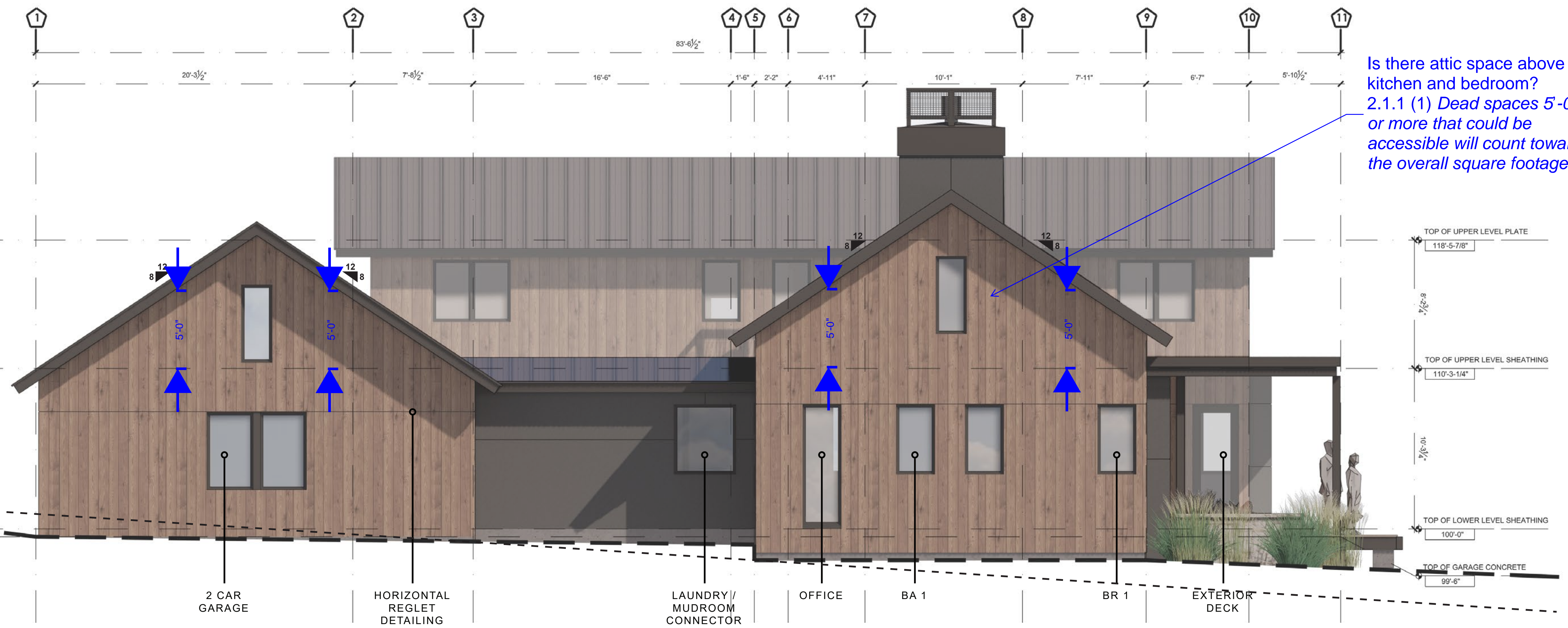
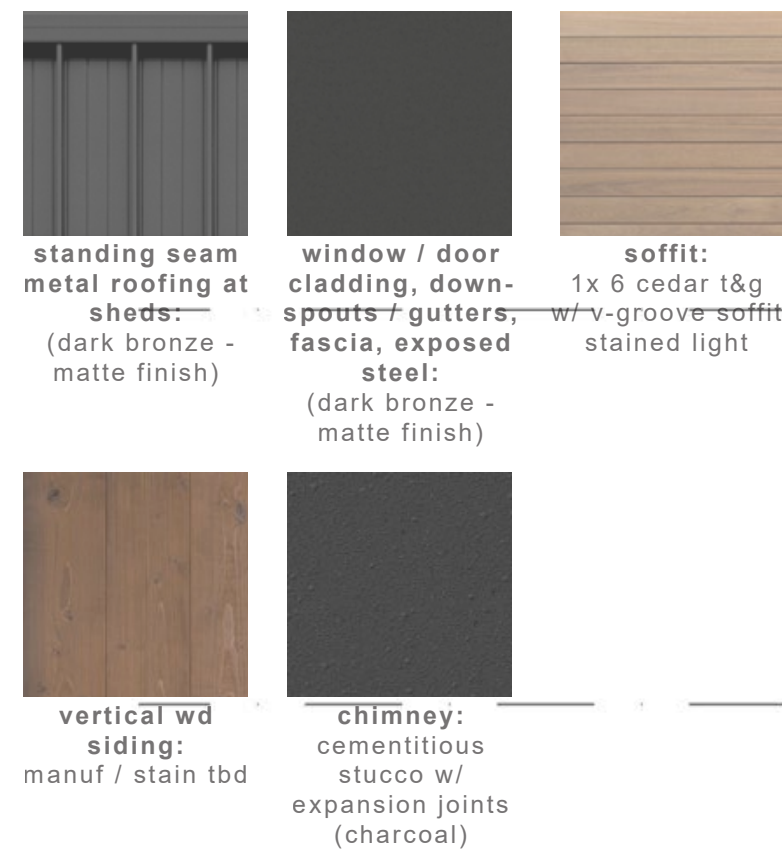
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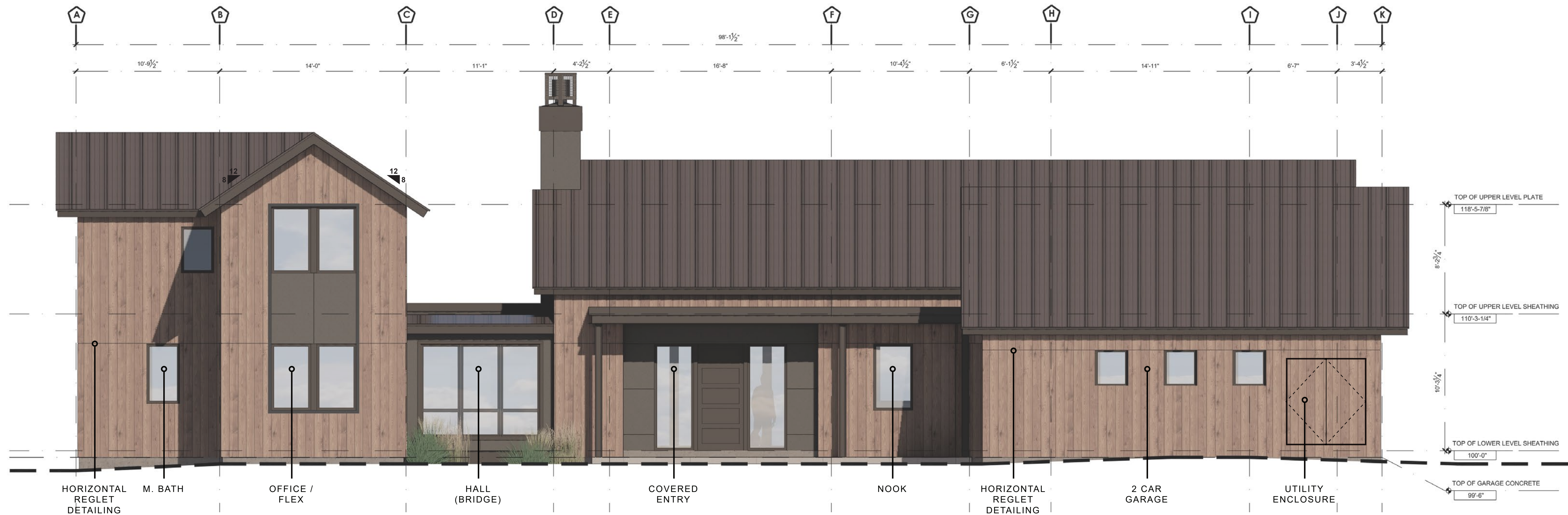
A2.2
ROOF PLAN

3 EXTERIOR MATERIALS
A3.0 NTS



Is there attic space above kitchen and bedroom?
2.1.1 (1) Dead spaces 5'-0" or more that could be accessible will count toward the overall square footage.

2 EAST EXTERIOR ELEVATION
A3.0 1/4" = 1'-0"
NOTE: REFERENCE SHEET A5.2 FOR WINDOW SCHEDULE



1 SOUTH EXTERIOR ELEVATION
A3.0 1/4" = 1'-0"
NOTE: REFERENCE SHEET A5.2 FOR WINDOW SCHEDULE



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A3.0
EXTERIOR
ELEVATIONS



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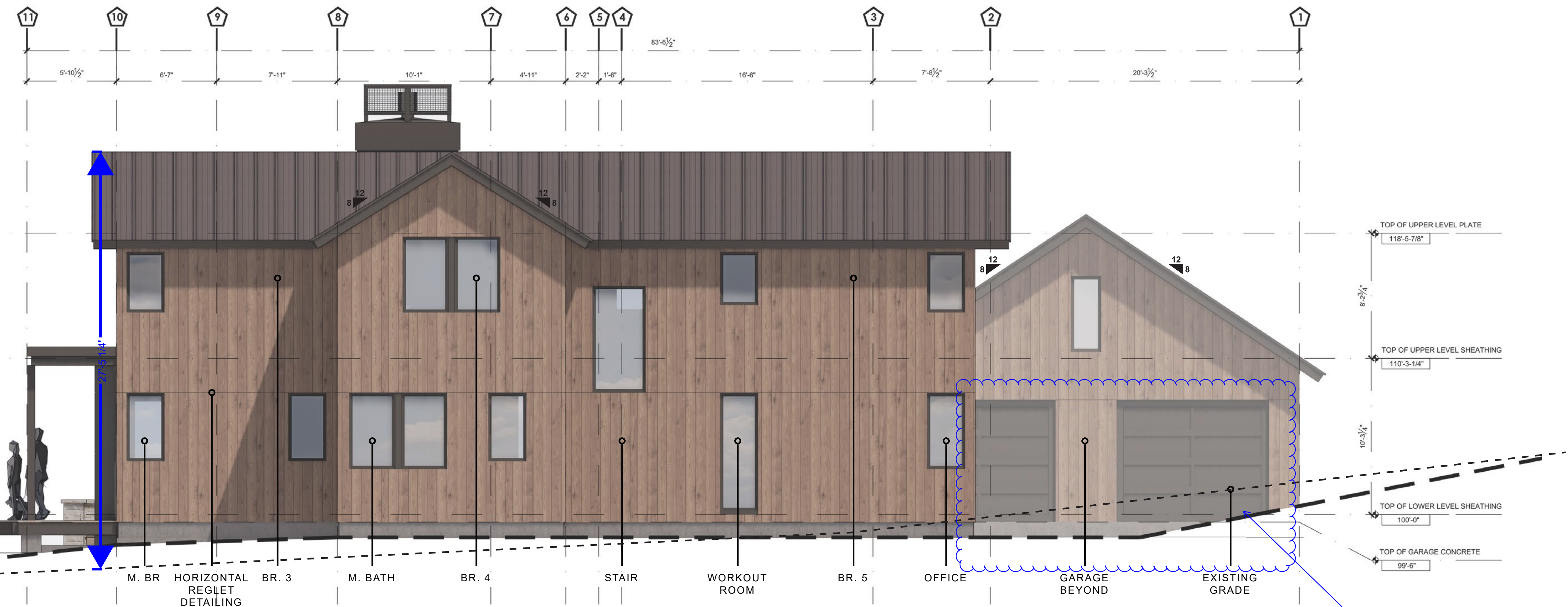
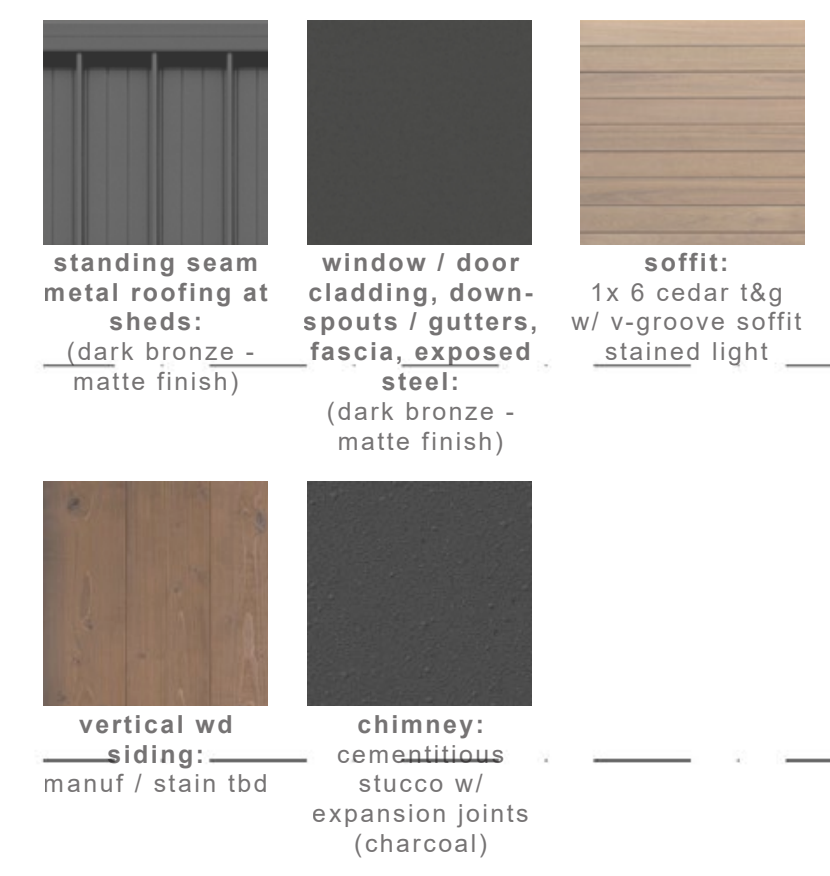
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A3.1
 EXTERIOR
 ELEVATIONS

PRELIMINARY SUBMITTAL, FEBRUARY 5TH, 2024

3 EXTERIOR MATERIALS
 A3.1 NTS



2 WEST EXTERIOR ELEVATION
 A3.1 1/4" = 1'-0"

NOTE: REFERENCE SHEET A5.2 FOR WINDOW SCHEDULE

Clarify garage door materials

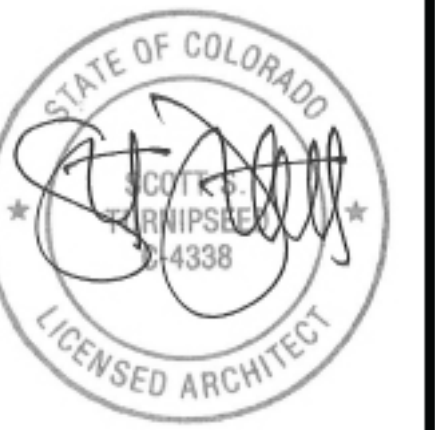


1 NORTH EXTERIOR ELEVATION
 A3.1 1/4" = 1'-0"

NOTE: REFERENCE SHEET A5.2 FOR WINDOW SCHEDULE

4.6 a. Exterior light sources facing Brush Creek Road shall be limited to code-required entrance wall mounted sconce luminaires. Fixtures in these locations shall be Fully Shielded or Dark Night Sky qualified luminaires mounted at not more than 6'-8" above the adjacent door threshold.

Show location of wall sconce on elevation



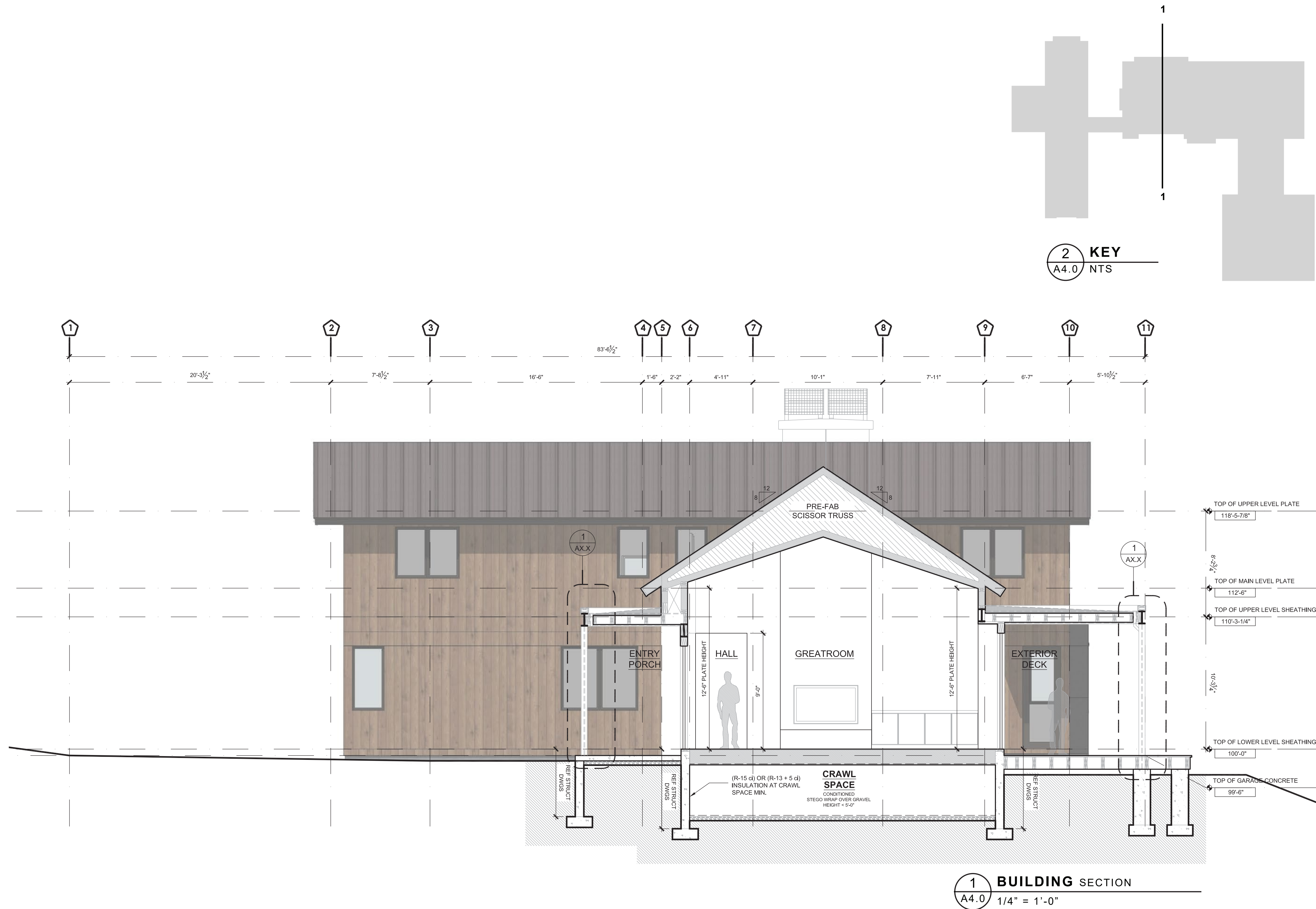
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A4.0
 BUILDING
 SECTIONS

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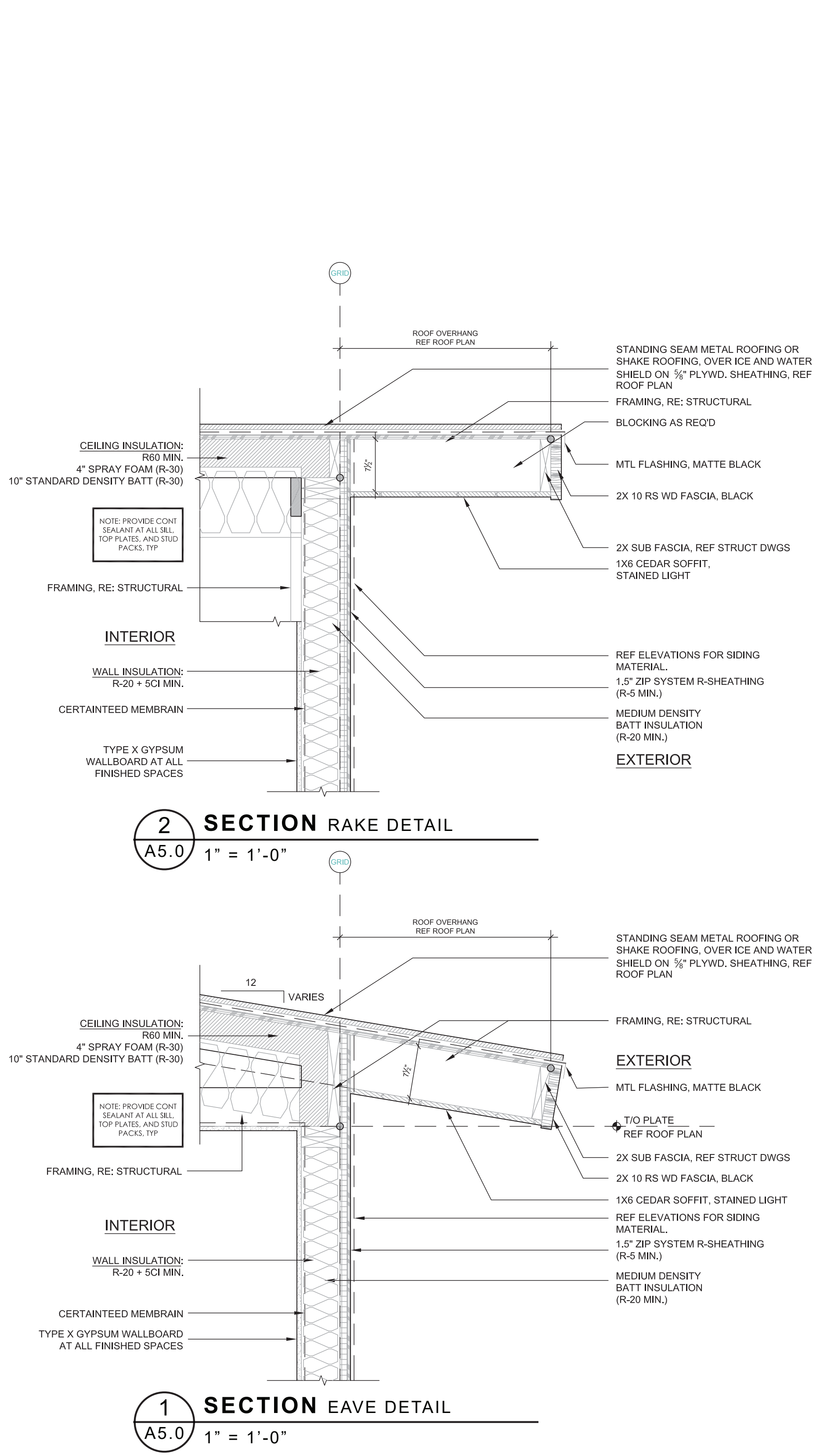
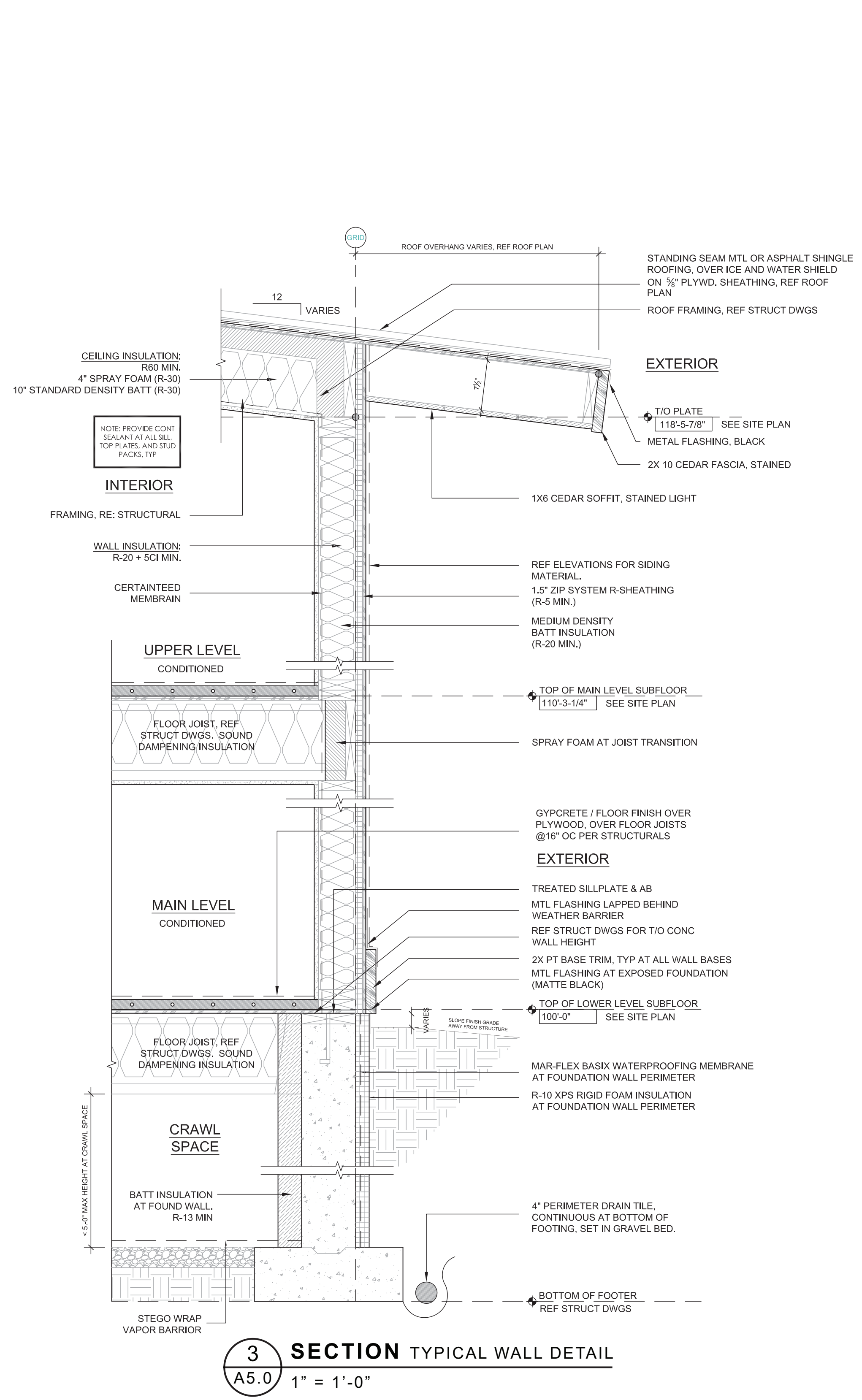
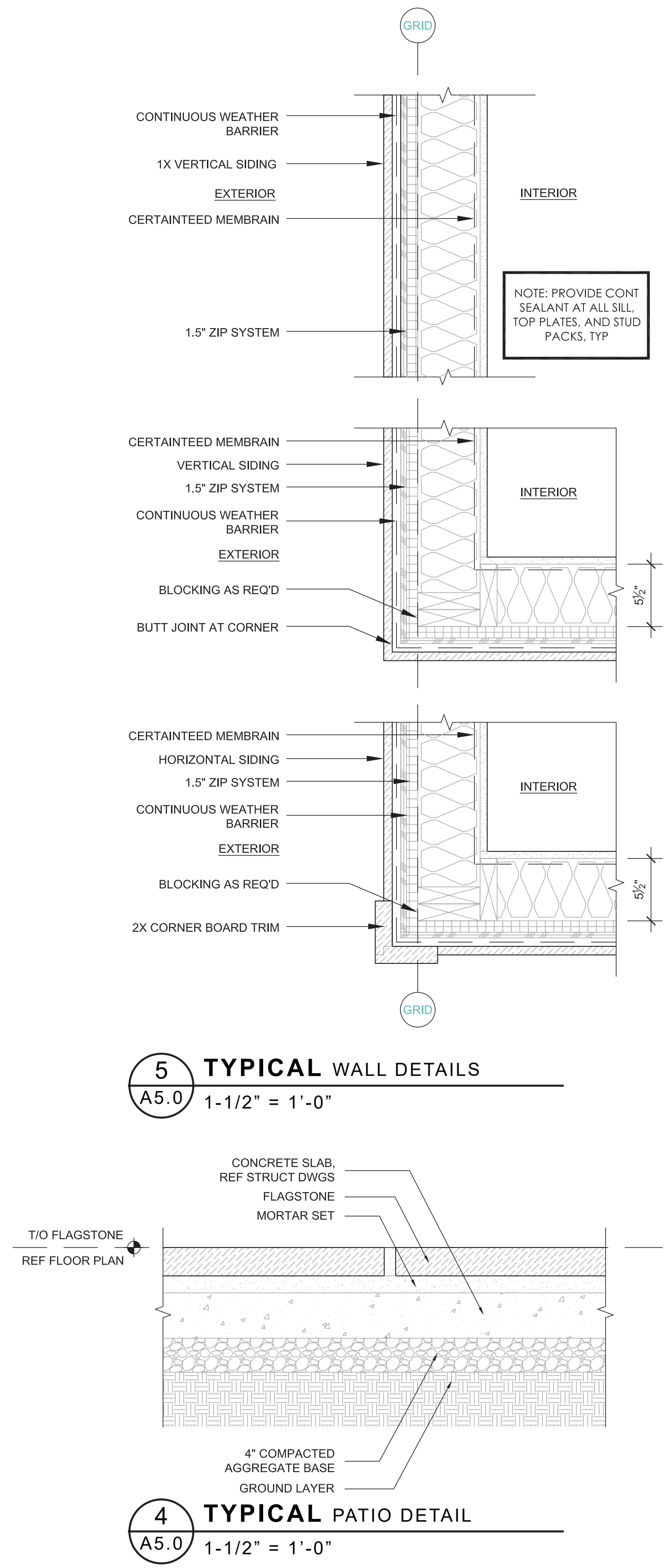


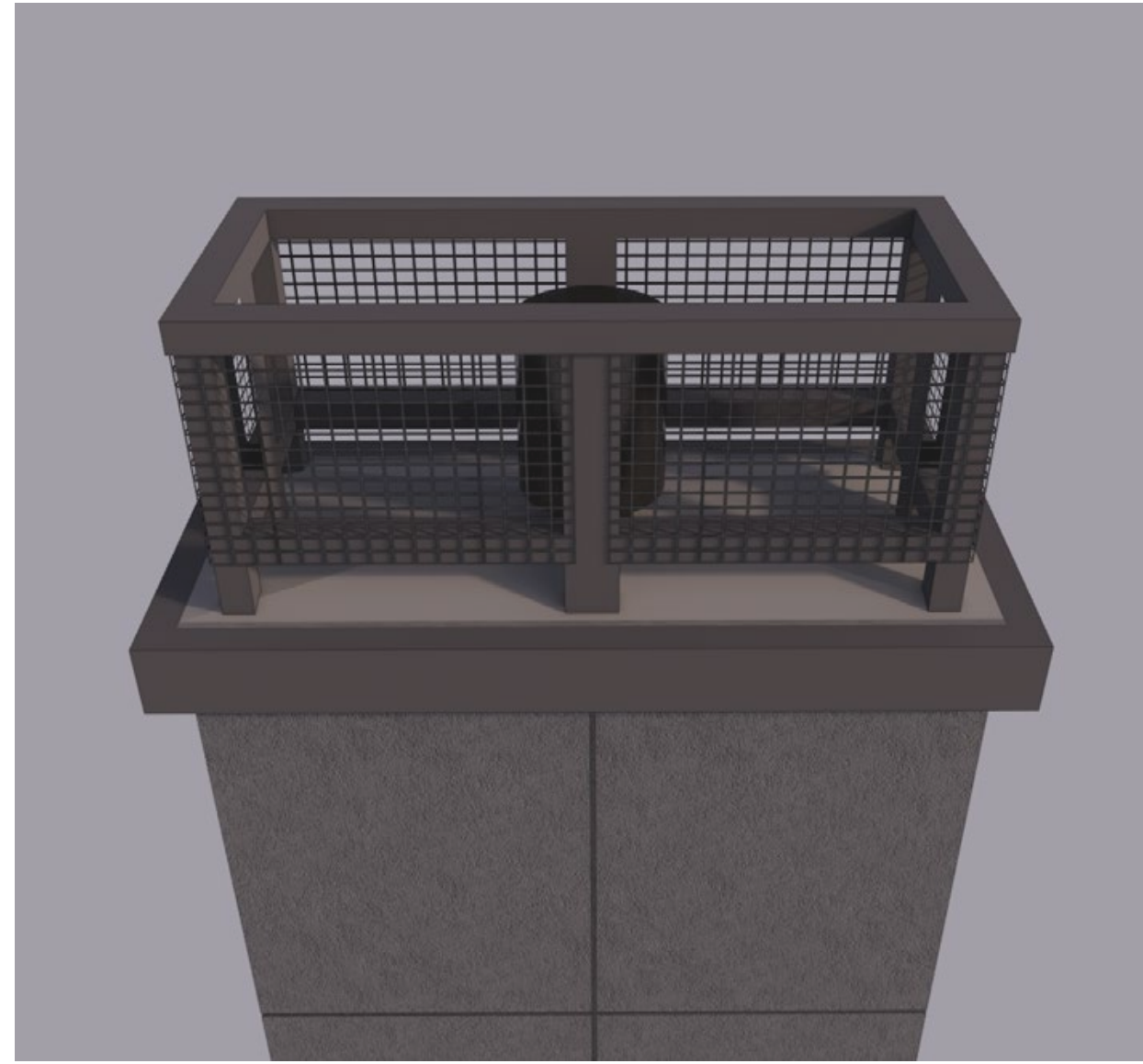
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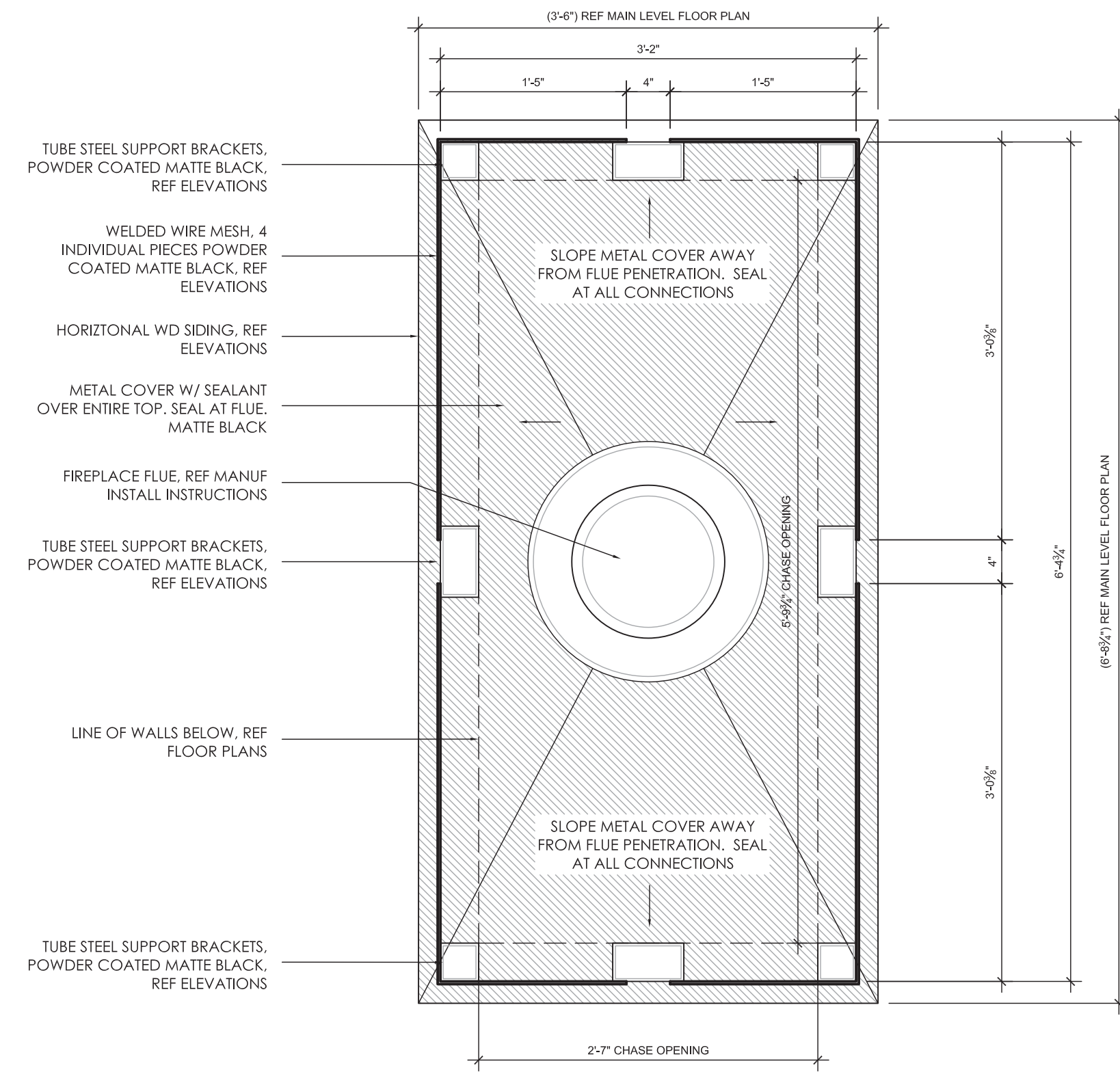
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A5.0
 DETAILS

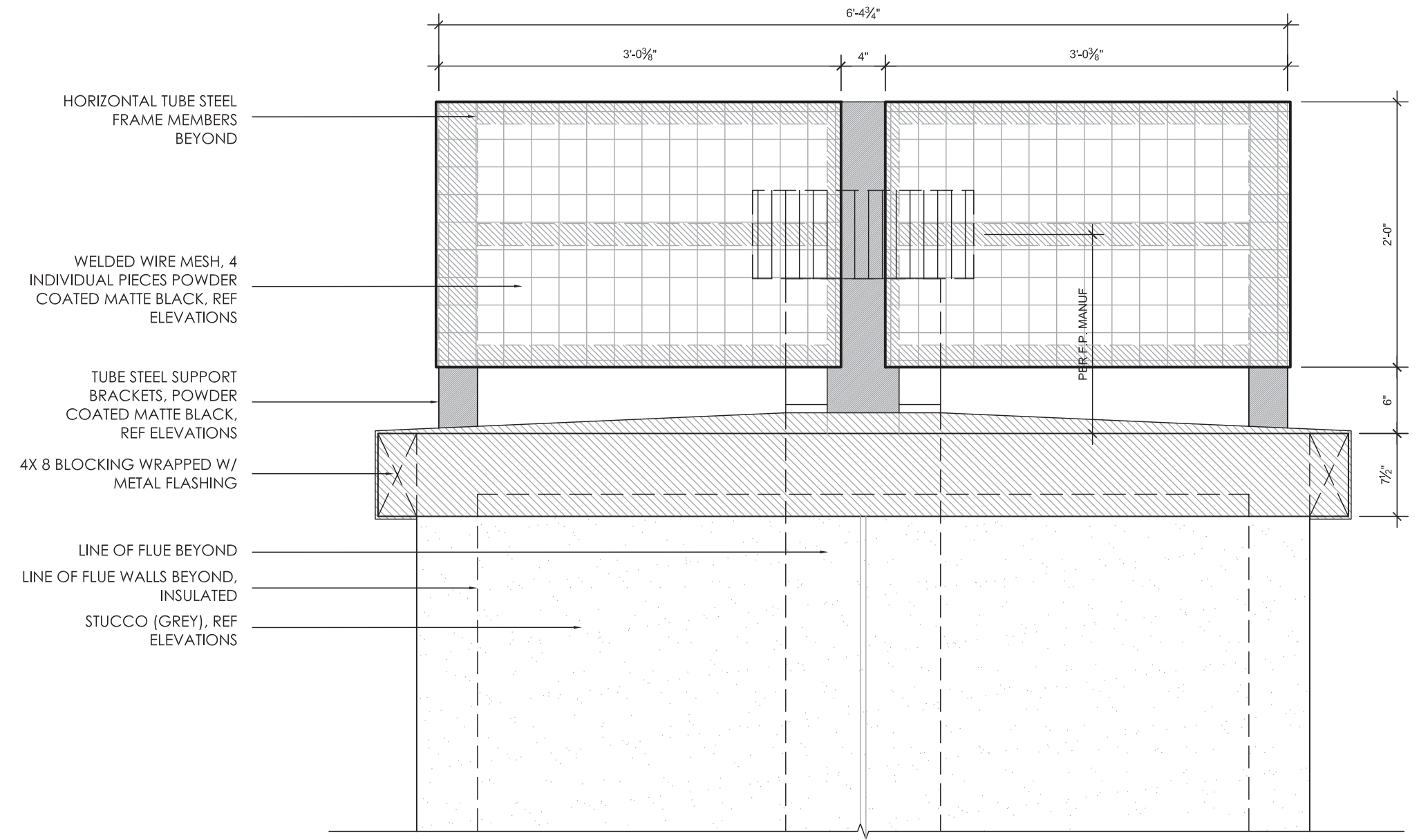




5 CHIMNEY PERSPECTIVE
A5.1 FOR REFERENCE ONLY



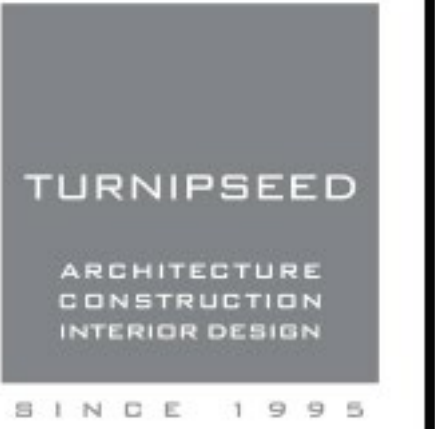
4 CHIMNEY ENLARGED PLAN
A5.1 1" = 1'-0"



3 CHIMNEY ENLARGED ELEVATION
A5.1 1" = 1'-0"

2 COLUMN PERSPECTIVE
A5.1 FOR REFERENCE ONLY

1 SECTION TYPICAL COLUMN
A5.1 1" = 1'-0"



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A5.1
DETAILS

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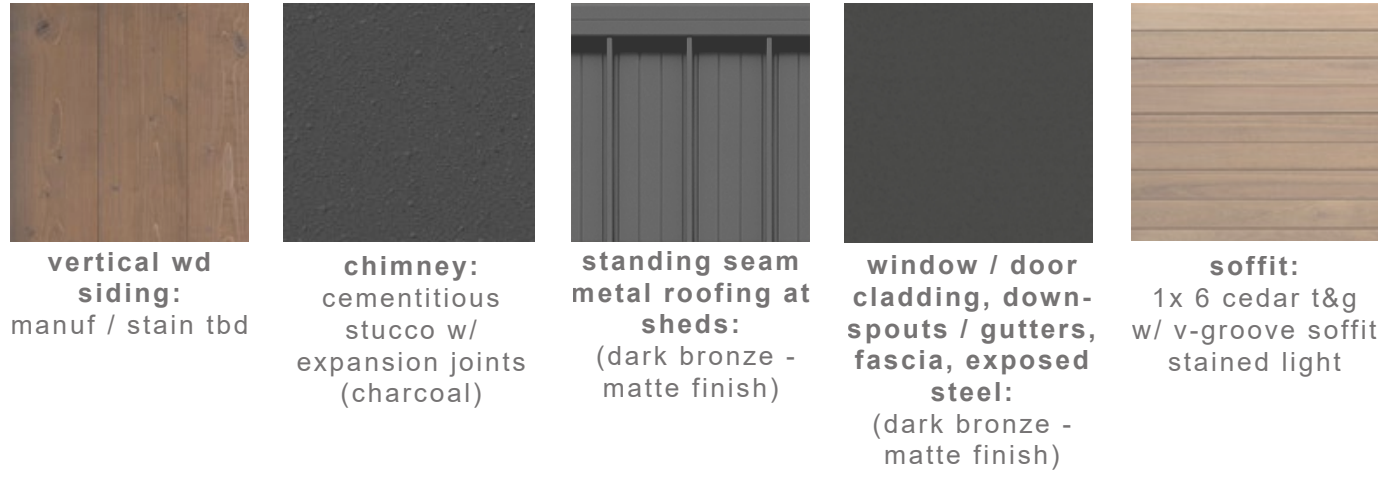
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A8.0
 EXTERIOR
 PERSPECTIVES

PRELIMINARY SUBMITTAL, FEBRUARY 5TH, 2024

7 EXTERIOR MATERIALS
 A8.0 NOTE: RENDERINGS ARE FOR REFERENCE ONLY AND NOT INTENDED FOR CONSTRUCTION PURPOSES



GUEST BR 1 OUTDOOR GRILL STATION KITCHEN GREATROOM CONNECTOR MASTER BEDROOM

6 PERSPECTIVE VIEW 6
 A8.0 NTS



OFFICE/ FLEX CONNECTOR FRONT ENTRY PORCH NOOK GARAGE

3 PERSPECTIVE VIEW 3
 A8.0 NTS



8 PERSPECTIVE VIEW 8
 A8.0 NTS



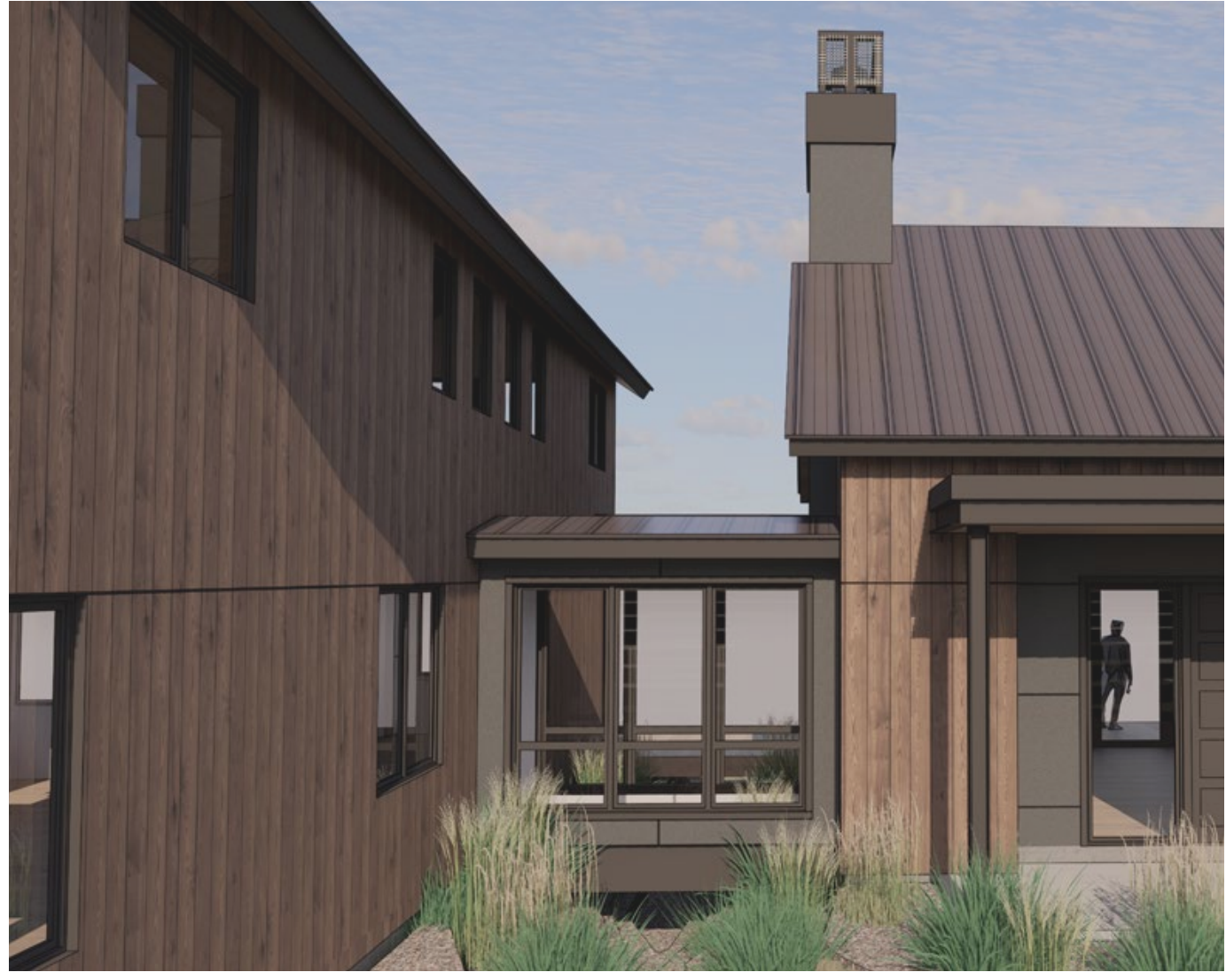
BR 4 BR 5 MASTER BEDROOM MASTER BATH STAIR OFFICE / FLEX

5 PERSPECTIVE VIEW 5
 A8.0 NTS



GARAGE LAUNDRY/ STORAGE OFFICE BR 1 BATH BR 1

2 PERSPECTIVE VIEW 2
 A8.0 NTS



7 PERSPECTIVE VIEW 7
 A8.0 NTS



REAR GARAGE BR 1 DINING / KITCHEN GREATROOM OUTDOOR PATIO

4 PERSPECTIVE VIEW 4
 A8.0 NTS



OUTDOOR PATIO BR 3 MASTER BEDROOM BR 4 MASTER BATH

1 PERSPECTIVE VIEW 1
 A8.0 NTS